



Public Notice Details

Application Details

Application No	DA2600071
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Property Details

Property Location	8 Chevalier Street Campania
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Application Information

Application Type	Discretionary Development Application
Development Category	Outbuilding
Advertising Commencement Date	19/6/2026
Advertising Closing Period	1/7/2026

If the Council Offices are closed during normal office hours within the above period, the period for making representations is extended.

If you need any further information, you're welcome to contact the Planning Department. A planner in the Development and Environmental Services section can be reached on 6254 5050 or at planningenquiries@southernmidlands.tas.gov.au.

Representations on this application may be made to the General Manager in writing either by

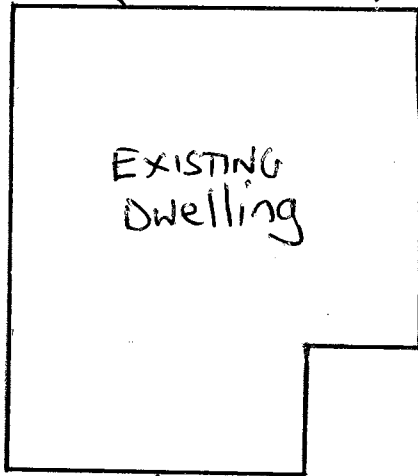
Post: PO Box 21, Oatlands Tas 7120
Email: mail@southernmidlands.tas.gov.au
Fax: 03 6254 5014

All representations must include the authors full name, contact number and postal address and be received by the advertising closing date.

Chevalier Street CAMPANIA

18m

8 Chevalier Street
(C/T 182675/16)

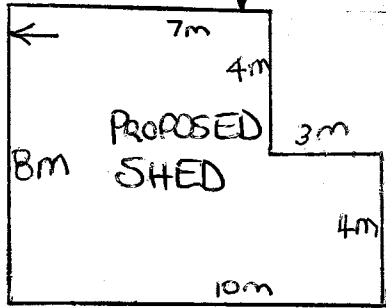


33.88m

33.93m

5.2m

0.5m



5m

18m

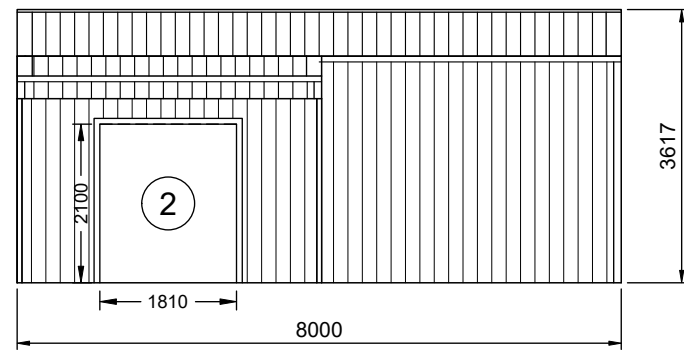
SITE PLAN

SCALE 1:20

Proposed Shed

8 Chevalier Street, Campania

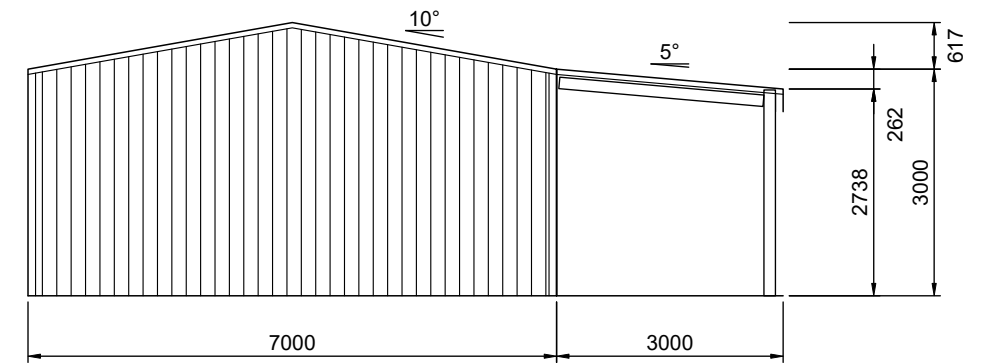
SMC - KEMPTON
RECEIVED
9/06/2026



Walls = Colorbond Monument
Roller Door = Colorbond Monument
Roof = Colorbond Monument

