



Public Notice Details

Application Details

Application No	DA2600107
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Property Details

Property Location	Lot 4 Owens Hill Road Bagdad
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Application Information

Application Type	Discretionary Development Application
Development Category	Dwelling
Advertising Commencement Date	4/9/26
Advertising Closing Period	18/9/26

If the Council Offices are closed during normal office hours within the above period, the period for making representations is extended.

If you need any further information, you're welcome to contact the Planning Department. A planner in the Development and Environmental Services section can be reached on 6254 5050 or at planningenquiries@southernmidlands.tas.gov.au.

Representations on this application may be made to the General Manager in writing either by

Post: PO Box 21, Oatlands Tas 7120
Email: mail@southernmidlands.tas.gov.au
Fax: 03 6254 5014

All representations must include the authors full name, contact number and postal address and be received by the advertising closing date.

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TOTAL FLOOR AREAS

MAIN DWELLING, GROUND FLOOR		
LIVING		118.48
PORCH		3.18
		121.65 m²

HIGHLY REACTIVE /
PROBLEMATIC SOIL TYPE.
REFER TO HYDRAULICS PLANS
AND DETAILS PREPARED BY
GANDY AND ROBERTS

AS & NCC COMPLIANCE

- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH NCC 2022 AND APPLICABLE AUSTRALIAN STANDARDS AT TIME OF APPROVAL.
- SLAB IN ACCORDANCE WITH AS 2870. REFER TO ENGINEERS DETAILS FOR ALL SLAB DETAILS.
 - BRICK CONTROL JOINTS PROVIDED IN ACCORDANCE WITH NCC 2022.
 - ALL STEEL FRAMING TO BE DESIGNED TO AS 4100-2020 OR AS/NZS 4600-2018.
 - INSULATION TO BE INSTALLED IN ACCORDANCE WITH NCC 2022 AND ALL APPLICABLE AUSTRALIAN STANDARDS.
 - TERMITE PROTECTION IN ACCORDANCE WITH AS 3660 AND NCC 2022.
 - GLAZING IN ACCORDANCE WITH AS 1288 AND NCC 2022.
 - SMOKE ALARMS IN ACCORDANCE WITH AS 3786 AND NCC 2022.
 - INTERNAL WATERPROOFING IN ACCORDANCE WITH NCC 2022 HOUSING PROVISIONS PART 10.2.
 - EXTERNAL WATERPROOFING IN ACCORDANCE WITH AS 3740 AND AS 4654.
 - WET AREA FLOORS TO FALL TO FLOOR WASTES AT MIN. 1:80 AND MAX. 1:50 GRADE (IF APPLICABLE).
 - CONDENSATION MANAGEMENT IN ACCORDANCE WITH NCC 2022 HOUSING PROVISIONS PART 10.8.
 - BUILDING SEALING IN ACCORDANCE WITH NCC 2022.
 - SERVICES IN ACCORDANCE WITH NCC 2022.
 - EARTHWORKS IN ACCORDANCE WITH AS 3798-2007.
 - EXTERNAL WALL WRAP (SARKING) IN ACCORDANCE WITH NCC 2022 (IF APPLICABLE).
 - EXHAUST FANS DUCTED TO OUTSIDE AIR (IF APPLICABLE).

SITE SPECIFIC CONTROLS

CONTROL	DETAILS
ACID SULPHATE SOIL	NO
BIODIVERSITY	NO
BUILDING ENVELOPE	NO
BUSHFIRE	BAL-LOW
CLIMATE ZONE (NCC)	ZONE 7 - COOL TEMPERATE
DESIGN WIND CLASSIFICATION	N3 (EXPOSED TBC)
ESTATE/DEVELOPER GUIDELINES	NO
FLOOD OVERLAY	NO
HERITAGE	NO
LANDSLIP HAZARD	NO
MINIMUM FLOOR LEVEL	NO
NATURAL ASSET CODE	NO
NOISE ATTENUATION	NO
SALINE SOIL	NO
SHIELDING FACTOR	NS - NO SHIELDING
SITE CLASSIFICATION	H1
SPECIFIC AREA PLAN OVERLAY	NO
TERRAIN CATEGORY	TC1
TOPOGRAPHIC CLASSIFICATION	T0
WATERWAY & COASTAL OVERLAY	NO
WIND REGION	A - NORMAL
WITHIN 1km CALM SALT WATER	NO
WITHIN 50km BREAKING SURF	42.00km
ZONING	VILLAGE

BUILDING CONTROLS & COMPLIANCE

CONTROL	REQUIRED	PROPOSED
SETBACKS		
FRONT	MIN. 4,500mm	19,996mm
SIDE A	MIN. 3,000mm	3,000mm
SIDE B	MIN. 3,000mm	4,806mm
REAR	MIN. 3,000mm	14,750mm
BULK & SCALE		
SITE AREA	1,010m²	
SITE COVERAGE	MAX. 50%	12.04%
LANDSCAPE		
NO APPLICABLE CONTROLS		
EARTHWORKS		
CUT DEPTH	MAX. 2,000mm	998mm
FILL DEPTH	MAX. 800mm	806mm
ACCESS & AMENITY		
PARKING SPACES	MIN. 2 SPACES	2 SPACES

3D PERSPECTIVE



NOTE TO OWNER

THESE PLANS MAY FEATURE WORKS THAT ARE EXCLUDED FROM THE SCOPE OF WORKS WITH THE BUILDER, BUT THEY HAVE BEEN INCLUDED IN THESE DRAWINGS TO ASSIST IN THE OVERALL PLANNING AND ASSESSMENT OF THE BUILDING PROJECT. EXAMPLES OF SOME REGULARLY EXCLUDED WORKS INCLUDE DRIVEWAYS, RETAINING WALLS, SOLAR PANEL SPACING AND SITE DRAINAGE. PLEASE REFER TO YOUR SCOPE OF WORKS AND COLOUR SELECTIONS DOCUMENTATION FOR DETAILS OF INCLUDED WORKS. SOME DETAILS ARE INDICATIVE ONLY FOR EXAMPLE FLOORING, TILING, BRICKWORK AND CLADDING (EXPANSION JOINTS, ORIENTATION AND LAYOUT) AND ARE SUBJECT TO CHANGE.

LOCATION MAP

INSTRUCTIONS

1. PASTE LOCATION MAP SCREENSHOT
2. SET THE WIDTH OF THE SCREENSHOT TO 13,200
3. DELETE THESE INSTRUCTIONS

This Plan has been prepared prior to the receipt of one or more of the following documents:-
Certificate of Title inclusive of lot specific zoning, easement and covenant documents, BAL report and rating, approved
subdivision plans providing crossover locations and service connection points, power and communications connection point
information, Geotechnical Site Investigation, Contour Survey. Dial Before You Dig information, Planning Approval.

BUILDING INFORMATION

GROUND FLOOR TOP OF WALL HEIGHT(S) 2755mm	
NOTE: CEILING HEIGHT 45mm LOWER THAN TOP OF WALL	
ROOF PITCH (U.N.O.)	23.0°
ELECTRICITY SUPPLY	SINGLE PHASE
GAS SUPPLY	NONE
ROOF MATERIAL	SHEET METAL
ROOF COLOUR	N/A
WALL MATERIAL	BRICK VENEER
SLAB CLASSIFICATION	TBC

INSULATION

ROOF	SARKING UNDER ROOFING
CEILING	R4.1 BATTS (EXCL. GARAGE, ALFRESCO)
EXT. WALLS	R2.0 BATTS (EXCL. GARAGE)
WALL WRAP	WALL WRAP TO ENTIRE HOUSE
INT. WALLS	R2.0 BATTS ADJACENT TO GARAGE AND AS PER PLAN
FLOOR	BIAX SLAB R0.60

NCC 2022 LIVABLE HOUSING COMPLIANCE

STEP FREE ENTRANCE LOCATION: N/A
ACCESSIBLE SANITARY COMPARTMENT LOCATION: ENS (GROUND FLOOR)
ACCESSIBLE SHOWER LOCATION: ENS (GROUND FLOOR)

- GENERAL NOTES:
- THRESHOLD OF ACCESSIBLE SHOWER ENTRY TO BE MAX. 5mm.
 - THRESHOLD OF STEP FREE ENTRANCE DOOR TO BE MAX. 5mm.
 - THRESHOLD OF INTERIOR DOORS SERVICING HABITABLE ROOMS, LAUNDRY, ACCESSIBLE SANITARY COMPARTMENT AND ROOM CONTAINING ACCESSIBLE SHOWER TO BE MAX. 5mm.
 - INTERIOR DOORS NOMINATED AS 870 TO ACHIEVE MIN. 820mm CLEAR OPENING.
 - CORRIDORS CONNECTING HABITABLE ROOMS, ACCESSIBLE SANITARY COMPARTMENT AND ROOM CONTAINING ACCESSIBLE SHOWER TO ACHIEVE MIN. 1000mm CLEARANCE BETWEEN FINISHED SURFACE OF OPPOSING WALLS (EXCL. SKIRTINGS).
 - REFER TO APPLICABLE WET AREA PLANS AND INTERIOR ELEVATIONS FOR LOCATIONS OF REQUIRED WALL REINFORCEMENT FOR FUTURE GRAB RAIL INSTALLATION.