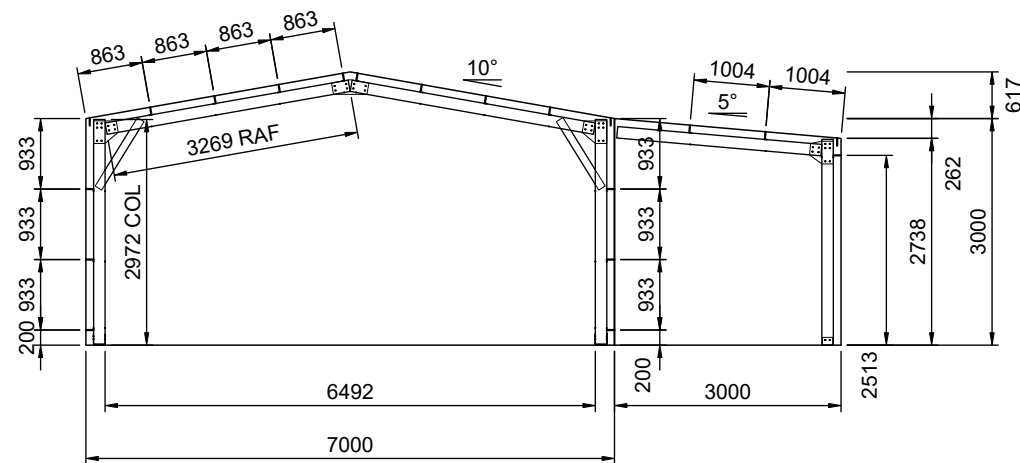
2 SIDEWALL B BUILDING ELEVATION

2 SCALE: 1:100



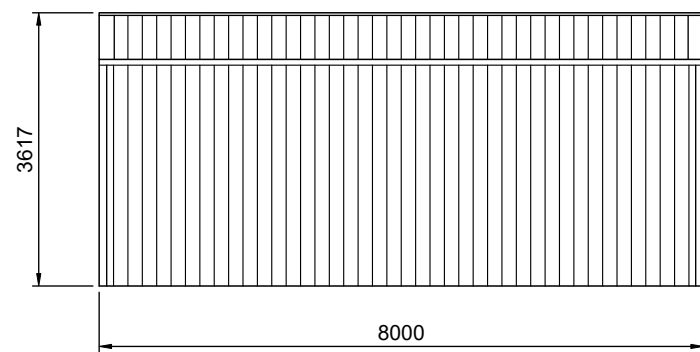
3 REAR BUILDING ELEVATION

2 SCALE: 1:100



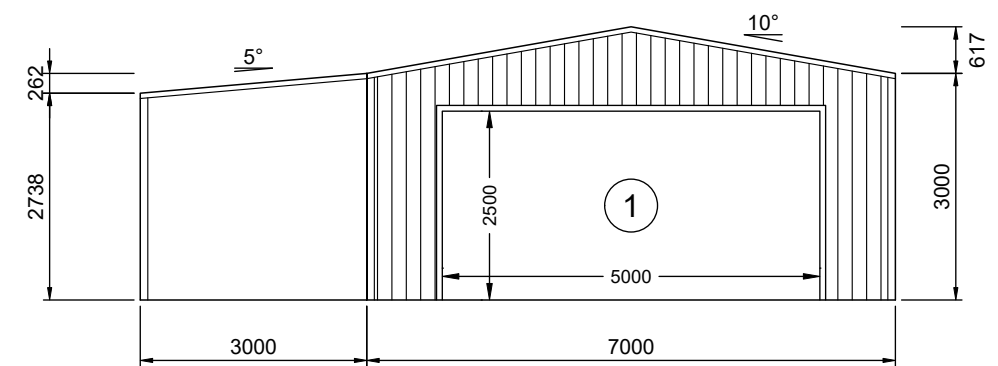
5 INTERNAL FRAMING ELEVATION

2 SCALE: 1:100 FRAME #2



1 SIDEWALL A BUILDING ELEVATION

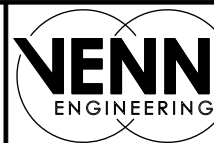
2 SCALE: 1:100



4 FRONT BUILDING ELEVATION

2 SCALE: 1:100

REV	DATE	DESCRIPTION
A	26-05-2026	-

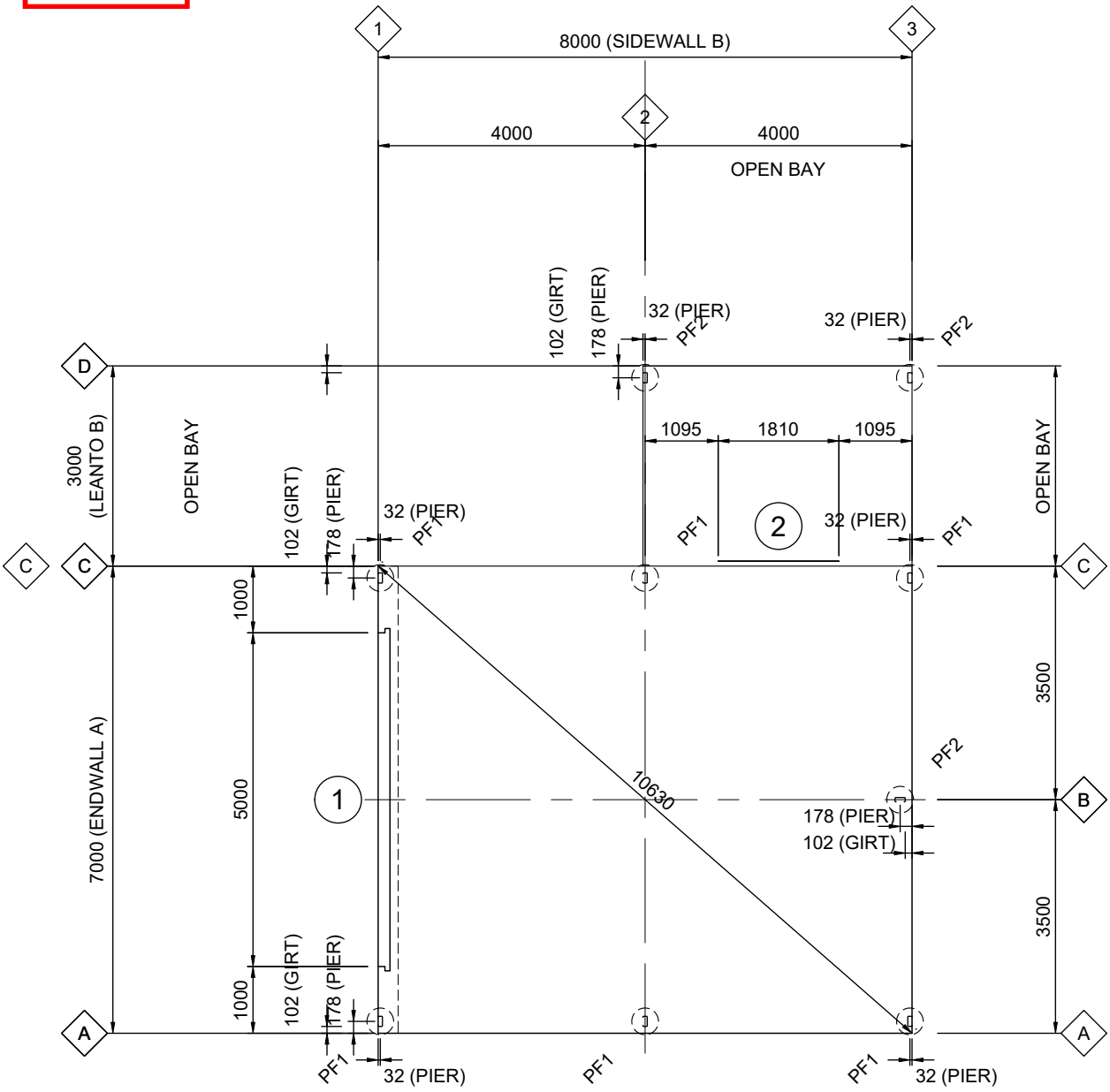


PO Box 3084
THIRROUL NSW 2515
sheds@venn.engineering
ABN 39 626 802 257

Signed *[Signature]* Date 26-05-2026
Grant J Wood MIEAust CPEng NER RPEQ
Registered EA Chartered Professional Engineer (No. 2383009)
Registered Professional Engineer QLD (No. 14384)
Registered Civil Engineer Building Practitioner VIC (No. PE0002499)
Registered Certifying Engineer (structural) NT (No. 306371ES)
Building Services Provider (Engineer Civil) TAS (No. 699330425)

Customer Name: Jesse Downham
Site Address: 8 ChevalierSt
Campania,
TAS, 7026

DATE 26-05-2026
JOB NO. EALB1041849277
SHEET 2 of 10

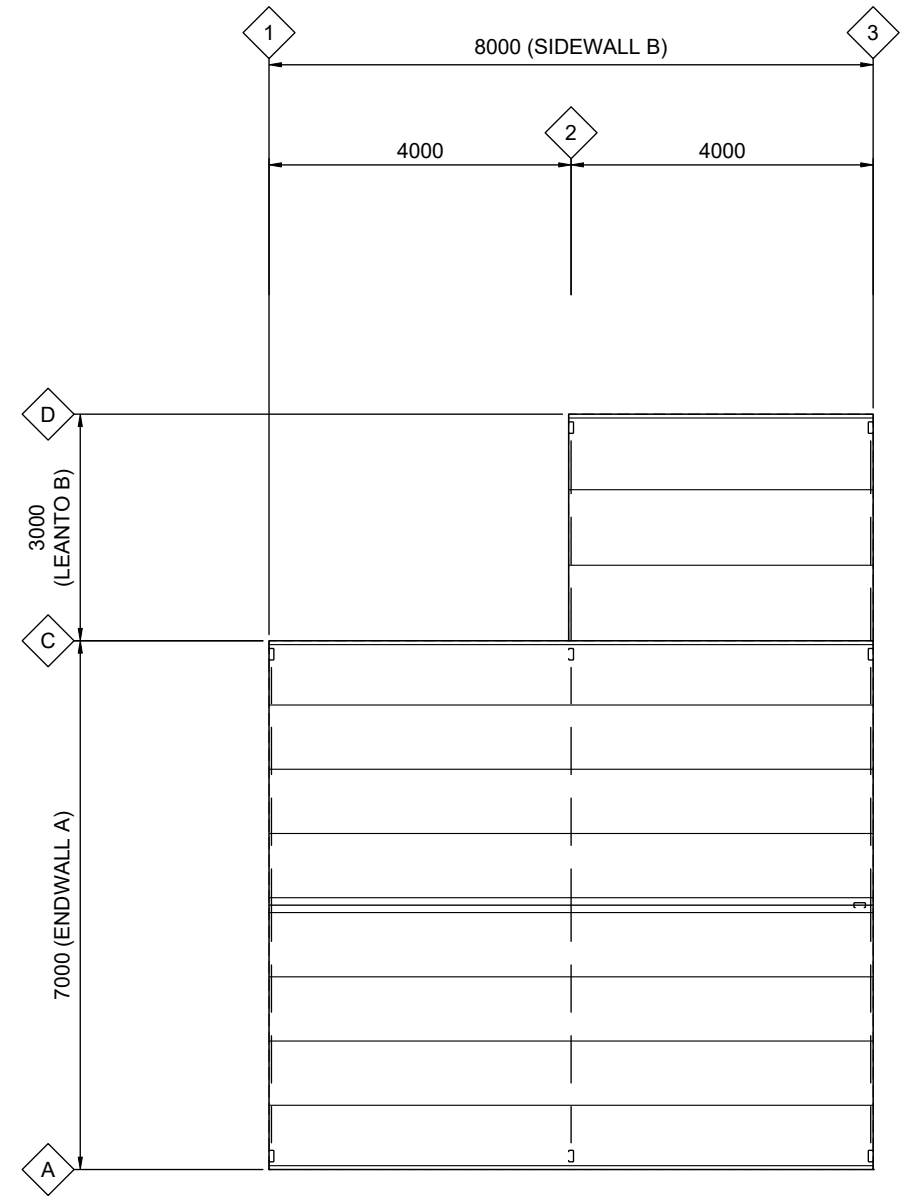


1 FOOTING/SLAB FLOOR PLAN

SCALE: 1:100 PF1 - 400Ø REINFORCED CONCRETE PIERS TO DETAIL
PF2 - 400Ø REINFORCED CONCRETE PIERS TO DETAIL

SLAB IS DESIGNED FOR CARS AND LIGHT VANS
NOT EXCEEDING 3500kg GROSS MASS

CONCRETE CONTROL JOINTS SHALL BE PROVIDED IN SLAB TO DETAIL AT
NOT MORE THAN 10m CENTRES IN EACH DIRECTION, APPROXIMATELY
EQUALLY SPACED AND LOCATED APPROXIMATELY MIDWAY BETWEEN
COLUMNS/MULLIONS