THE OWNERS ACKNOWLEDGE THAT THESE CONTRACT PLANS MAY NOT REFLECT ALL THE SELECTIONS THAT HAVE BEEN MADE OR CHANGES REQUESTED. THE OWNERS AGREE THAT FOLLOWING THE COLOUR SELECTIONS VARIATION OR UPDATING OF PLANS, THEY WILL BE PROVIDED WITH CONSTRUCTION PLANS FOR SIGNATURE PRIOR TO COMMENCEMENT OF CONSTRUCTION.

SIGNATURE:

DATE:

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
LIVABLE HOUSING

PLAN ACCEPTANCE BY OWNER

SIGNATURE:

DATE:

SIGNATURE:

DATE:

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED
AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

PRELIMINARY PLAN SET

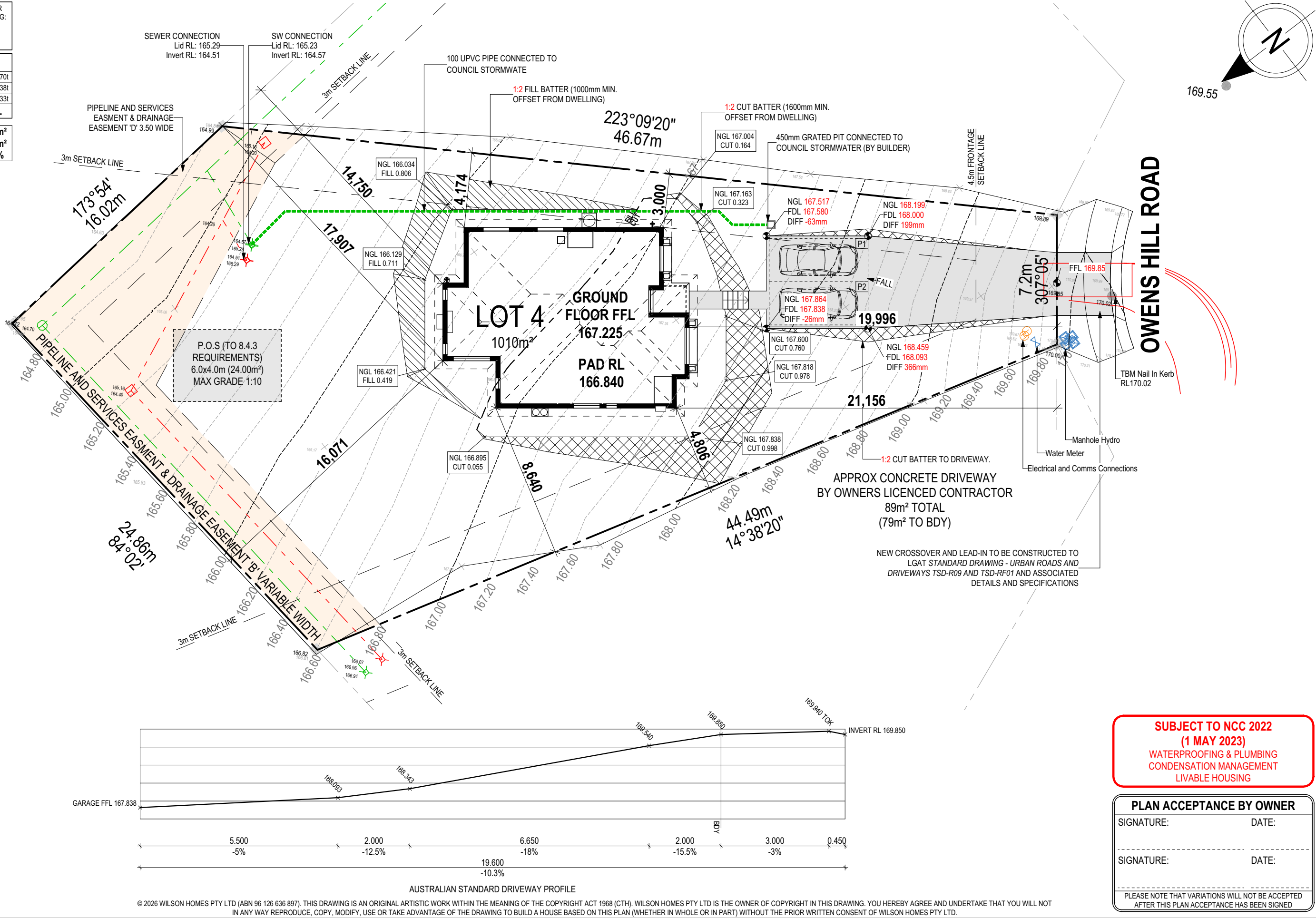
2	PRELIMINARY PLAN SET - INITIAL ISSUE	ALL	2026.07.29	NVO	-
No.	AMENDMENT	SHEET	DATE	DRAWN	CHECK

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		2 PRELIMINARY PLANS - INITIAL ISSUE	NVO 29/07/2026	ADDRESS: OWENS HILL RD, BAGDAD TAS 7030		FACADE DESIGN: EXECUTIVE	FACADE CODE: F-WDCED20EXECA	
				LOT / SECTION / CT: 4 / - / TBC	COUNCIL: SOUTHERN MIDLANDS	SHEET TITLE: COVER SHEET	SHEET No.: 1 / 19	
							SCALES:	714879

REVISION SHEET (FOR ALL BUILDING INFORMATION REGARDING: - SUSTAINABLE REQUIREMENTS - SITE CLASSIFICATION - GENERAL BUILDING INFORMATION)		
APPROX CUT/FILL		
CUT	61.20m³	137.70t
FILL	33.50m³	75.38t
DIFFERENCE	27.70m³	62.33t
62 TONNES OF EXPORT FILL		
LOT SIZE: 1010m²		
HOUSE (COVERED AREA): 121.65m²		
SITE COVERAGE: 12.04%		



SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
LIVABLE HOUSING

PLAN ACCEPTANCE BY OWNER

SIGNATURE:	DATE:
SIGNATURE:	DATE:

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			2 PRELIMINARY PLANS - INITIAL ISSUE		NVO 29/07/2026												
							LOT / SECTION / CT: 4 / - / TBC		COUNCIL: SOUTHERN MIDLANDS		SHEET TITLE: SITE PLAN		SHEET No.: 2 / 19	SCALES: 1:200	714879		

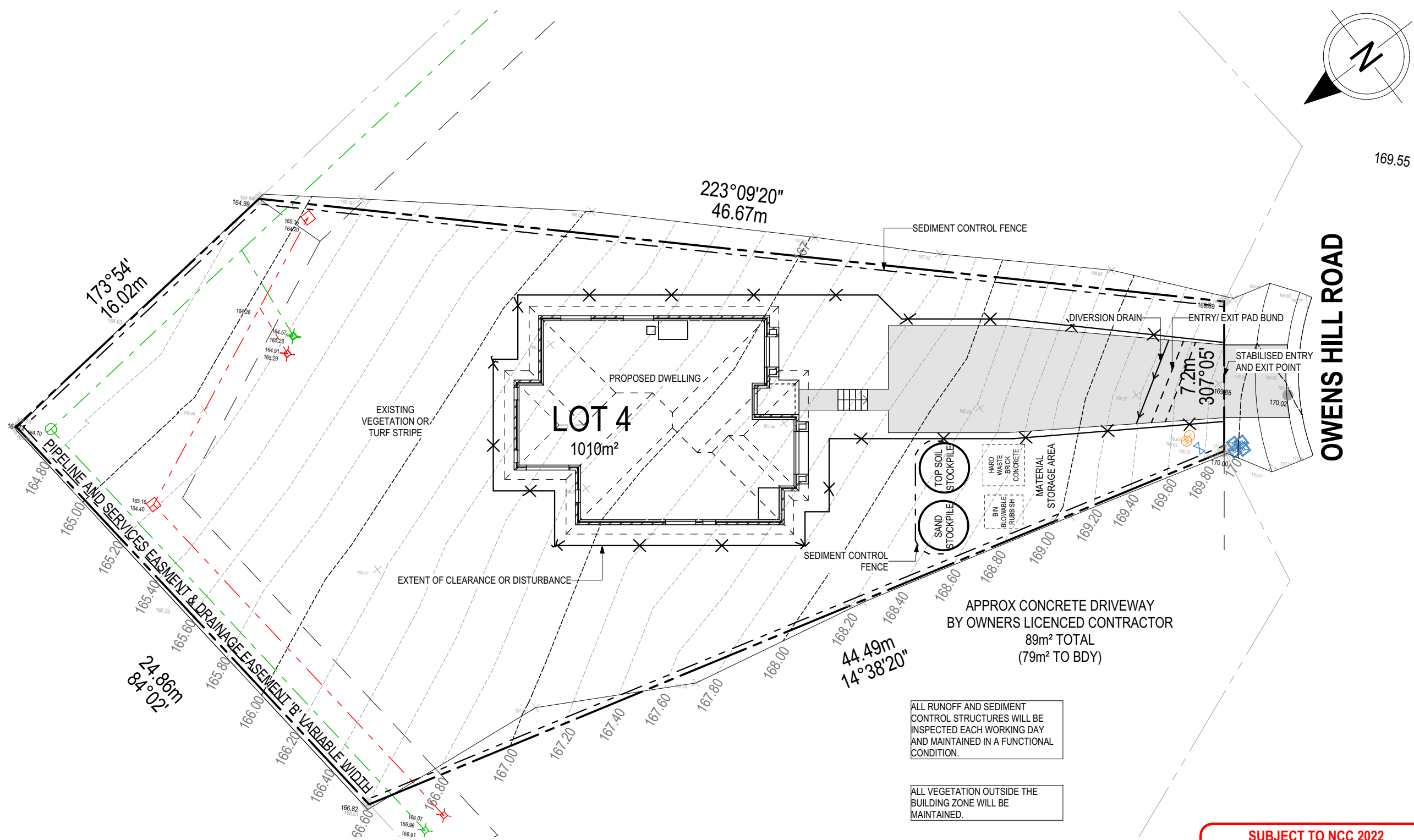
ALL VEGETATION OUTSIDE THE BUILDING ZONE WILL BE MAINTAINED.

OWNER TO STABILISE THE SITE ON COMPLETION OF THE BUILD WITH TURF LAWNS, GRASS SEEDS, NATIVE GROUND COVERS AND/ OR MULCH SPREAD TO A DEPTH OF 75-100mm

THE FOLLOWING IS A STANDARD APPROACH. SEDIMENT AND EROSION CONTROL MEASURES WILL BE REVIEWED PRIOR TO COMMENCING WORK AND INSTALLED BASED ON THE OUTCOME OF THAT REVIEW.

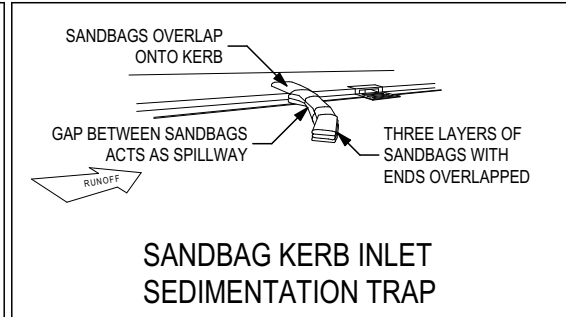
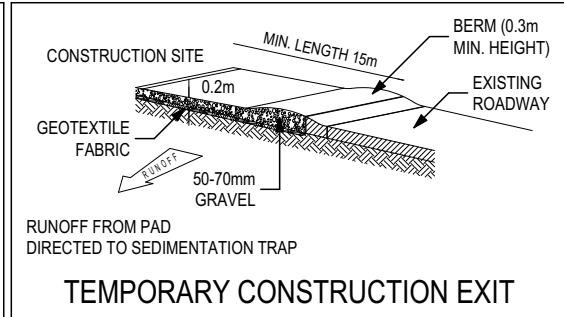
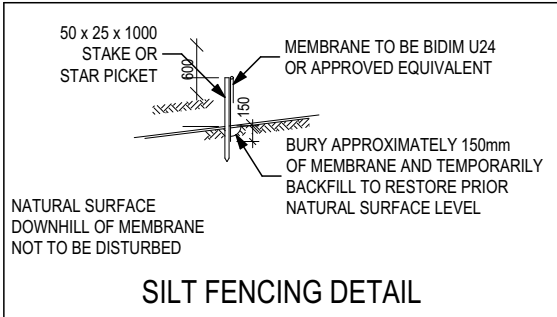
- NOTES:
1. ALL EROSION AND SEDIMENT CONTROL STRUCTURES TO BE INSPECTED EACH WORKING DAY AND MAINTAINED IN GOOD WORKING ORDER.
 2. ALL GROUND COVER VEGETATION OUTSIDE THE IMMEDIATE BUILDING AREA TO BE PRESERVED DURING THE BUILDING PHASE.
 3. ALL EROSION AND SEDIMENT CONROL MEASURES TO BE INSTALLED PRIOR TO COMMENCEMENT OF MAJOR EARTHWORKS.
 4. STOCKPILES OF CLAYEY MATERIAL TO BE COVERED WITH AN IMPERVIOUS SHEET.
 5. ROOF WATER DOWNPIPES TO BE CONNECTED TO THE PERMANENT UNDERGROUND STORMWATER DRAINAGE SYSTEM AS SOON AS PRACTICAL AFTER THE ROOF IS LAID.

6. DIVERSION DRAINS ARE TO BE CONNECTED TO A LEAGAL DISCHARGE POINT (COUNCIL STORMWATER SYSTEM, WATERCOURSE OR ROAD DRAIN).
7. SEDIMENT RETENTION TRAPS INSTALLED AROUND THE INLETS TO THE STORMWATER SYSTEM TO PREVENT SEDIMENT & OTHER DEBRIS BLOCKING THE DRAINS.



ALL RUNOFF AND SEDIMENT CONTROL STRUCTURES WILL BE INSPECTED EACH WORKING DAY AND MAINTAINED IN A FUNCTIONAL CONDITION.

ALL VEGETATION OUTSIDE THE BUILDING ZONE WILL BE MAINTAINED.



SUBJECT TO NCC 2022 (1 MAY 2023)