2 ROOF FRAMING PLAN

SCALE: 1:100

ROOF SHEETING IS USED AS DIAPHRAGM TO BRACE THE
BUILDING AND IS NOT TO BE CUT UNDER ANY CIRCUMSTANCES

REV	DATE	DESCRIPTION
A	26-05-2026	-



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Customer Name: Jesse Downham
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Campania,
TAS, 7026

DATE 26-05-2026
JOB NO. EALB1041849277
SHEET 4 of 10

SEARCH OF TORRENS TITLE

VOLUME 182675	FOLIO 16
EDITION 3	DATE OF ISSUE 01-July-2024

SEARCH DATE : 03-June-2026

SEARCH TIME : 07.20 am

DESCRIPTION OF LAND

Parish of STAFFA Land District of MONMOUTH
Lot 16 on Sealed Plan [182675](#)
Derivation : Part of Lot 13, 153A-3R-36P (Campania Estate) Gtd.
to Herbert James Paul
Prior CT [178220/200](#)

SCHEDULE 1

[N196671](#) TRANSFER to HOMES TASMANIA of three thousand four hundred and eighty-five undivided 1/10000 shares and JESSE EDWARD DOWNHAM and CLAIRE MAREE MCSHANE (jointly as between themselves) of six thousand five hundred and fifteen undivided 1/10000 shares as tenants in common Registered 01-July-2024 at 12.01 pm

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
[SP182675](#) EASEMENTS in Schedule of Easements
[SP182675](#) COVENANTS in Schedule of Easements
[SP182675](#) FENCING COVENANT in Schedule of Easements
[SP159788](#), [SP162016](#), [SP170362](#) & [SP175724](#) FENCING PROVISION in Schedule of Easements
[SP159788](#), [SP162016](#), [SP170362](#), [SP175724](#) & [SP178220](#) COVENANTS in Schedule of Easements
[SP15390](#) & [SP178220](#) FENCING COVENANT in Schedule of Easements
[E385198](#) MORTGAGE to B&E Ltd Registered 01-July-2024 at 12.02 pm

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

OWNER: RODNEY ERIC SCAIFE, JUDITH NANCY SCAIFE, ANDREW ROBERT GLOVER, KATHRYN ELIZABETH GLOVER

FOLIO REFERENCE: C.T.178220/201 & C.T.178220/200

GRANTEE: PART OF LOT 13 (153A-3R-36P) (130A-1R-36Ps) (CAMPANIA ESTATE) GRANTED TO HERBERT JAMES PAUL

PLAN OF SURVEY

BY SURVEYOR ANDREW STEPHEN BIRCH
 ROGERSON AND BIRCH SURVEYORS
 UNIT 1 - 2 KENNEDY DRIVE, CAMBRIDGE PARK
 PH 6248-5898 MOB. 0419-594-966