WATERPROOFING & PLUMBING CONDENSATION MANAGEMENT LIVABLE HOUSING

PLAN ACCEPTANCE BY OWNER

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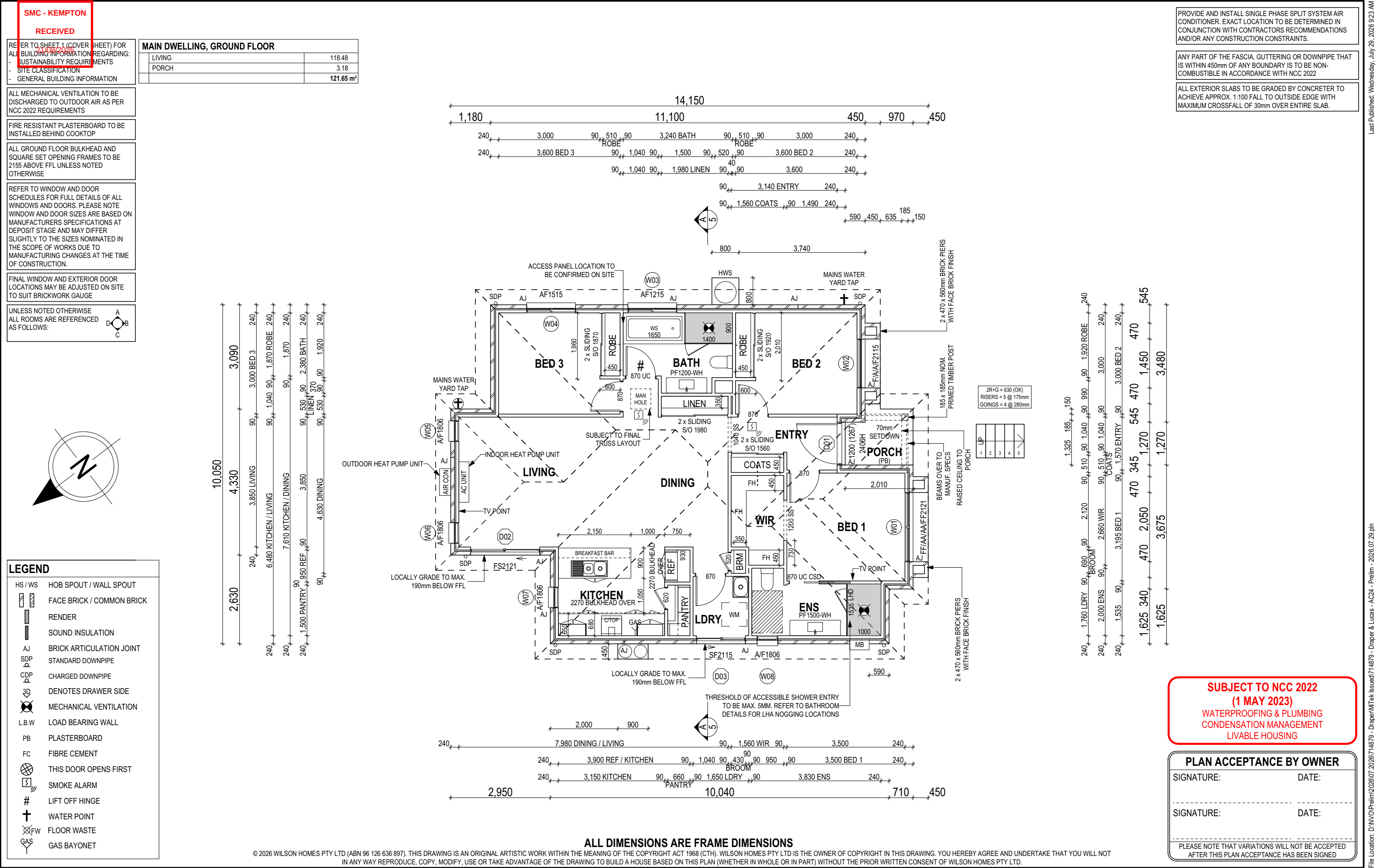
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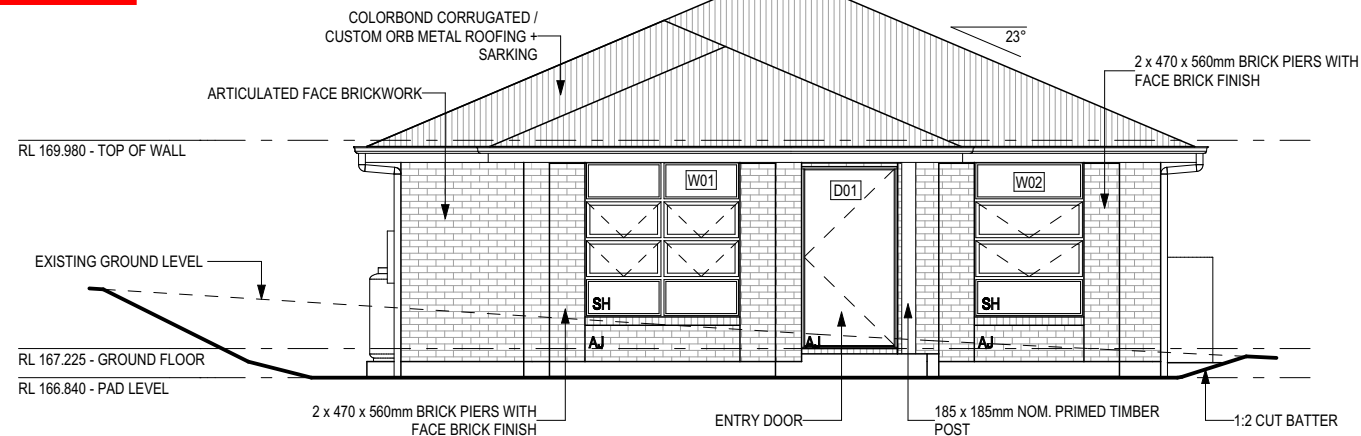
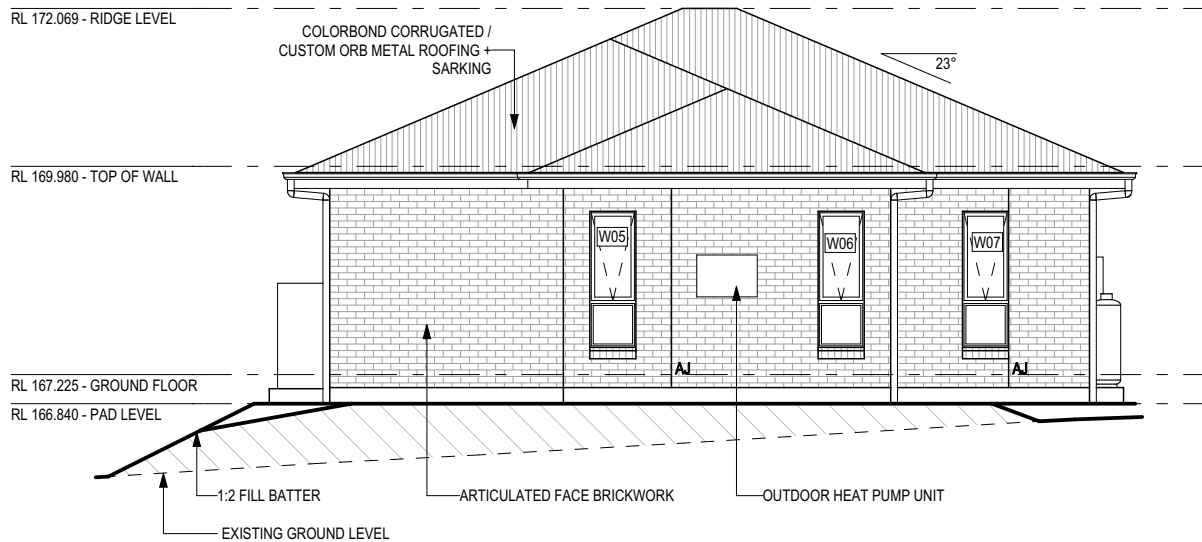
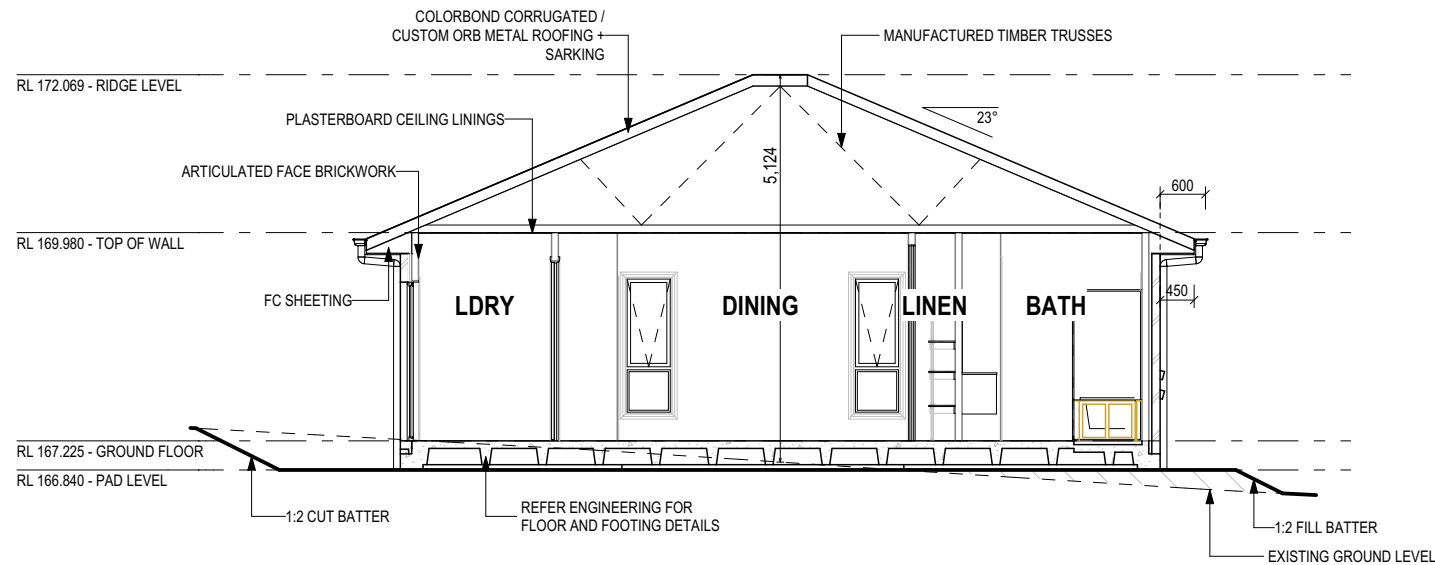
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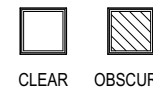


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			COUNCIL: SOUTHERN MIDLANDS		SCALES: 1:200	714879

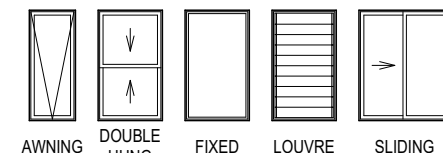


SOUTH WEST ELEVATION
SCALE: 1:100NORTH EAST ELEVATION
SCALE: 1:100SECTION A-A
SCALE: 1:100

GLASS TYPE LEGEND



WINDOW TYPE LEGEND



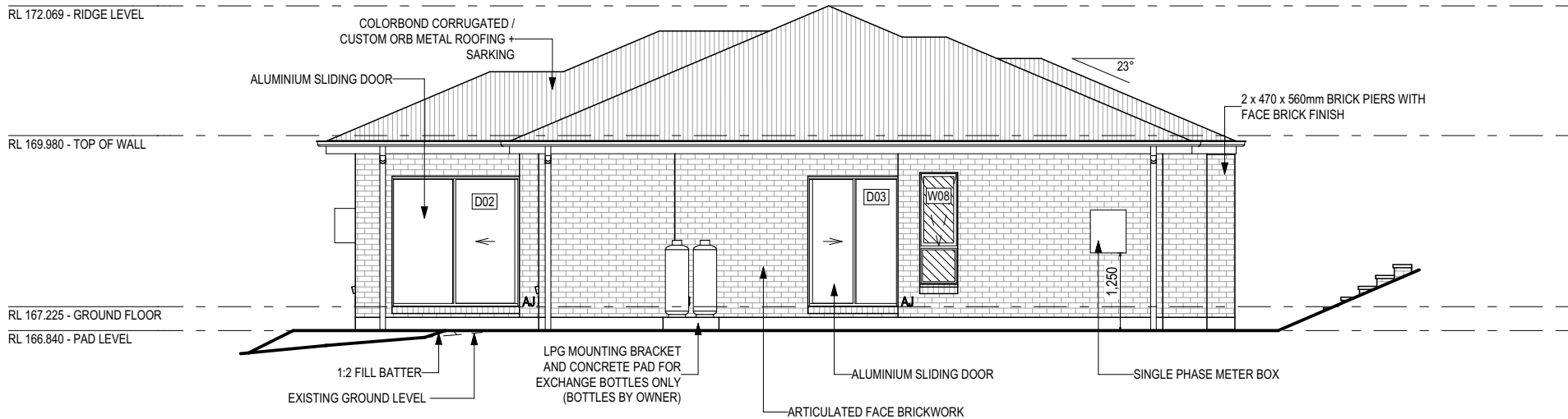
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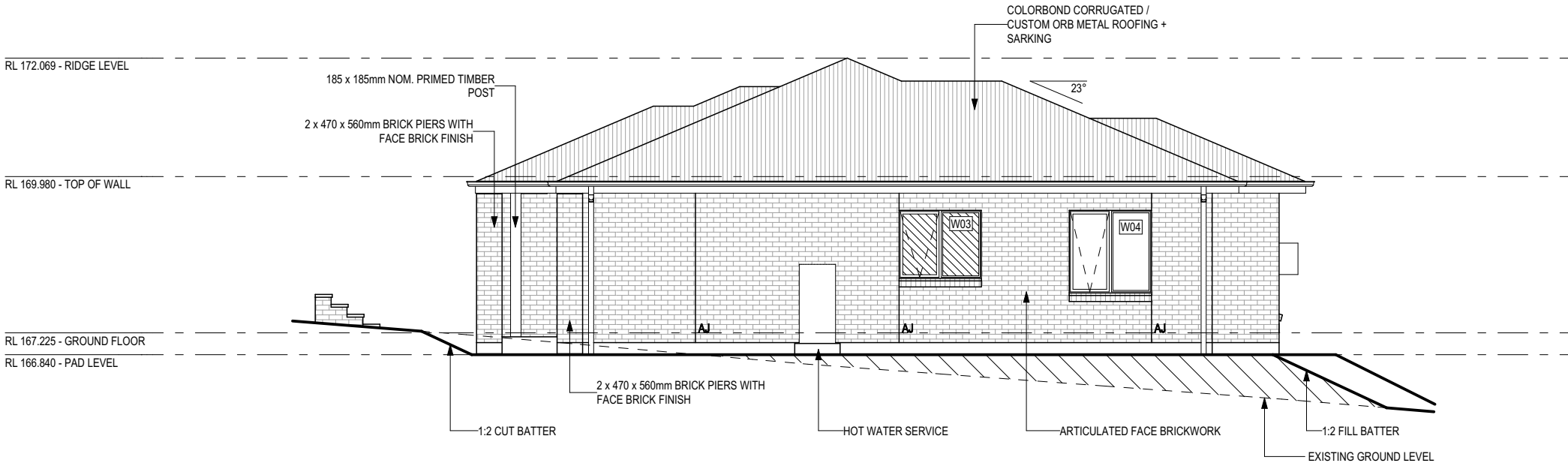
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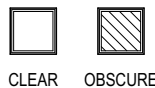