LAND DISTRICT OF MONMOUTH
 PARISH OF STAFFA

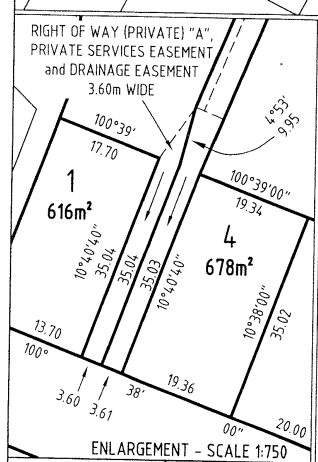
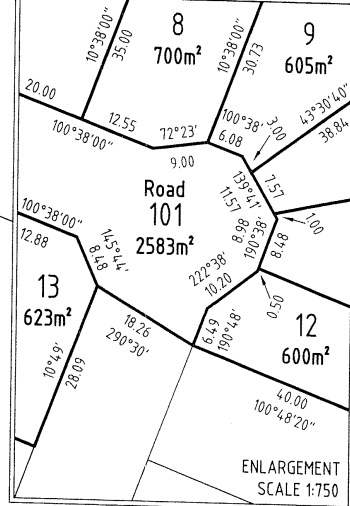
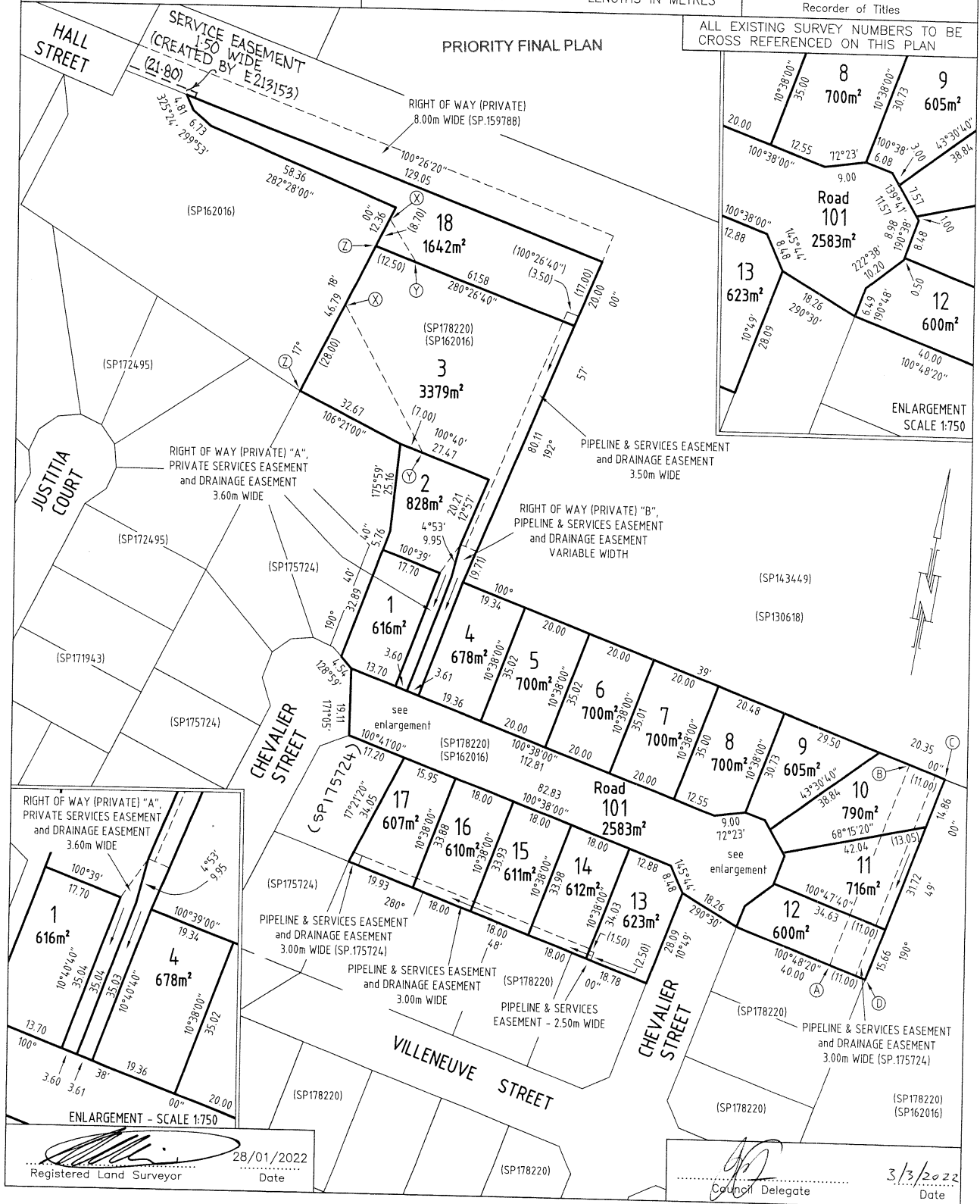
SCALE 1: 1000 LENGTHS IN METRES

REGISTERED NUMBER
SP182675

APPROVED EFFECTIVE FROM 22 MAR 2022

Deanna
 Recorder of Titles

ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN



Andrew Stephen Birch
 Registered Land Surveyor
 28/01/2022
 Date

[Signature]
 Council Delegate
 3/3/2022
 Date

SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 182675

1 OF 9 PAGES

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

DRAINAGE EASEMENTS

Lot 2 is subject to a right of drainage in gross (in favour of the Southern Midlands Council) over the land marked "RIGHT OF WAY (PRIVATE) "A", PRIVATE SERVICES EASEMENT AND DRAINAGE EASEMENT 3.60m WIDE" passing through such lot on the plan.

20/1/22
2

Lot 3 is subject to a right of drainage in gross (in favour of the Southern Midlands Council) over the land marked "RIGHT OF WAY (PRIVATE) "B", PIPELINE & SERVICES EASEMENT, PRIVATE SERVICES EASEMENT and DRAINAGE EASEMENT VARIABLE WIDTH" passing through such lot on the plan.

20/1/22
R

Lots 3 & 18 are each subject to a right of drainage in gross (in favour of the Southern Midlands Council) over the land marked "PIPELINE & SERVICES EASEMENT and DRAINAGE EASEMENT 3.50m WIDE" passing through such lot on the plan.

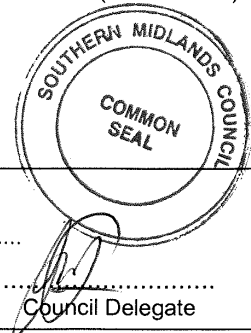
Lots 10-12 are each subject to a right of drainage in gross (in favour of the Southern Midlands Council) over the land marked "PIPELINE & SERVICES EASEMENT and DRAINAGE EASEMENT 3.00m WIDE (SP. 175724)" passing through such lot on the plan.

Lots 14-17 are each subject to a right of drainage in gross (in favour of the Southern Midlands Council) over the land marked "PIPELINE & SERVICES EASEMENT and DRAINAGE EASEMENT 3.00m WIDE" passing through such lot on the plan.

Lot 17 is subject to a right of drainage in gross (in favour of the Southern Midlands Council) over the land marked "PIPELINE & SERVICES EASEMENT and DRAINAGE EASEMENT 3.00m WIDE (SP. 175724)" passing through such lot on the plan.

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: RE SCAIFE & Others FOLIO REF: C/T 178220/200 & C/T 178220/201 SOLICITOR Baker Wilson Davies Lawyers & REFERENCE: 214181/TD	PLAN SEALED BY: DATE: 3/3/2022 SA2020107 REF NO.
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NOTE: The Council Delegate must sign the Certificate for the purposes of identification.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 9 PAGES	Registered Number SP 182675
SUBDIVIDER: RE SCAIFE & OTHERS FOLIO REFERENCE: C/T 178220/200 & C/T 178220/201	

SERVICE EASMENTS

Lot 2 on the plan is subject to a Service Easement (appurtenant to Lot 3 on the plan) over that portion of Lot 2 on the plan marked "RIGHT OF WAY (PRIVATE) "A", PRIVATE SERVICES EASEMENT AND DRAINAGE EASEMENT 3.60m WIDE".

Lot 3 on the plan is together with a Service Easement over that portion of Lot 2 on the plan marked "RIGHT OF WAY (PRIVATE) "A", PRIVATE SERVICES EASEMENT AND DRAINAGE EASEMENT 3.60m WIDE".

~~Lot 3 on the plan is subject to a Service Easement (appurtenant to Lot 2 on the plan) over that portion of Lot 3 on the plan marked "RIGHT OF WAY (PRIVATE) "B", PIPELINE & SERVICES EASEMENT, PRIVATE SERVICES EASEMENT and DRAINAGE EASEMENT VARIABLE WIDTH".~~ 20/1/22

~~Lot 2 on the plan is together with a Service Easement over that portion of Lot 3 on the plan marked "RIGHT OF WAY (PRIVATE) "B", PIPELINE & SERVICES EASEMENT, PRIVATE SERVICES EASEMENT and DRAINAGE EASEMENT VARIABLE WIDTH".~~ 20/1/22

The words "Service Easement" mean:

"The full and free right:

- to lay use and maintain forever water mains, pipes, drains, mains, channels, gutters, sewers, wires, cables and other conducting media of such size and number as shall from time to time be required,
- in common with the owner of the property burdened by the easement,
- in favour of every person who is entitled to an Estate or Interest in possession indicated as the property benefited by the easement or any part of it with which such said right shall be capable of enjoyment, the Crown, and any public authority or local authority constituted by or under any Act,
- and for their surveyors and workmen,
- from time to time and at all times hereafter to enter into and upon the affected land or any part thereof bringing such machinery and other things as it shall think fit and proper to inspect the condition thereof and to repair and amend and cleanse and do any necessary works ,
- causing as little damage as possible and making reasonable compensation for all damage done."

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

[Handwritten signatures]

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 9 PAGES	Registered Number SP 182675
SUBDIVIDER: RE SCAIFE & OTHERS FOLIO REFERENCE: C/T 178220/200 & C/T 178220/201	

PIPELINE EASEMENTS

Lots 3 and 18 are each subject to a Pipeline and Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Limited, its successors and assigns ("TasWater") over the land marked "PIPELINE & SERVICES EASEMENT AND DRAINAGE EASEMENT 3.50m WIDE" passing through such lot on the plan.

20/1/22
 Lot 3 is subject to a Pipeline and Services Easement in gross in favour of TasWater, its successors and assigns over the land marked "RIGHT OF WAY (PRIVATE) "B", PIPELINE & SERVICES EASEMENT, PRIVATE SERVICES EASEMENT and DRAINAGE EASEMENT VARIABLE WIDTH".

Lots 10-12 are each subject to a Pipeline and Services Easement in gross in favour of TasWater, its successors and assigns over the land marked "PIPELINE & SERVICES EASEMENT and DRAINAGE EASEMENT 3.00m WIDE (SP. 175724)" passing through such lot on the plan.

Lot 13 is subject to a Pipeline and Services Easement in gross in favour of TasWater, its successors and assigns over the land marked "PIPELINE & SERVICES EASEMENT – 2.50m WIDE".

Lots 14-17 (and are each subject to a Pipeline and Services Easement in gross in favour of TasWater, its successors and assigns over the land marked "PIPELINE & SERVICES EASEMENT AND DRAINAGE EASEMENT 3.00m WIDE" passing through such lot on the plan.

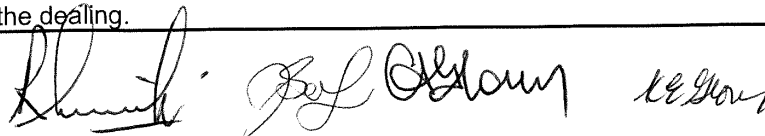
Lot 17 is subject to a Pipeline and Services Easement in gross in favour of TasWater, its successors and assigns over the land marked "PIPELINE & SERVICES EASEMENT AND DRAINAGE EASEMENT 3.00m WIDE (SP. 175724)" passing through such lot on the plan.

The Pipeline and Services Easement is defined as follows:-

THE FULL RIGHT AND LIBERTY for TasWater at all times to:

- (1) enter and remain upon the Easement Land with or without employees, contractors, agents and all other persons duly authorised by it and with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse and repair the Infrastructure;
- (4) remove and replace the Infrastructure;
- (5) run and pass sewage, water and electricity through and along the Infrastructure;

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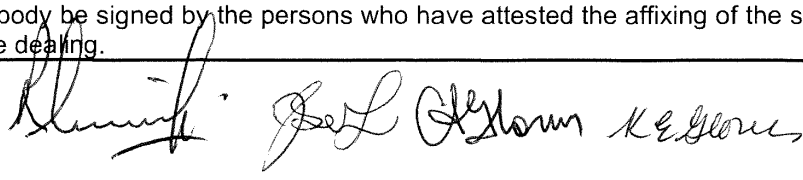
ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 4 OF 9 PAGES	Registered Number SP 182675
SUBDIVIDER: RE SCAIFE & OTHERS FOLIO REFERENCE: C/T 178220/200 & C/T 178220/201	

- (6) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (a) without doing unnecessary damage to the Easement Land; and
 - (b) leaving the Easement Land in a clean and tidy condition; and
- (7) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and all other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any then existing vehicle entry and cross the Lot to the Easement Land; and
- (8) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