NORTH WEST ELEVATION
SCALE: 1:100

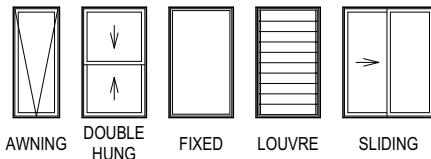


SOUTH EAST ELEVATION
SCALE: 1:100

GLASS TYPE LEGEND



WINDOW TYPE LEGEND



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(1 MAY 2023)**
WATERPROOFING & PLUMBING
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LIVABLE HOUSING

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EXTERIOR WINDOW & DOOR SCHEDULE 1,2 ASSUME LOOKING FROM OUTSIDE

RECEIVED STOREY 21/08/2026	ID	CODE¹	TYPE	ROOM	HEIGHT	WIDTH	PERIMETER	AREA (m²)	FRAME TYPE	BAL RATING	SILL TYPE	ORIENT.	GLAZING AREA (m²)	GLAZING TYPE (SINGLE GLAZING U.N.O.)	ADDITIONAL INFORMATION²
WINDOW															
GROUND FLOOR	W01	FF/AA/AA/FF2121	AWNING	BED 1	2,057	2,050	8,214	4.22	ALUMINIUM	BAL-LOW	SNAP HEADER	SW	3.07	CLEAR, DOUBLE GLAZED	BP 514/1029/1543, MP 1025/1025/1025/1025
GROUND FLOOR	W02	F/A/A/F2115	AWNING	BED 2	2,057	1,450	7,014	2.98	ALUMINIUM	BAL-LOW	SNAP HEADER	SW	2.24	CLEAR, DOUBLE GLAZED	BP 514/1029/1543
GROUND FLOOR	W03	AF1215	AWNING	BATH	1,200	1,450	5,300	1.74	ALUMINIUM	BAL-LOW	ANGLED	SE	1.38	OBSCURE, DOUBLE GLAZED, TOUGHENED	MP 725
GROUND FLOOR	W04	AF1515	AWNING	BED 3	1,457	1,450	5,814	2.11	ALUMINIUM	BAL-LOW	ANGLED	SE	1.70	CLEAR, DOUBLE GLAZED	MP 725
GROUND FLOOR	W05	A/F1806	AWNING	LIVING	1,800	610	4,820	1.10	ALUMINIUM	BAL-LOW	ANGLED	NE	0.80	CLEAR, DOUBLE GLAZED	BP 600
GROUND FLOOR	W06	A/F1806	AWNING	LIVING	1,800	610	4,820	1.10	ALUMINIUM	BAL-LOW	ANGLED	NE	0.80	CLEAR, DOUBLE GLAZED	BP 600
GROUND FLOOR	W07	A/F1806	AWNING	KITCHEN	1,800	610	4,820	1.10	ALUMINIUM	BAL-LOW	ANGLED	NE	0.80	CLEAR, DOUBLE GLAZED	BP 600
GROUND FLOOR	W08	A/F1806	AWNING	ENS	1,800	610	4,820	1.10	ALUMINIUM	BAL-LOW	ANGLED	NW	0.80	OBSCURE, DOUBLE GLAZED, TOUGHENED	BP 600
							45,622 mm	15.44					11.60		
DOOR															
GROUND FLOOR	D01	1200	SWINGING	ENTRY	2,406	1,267	7,346	3.05	TIMBER	BAL-LOW	SNAP HEADER	SW	---	DOOR(S): N/A - SIDELIGHT(S): N/A	LEAF SIZE: 2340 x 1200mm
GROUND FLOOR	D02	FS2121	SLIDING	LIVING	2,100	2,050	8,300	4.31	ALUMINIUM	BAL-LOW	SNAP HEADER	NW	3.79	CLEAR, DOUBLE GLAZED, TOUGHENED	
GROUND FLOOR	D03	SF2115	SLIDING	LDRY	2,100	1,450	7,100	3.05	ALUMINIUM	BAL-LOW	SNAP HEADER	NW	2.59	CLEAR, DOUBLE GLAZED, TOUGHENED	
							22,746 mm	10.40					6.39		
							68,368 mm	25.84					17.99		

INTERIOR WINDOW & DOOR SCHEDULE

STOREY	QTY	CODE	TYPE	HEIGHT	WIDTH	GLAZING TYPE	ADDITIONAL INFORMATION
DOOR							
GROUND FLOOR	1	1040 SS	SQUARE SET OPENING	2,455	1,040	N/A	
GROUND FLOOR	1	1200 SS	SQUARE SET OPENING	2,455	1,200	N/A	
GROUND FLOOR	1	2 x SLIDING	SLIDING	2,595	1,980	N/A	
GROUND FLOOR	1	2 x SLIDING	SLIDING	2,595	1,920	N/A	
GROUND FLOOR	1	2 x SLIDING	SLIDING	2,595	1,560	N/A	
GROUND FLOOR	1	2 x SLIDING	SLIDING	2,595	1,870	N/A	
GROUND FLOOR	1	520	SWINGING	2,340	520	N/A	
GROUND FLOOR	1	620	SWINGING	2,340	620	N/A	
GROUND FLOOR	4	870	SWINGING	2,340	870	N/A	
GROUND FLOOR	1	870 UC	SWINGING	2,340	870	N/A	20mm UNDERCUT, LIFT-OFF HINGES
GROUND FLOOR	1	870 UC CSD	CAVITY SLIDING	2,340	870	N/A	20mm UNDERCUT

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

NOTE: INTERNAL DOORS TO WET AREAS WITH MECHANICAL VENTILATION TO BE UNDERCUT 20mm

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Window Manufacturer: Dowell Windows

No BAL / BAL 12.5

Window Type	WERS Code	U Value	SHGC
Sliding Window	DOW-022-003	2.9	0.64
Awning Window	DOW-005-001	3.9	0.58
Fixed External Window	DOW-038-001	3.03	0.71
Sliding Door	DAR-034-001	3.97	0.63
Stacking Door	DAR-034-001	3.97	0.63
Hinged Door	DOW-017-001	4.1	0.55
Bi-Fold Door	DOW-020-001	4.1	0.54

BAL 19

Window Type	WERS Code	U Value	SHGC
Sliding Window	TND-034-001	3.1	0.61
Awning Window	STG-001-066	3.91	0.54
Fixed External Window	DOW-038-005	3.02	0.66
Sliding Door	AUW-009-009	4.03	0.58
Stacking Door	AUW-009-009	4.03	0.58
Hinged Door	GRN-009-001	4.25	0.53
Bi-Fold Door	DOW-020-001	4.1	0.54

BAL 29

Window Type	WERS Code	U Value	SHGC
Sliding Window	TND-034-001	3.1	0.61
Awning Window	STG-001-066	3.91	0.54
Fixed External Window	DOW-038-005	3.02	0.66
Sliding Door	AMJ-007-005	4.03	0.59
Stacking Door	AMJ-007-005	4.03	0.59
Hinged Door	GRN-009-001	4.29	0.53

NOTE:
Windows supplied MUST HAVE Uw better and or equal to stated figures and SHGC within +/- 5% of stated figures. Restricted windows to have their openability restricted as per N.C.C 11.3.6.

PICTURE, TV RECESS AND SS WINDOW OPENINGS

QTY	TYPE	HEIGHT	WIDTH	AREA (m²)
-----	------	--------	-------	-----------

SUBJECT TO NCC 2022
(1 MAY 2023)

WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
LIVABLE HOUSING

PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

SIGNATURE: DATE:

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SPECIFICATION:
DISCOVERY

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REVISION

1	CONSOLIDATED PROPOSAL 1
2	PRELIMINARY PLANS - INITIAL ISSUE

DRAWN

MFC	06/07/2026
NVO	29/07/2026

CLIENT:

SAMUAL CHRISTOPHER LUCAS & HOLLY ANNE DRAPER

ADDRESS:

OWENS HILL RD, BAGDAD TAS 7030

LOT / SECTION / CT:

4 / - / TBC

COUNCIL:

SOUTHERN MIDLANDS

HOUSE DESIGN:

EDEN 13

FACADE DESIGN:

EXECUTIVE

SHEET TITLE:

WINDOW & DOOR SCHEDULES

SHEET No.:

7 / 19

HOUSE CODE:

H-WDCEDE20SA

FACADE CODE:

F-WDCEDE20EXECA

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TO THE DRAFTING OFFICE.

714879

NATURAL LIGHT AND VENTILATION

ROOM	AREA (m2)	WINDOW ID	LIGHT REQUIRED (m2)	LIGHT ACHIEVED (m2)	VENTILATION REQ'D (m2)	VENTILATION ACH'D (m2)
OPEN KITCHEN/ LIVING/ DINING	41.70 m²	D02, W05, W06, W07	4.17 m²	6.19 m²	2.09 m²	3.98 m²
BED 1	11.18 m²	W01	1.12 m²	3.07 m²	0.56 m²	1.88 m²
BED 2	10.57 m²	W02	1.06 m²	2.24 m²	0.53 m²	1.34 m²
BED 3	10.58 m²	W04	1.06 m²	1.70 m²	0.53 m²	0.97 m²

PART 10.5.1 LIGHT: Minimum 10% of the floor area of a habitable room required (natural light)

PART 10.6 VENTILATION: Minimum 5% of the floor area of a habitable room required. (An exhaust fan may be used for sanitary compartment, laundry or bathroom provided contaminated air discharges directly to the outside of the building by way of ducts).

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LIVABLE HOUSING

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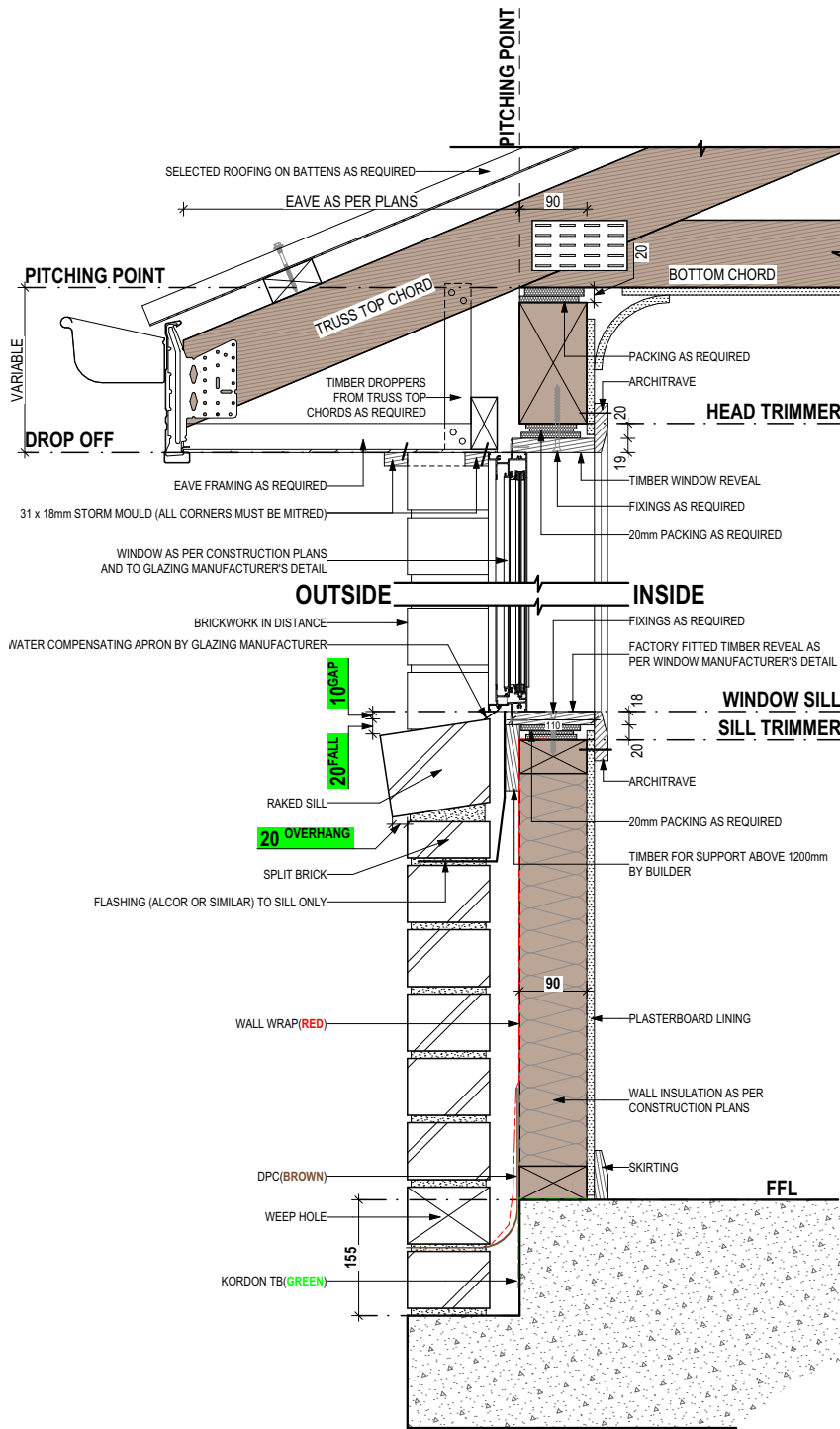
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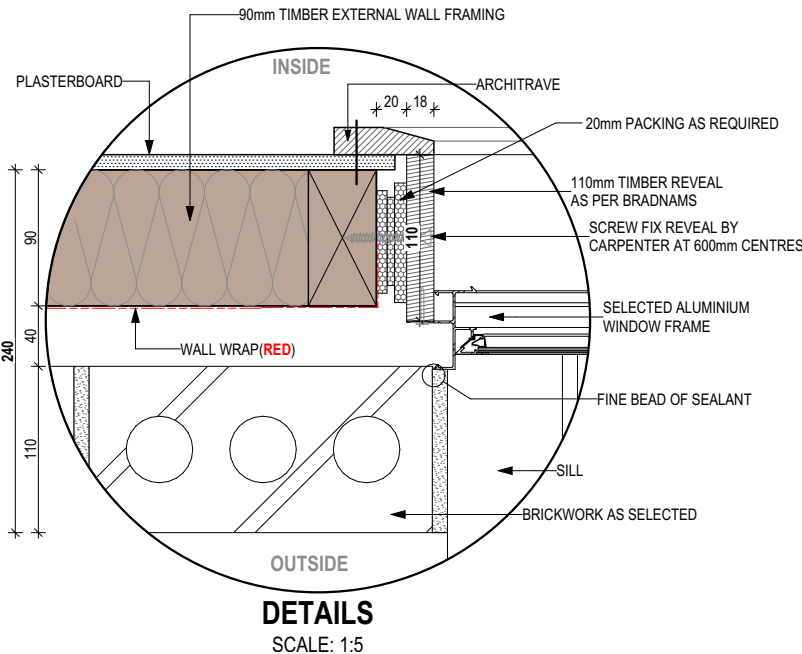
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	2 PRELIMINARY PLANS - INITIAL ISSUE	NVO 29/07/2026	ADDRESS: OWENS HILL RD, BAGDAD TAS 7030	FACADE DESIGN: EXECUTIVE	FACADE CODE: F-WDCEDE20EXECA	
			LOT / SECTION / CT: 4 / - / TBC	COUNCIL: SOUTHERN MIDLANDS	SHEET No.: 8 / 19	
				SHEET TITLE: CALCULATIONS	SCALES:	714879