PROVIDED ALWAYS THAT:

- (1) The registered proprietors of the Lot in the folio of the Register ("the Owner") must not without the written consent of TasWater first had and obtained and only in compliance with any conditions which form the consent:
 - (a) alter, excavate, plough, drill or otherwise penetrate the ground level of the Easement Land;
 - (b) install, erect or plant any building, structure, fence, pit, well, footing, pipeline, paving, tree, shrub or other object on or in the Easement Land;
 - (c) remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land;
 - (d) do any thing which will or might damage or contribute to damage to any of the Infrastructure on or in the Easement Land;
 - (e) in any way prevent or interfere with the proper exercise and benefit of the Easement Land by TasWater or its employees, contractors, agents and all other persons duly authorised by it; or
 - (f) permit or allow any action which the Owner must not do or acquiesce in that action.
- (2) TasWater is not required to fence any part of the Easement Land.

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.



ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 5 OF 9 PAGES	Registered Number SP 182675
SUBDIVIDER: RE SCAIFE & OTHERS FOLIO REFERENCE: C/T 178220/200 & C/T 178220/201	

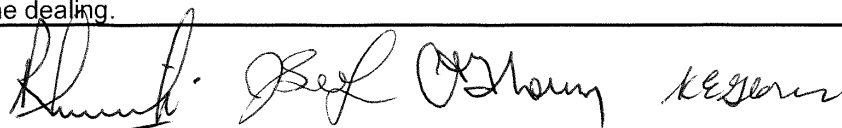
- (3) The Owner may erect a fence across the Easement Land at the boundaries of the Lot.
- (4) The Owner may erect a gate across any part of the Easement Land subject to these conditions:
 - (a) the Owner must provide TasWater with a key to any lock which would prevent the opening of the gate; and
 - (b) if the Owner does not provide TasWater with that key or the key provided does not fit the lock, TasWater may cut the lock from the gate.
- (5) If the Owner causes damage to any of the Infrastructure, the Owner is liable for the actual cost to TasWater of the repair of the Infrastructure damaged.
- (6) If the Owner fails to comply with any of the preceding conditions, without forfeiting any right of action, damages or otherwise against the Owner, TasWater may:
 - (a) reinstate the ground level of the Easement Land; or
 - (b) remove from the Easement Land any building, structure, pit, well, footing, pipeline, paving, tree, shrub or other object; or
 - (c) replace any thing that supported, protected or covered the Infrastructure.

Interpretation:

“Infrastructure” means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- sewer pipes and water pipes and associated valves;
- telemetry and monitoring devices;
- inspection and access pits;
- power poles and lines, electrical wires, electrical cables and other conducting media (excluding telemetry and monitoring devices);
- markers or signs indicating the location of the Easement Land, the Infrastructure or any warnings or restrictions with respect to the Easement Land or the Infrastructure;
- any thing reasonably required to support, protect or cover any of the Infrastructure;
- any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- where the context permits, any part of the Infrastructure.

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 6 OF 9 PAGES	Registered Number SP 182675
SUBDIVIDER: RE SCAIFE & OTHERS FOLIO REFERENCE: C/T 178220/200 & C/T 178220/201	

RIGHTS OF WAY

Lot 2 on the plan is subject to a right of carriageway (appurtenant to Lot 3 on the plan) over that portion of Lot 2 on the plan marked "RIGHT OF WAY (PRIVATE) "A", PRIVATE SERVICES EASEMENT AND DRAINAGE EASEMENT 3.60m WIDE".

Lot 3 on the plan is together with a right of carriageway over that portion of Lot 2 on the plan marked "RIGHT OF WAY (PRIVATE) "A", PRIVATE SERVICES EASEMENT AND DRAINAGE EASEMENT 3.60m WIDE".

20/1/22
Lot 3 on the plan is subject to a right of carriageway (appurtenant to Lot 2 on the plan) over that portion of Lot 3 on the plan marked "RIGHT OF WAY (PRIVATE) "B", PIPELINE & SERVICES EASEMENT, ~~PRIVATE SERVICES EASEMENT~~ and DRAINAGE EASEMENT VARIABLE WIDTH".

Lot 2 on the plan is together with a right of carriageway over that portion of Lot 3 on the plan marked "RIGHT OF WAY (PRIVATE) "B", PIPELINE & SERVICES EASEMENT, ~~PRIVATE SERVICES EASEMENT~~ and DRAINAGE EASEMENT VARIABLE WIDTH".

Lot 18 on the plan is together with a right of carriageway over the land marked "RIGHT OF WAY (PRIVATE) 8.00m (SP. 159788)" on the plan as created in SPI5390 (and dealing C84290).

HAZARD MANAGEMENT AREA COVENANT

The owners of Lots 10-12 on the plan covenant with the Southern Midlands Council to the intent that the burden of this covenant shall run with the land and bind the covenantor's lot and every part of that lot and that the benefit shall be in favour of the Southern Midlands Council to observe the following stipulations:

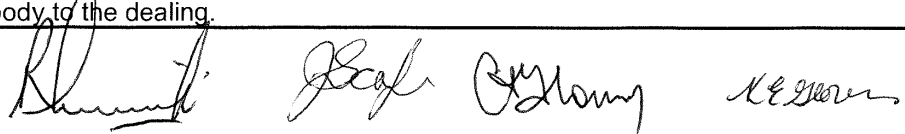
- not to erect or permit to be erected on Lots 10-12 any dwelling within the area shown as A, B, C, D on the plan, in compliance with Attachment 1 – Bushfire Hazard Management Plan as contained in the Bushfire Hazard Report by Andrew Welling of Enviro-dynamics dated December 2020,

without the prior written consent of the Southern Midlands Council (if supported by an alternative bushfire management plan).