SECTIONS
SCALE: 1:10

STANDARD BRICK									STANDARD BRICK								
BRICKWORK DIMENSIONS Bricks per m ² in wall = 48.5 approx.									BRICKWORK DIMENSIONS Bricks per m ² in wall = 48.5 approx.								
FORMAT SIZE: 240x120x86mm			MANUFACTURING SIZE: 230x110x76mm			VERTICAL GAUGE: 7 Courses to 600mm			FORMAT SIZE: 240x120x86mm			MANUFACTURING SIZE: 230x110x76mm			VERTICAL GAUGE: 7 Courses to 600mm		
NO. OF BRICKS	LENGTH	OPENING	HEIGHT	NO. OF BRICKS	LENGTH	OPENING	HEIGHT		NO. OF BRICKS	LENGTH	OPENING	HEIGHT	NO. OF BRICKS	LENGTH	OPENING	HEIGHT	
1	230	250	86	26	6230	6250	2229		11	2630	2650	943	36 ¹ / ₂	8630			3086
1 ¹ / ₂	350	370		26 ¹ / ₂	6350	6370			11 ¹ / ₂	2750	2770		36 ¹ / ₂	8750			
2	470	490	172	27	6470	6490	2314		12	2870	2890	1029	37	8870			3172
2 ¹ / ₂	590	610		27 ¹ / ₂	6590	6610			12 ¹ / ₂	2990	3010		37 ¹ / ₂	8990			
3	710	730	257	28	6710	6730	2400		13	3110	3130	1114	38	9110			3257
3 ¹ / ₂	830	850		28 ¹ / ₂	6830	6850			13 ¹ / ₂	3230	3250		38 ¹ / ₂	9230			
4	950	970	343	29	6950	6970	2486		14	3350	3370	1200	39	9350			3343
4 ¹ / ₂	1070	1090		29 ¹ / ₂	7070	7090			14 ¹ / ₂	3470	3490		39 ¹ / ₂	9470			
5	1190	1210	429	30	7190	7210	2572		15	3590	3610	1286	40	9590			3429
5 ¹ / ₂	1310	1330		30 ¹ / ₂	7310	7330			15 ¹ / ₂	3710	3730		40 ¹ / ₂	9710			
6	1430	1450	514	31	7430	7450	2657		16	3830	3850	1372	41	9830			3514
6 ¹ / ₂	1550	1570		31 ¹ / ₂	7550	7570			16 ¹ / ₂	3950	3970		41 ¹ / ₂	9950			
7	1670	1690	600	32	7670	7690	2743		17	4070	4090	1457	42	10070			3600
7 ¹ / ₂	1790	1810		32 ¹ / ₂	7790	7810			17 ¹ / ₂	4190	4210		42 ¹ / ₂	10190			
8	1910	1930	686	33	7910	7930	2829		18	4310	4330	1543	43	10310			3686
8 ¹ / ₂	2030	2050		33 ¹ / ₂	8030	8050			18 ¹ / ₂	4430	4450		43 ¹ / ₂	10430			
9	2150	2170	772	34	8150	8170	2914		19	4550	4570	1629	44	10550			3772
9 ¹ / ₂	2270	2290		34 ¹ / ₂	8270	8290			19 ¹ / ₂	4670	4690		44 ¹ / ₂	10670			
10	2390	2410	857	35	8390	8400	3000		20	4790	4810	1714	45	10790			3857
									20 ¹ / ₂	4910	4930		45 ¹ / ₂	10910			
									21	5030	5050	1800	46	11030			3943
									21 ¹ / ₂	5150	5170		46 ¹ / ₂	11150			
									22	5270	5290	1886	47	11270			4029
									22 ¹ / ₂	5390	5410		47 ¹ / ₂	11390			
									23	5510	5530	1972	48	11510			4114
									23 ¹ / ₂	5630	5650		48 ¹ / ₂	11630			
									24	5750	5770	2057	49	11750			4200
									24 ¹ / ₂	5870	5890		49 ¹ / ₂	11870			
									25	5990	6010	2143	50	11990			4286
									25 ¹ / ₂	6110	6130		100	23990			8572

NOT OFTEN REQUIRED. IF NEEDED ADD 20 TO LENGTH.



SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
LIVABLE HOUSING

PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

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REVISION
1 CONSOLIDATED PROPOSAL 1
2 PRELIMINARY PLANS - INITIAL ISSUE

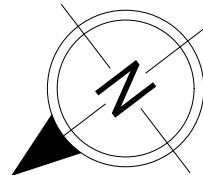
DRAWN
MFC 06/07/2026
NVO 29/07/2026

CLIENT:
SAMUAL CHRISTOPHER LUCAS & HOLLY ANNE DRAPER
ADDRESS:
OWENS HILL RD, BAGDAD TAS 7030
LOT / SECTION / CT:
4 / - / TBC
COUNCIL:
SOUTHERN MIDLANDS

HOUSE DESIGN:
EDEN 13
FACADE DESIGN:
EXECUTIVE
SHEET TITLE:
DETAILS (FACE BRICKWORK)

HOUSE CODE:
H-WDCED20SA
FACADE CODE:
F-WDCED20EXECA
SHEET No.:
9 / 19
SCALES:

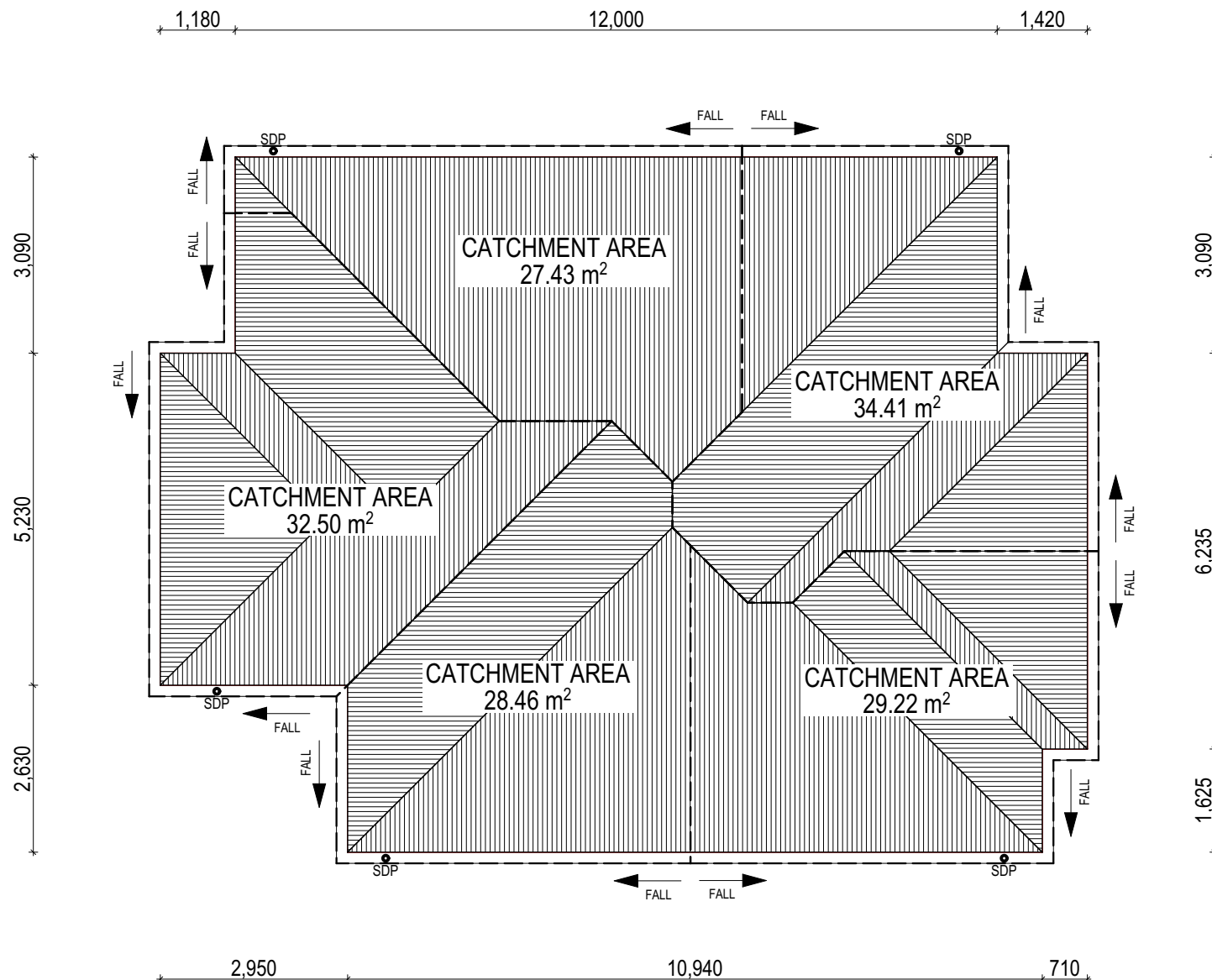
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WHERE DOWNPIPES ARE FURTHER THAN 1.2m AWAY FROM VALLEY REFER TO N.C.C. 7.3.5(2)

POSITION AND QUALITY OF DOWNPIPES ARE NOT TO BE ALTERED WITHOUT CONSULTATION WITH DESIGNER.