COVENANTS

The owners of Lots 1-10 and Lot 18 on the plan, and that portion of Lot 11 on the plan formerly contained in Lot 201 on SPI78220, covenant with the vendor, RODNEY ERIC SCAIFE, JUDITH NANCY SCAIFE, ANDREW ROBERT GLOVER and KATHRYN ELIZABETH GLOVER, and the owner for the time being of every other lot on the plan to the intent that the burden of this covenant shall run with and bind

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.



ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 7 OF 9 PAGES	Registered Number SP 182675
SUBDIVIDER: RE SCAIFE & OTHERS FOLIO REFERENCE: C/T 178220/200 & C/T 178220/201	

the covenantors lot and every part thereof and that the benefit thereof shall be annexed to and devolve with each and every part of every other lot on the plan to observe the following stipulations:

- Not to, without the consent of the Southern Midlands Council, erect or permit to remain on such lot any advertising sign of any type whatsoever provided that a sign indicating that a lot is for sale will be permitted for a limited period;
- Not to use reflective materials in the construction of any dwelling, shed or outbuilding on such lot;
- Not to construct a residential building on such lot using materials other than general brick, weatherboard, finished rendered surface or masonry construction, but the use of other timber or non-masonry materials used as in-fill panels will be permitted provided that these latter materials do not exceed 30 percent of the total external wall area;
- Not to use galvanised iron or other reflective material in the construction of the roof of any dwelling or other structure on such lot;
- Not to construct a dwelling on such lot that has a minimum floor area of less than 90 square metres which area does not include patios, garages or carports;
- Not to permit vehicles with a gross vehicle mass greater than 10 tonne to be parked, stored or allowed to remain on such lot for a period in excess of six hours;
- Not to store or allow to remain on such lot any construction plant and equipment, transport equipment or salvage of building materials except where immediately required for use in the construction of a dwelling and associated infrastructure on the lot;
- Not to bring onto such lot any transportable house or a house relocated from another place;
- Not to place or permit to remain on such lot any water tank which has any external metal finish;
- Not to place or permit to remain on such lot any caravan, shed or other structure (excluding dwellings) to be used as a permanent residence provided that a caravan, shed or other structure may be utilised for a period not exceeding one year during the construction of a permanent dwelling or residence;
- Not to, without the consent of the Southern Midlands Council, conduct any trade or business on such lot provided that the letting for residential purposes of the whole of any dwelling erected on the lot will not be in contravention of this stipulation
- The Vendor reserves the right to release any such lot from any of the restrictive covenants above or to waive or alter any such restrictive covenants. The exercise of the said right in relation to any lot will not release the owners of any other lot from any of the conditions or covenants affecting

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.



ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 8 OF 9 PAGES	Registered Number SP 182675
SUBDIVIDER: RE SCAIFE & OTHERS FOLIO REFERENCE: C/T 178220/200 & C/T 178220/201	

or imposed upon such other lots or give the owners of any lot any right of action against the Vendor or any other person.

& Lot 101

Lots 12-17 on the plan and that portion of Lot 11[^] on the plan formerly contained in Lot 200 on SP178220 are burdened by the restrictive covenants as created in SP159788, SP162016, SP170362 and SP175724, & SP178220

The owner of each lot on the plan covenants with the vendor, RODNEY ERIC SCAIFE, JUDITH NANCY SCAIFE, ANDREW ROBERT GLOVER and KATHRYN ELIZABETH GLOVER, that the vendor shall not be required to fence.

Signed by RODNEY ERIC SCAIFE, JUDITH NANCY SCAIFE, ANDREW ROBERT GLOVER and KATHRYN ELIZABETH GLOVER

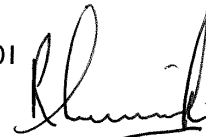
The registered owner of the land in

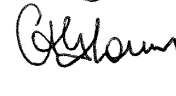
Folios of the Register Volume 178220 Folio 200 and Volume 178220 Folio 201

In the presence of:
 Witness Signature:
 Witness Full Name:
 Witness Full Address:
 Witness Occupation:



Julia Glover
 15 Gregson St
 RISDON, TAS, 7017
 Kitchen Manager






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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 9 OF 9 PAGES	Registered Number SP 182675
SUBDIVIDER: RE SCAIFE & OTHERS FOLIO REFERENCE: C/T 178220/200 & C/T 178220/201	

Executed by MURDOCH CLARKE MORTGAGE MANAGEMENT LIMITED ACN 115 958 560 as mortgagee pursuant to Mortgage M815162, as Responsible Entity of the MURDOCH CLARKE MORTGAGE FUND ARSN 093 255 559 by its Duly authorised Attorney PAUL KUZIS Pursuant to Power of Attorney registered on 15 January 2018 Registered Number PA109270 having received no notice of Revocation thereof



In the presence of:



Witness Signature:

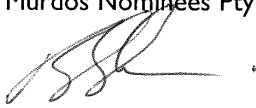
Witness Full Name:

Witness Full Address:

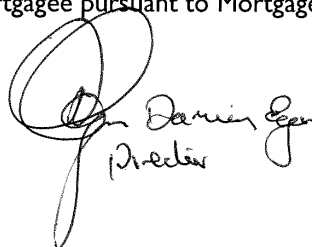
Witness Occupation:

Andrea Marie Thomas
10 Victoria Street,
Hobart Tas 7000
Legal Secretary

Executed by Murdos Nominees Pty Ltd as Mortgagee pursuant to Mortgage M745394



BEN SWAIN



Dan Davies
Director

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