AREA'S SHOWN ARE SURFACE AREAS/ CATCHMENT AREAS, NOT PLAN AREAS



Roofing Data

	142.92	Flat Roof Area (excluding gutter and slope factor) (m²)
	155.27	Roof Surface Area (includes slope factor, excludes gutter) (m²)

Downpipe roof calculations (as per AS/NZA3500.3:2021)

Ah	152.03	Area of roof catchment (including 115mm Slotted Quad Gutter) (m²)
Ac	183.96	Ah x Catchment Area Multiplier for slope (Table 3.4.3.2 from AS/NZS 3500.3:2021) (1.21 for 23° pitch) (m²)
Ae	6300	Cross sectional area of 57 x 115 Slotted Quad Gutter (mm²)
DRI	83	Design Rainfall Intensity (determined from Table E1 from AS/NZS 3500.3:2021)
Acdp	64	Catchment area per Downpipe (determined from Figure 3.5(A) from AS/NZS 3500.3:2021) (m²)
Required Downpipes	2.87	Ac / Acdp
Downpipes Provided	5	

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SUBJECT TO NCC 2022

(1 MAY 2023)

**WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
LIVABLE HOUSING**

PLAN ACCEPTANCE BY OWNER

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MFC	06/07/2026
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ADDRESS:

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LOT / SECTION / CT:

4 / - / TBC

COUNCIL:

SOUTHERN MIDLANDS

HOUSE DESIGN:

EDEN 13

FACADE DESIGN:

EXECUTIVE

SHEET TITLE:

ROOF DRAINAGE PLAN

SHEET No.:

10 / 19

HOUSE CODE:

H-WDCEDE20SA

FACADE CODE:

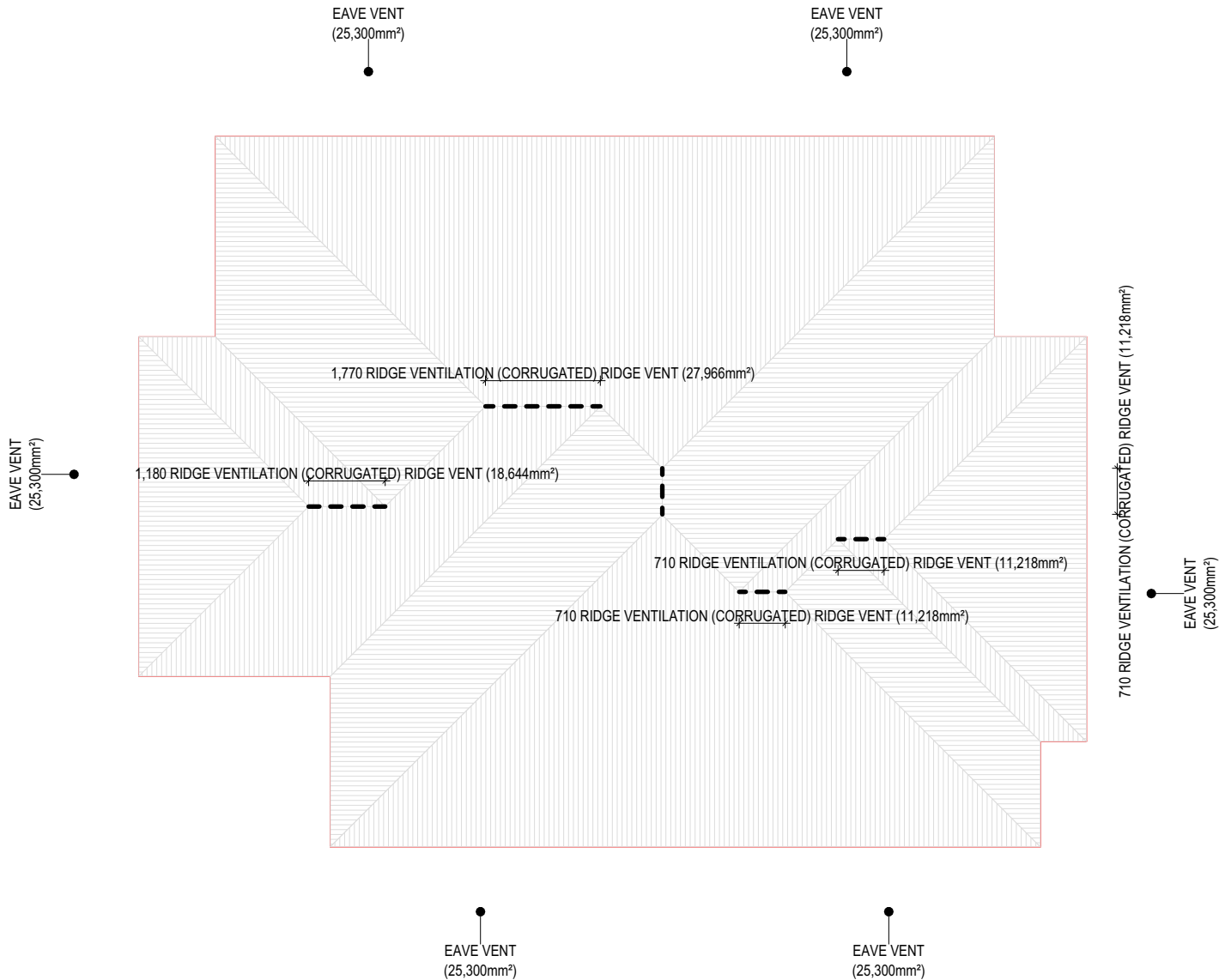
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GROUND FLOOR 23° ROOF (ID 1)
ROOF LENGTH: 14.600m
ROOF PITCH: 23.0°
CEILING: FLAT
HIGH LEVEL VENTILATION REQUIRED: 72,995mm²
LOW LEVEL VENTILATION REQUIRED: 102,193mm²

ROOF SPACE VENTILATION			
REFER TO ROOF PLAN FOR VENTILATION LOCATIONS			
GROUND FLOOR 23Á° ROOF			
LONGEST HORIZONTAL ROOF LENGTH		14.600m	
ROOF PITCH		23.00°	
HIGH LEVEL VENTILATION	REQUIRED	72,995mm² (5,000 x 14.600m)	
	PROVIDED	80,264mm²	
LOW LEVEL VENTILATION	REQUIRED	102,193mm² (7,000 x 14.600m)	
	PROVIDED	151,800mm²	
NO OF EAVE VENTS	REQUIRED	4.04	
	PROVIDED	6	

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							LOT / SECTION / CT:		COUNCIL:		SHEET TITLE:		SHEET No.:		SCALES:		
							4 / - / TBC		SOUTHERN MIDLANDS		ROOF VENTILATION		11 / 19		1:100		714879

Template Version: 24/04/3

REVISION SHEET FOR ALL BUILDING INFORMATION REGARDING:

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- SITE CLASSIFICATION
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FLOOR TILES SHOWN ON PLAN DO NOT INDICATE THE SIZE OR JOINT LOCATIONS OF THE ACTUAL FLOOR TILES. TIMBER FLOORING SHOWN ON PLAN DOES NOT INDICATE THE BOARD SIZE OR DIRECTION OF THE ACTUAL FLOORING.

COVERINGS LEGEND

- NO COVERING
- COVER GRADE CONCRETE
- CARPET
- LAMINATE
- TILE (STANDARD WET AREAS)
- TILE (UPGRADED AREAS)
- DECKING



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(1 MAY 2023)
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CONDENSATION MANAGEMENT
LIVABLE HOUSING

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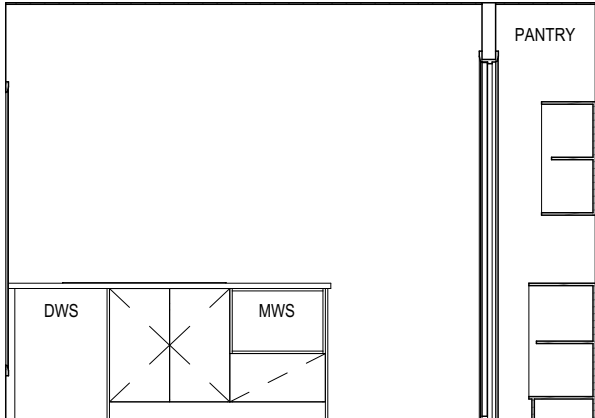
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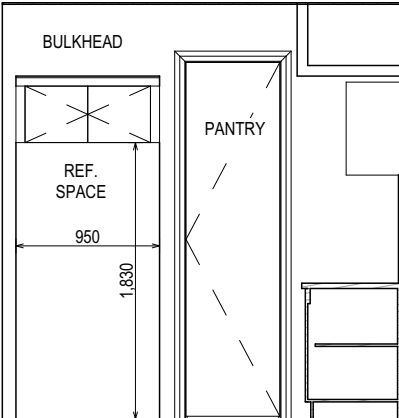
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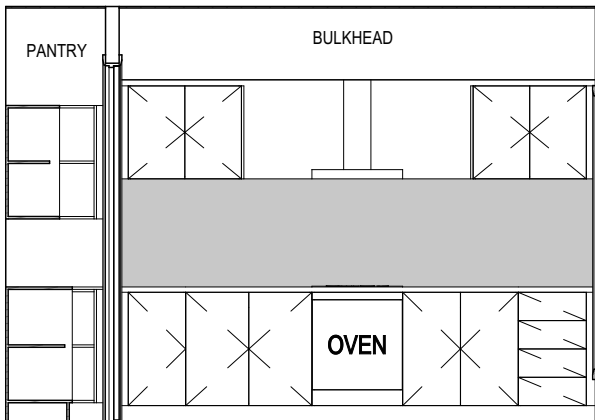
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	2 PRELIMINARY PLANS - INITIAL ISSUE	NVO 29/07/2026	ADDRESS: OWENS HILL RD, BAGDAD TAS 7030	FACADE DESIGN: EXECUTIVE	FACADE CODE: F-WDCEDE20EXECA	
			LOT / SECTION / CT: 4 / - / TBC	SHEET TITLE: FLOOR COVERINGS	SCALES: 1:100	
			COUNCIL: SOUTHERN MIDLANDS	SHEET No.: 12 / 19		



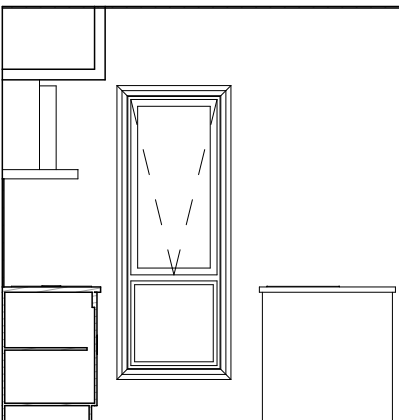
ELEVATION A
SCALE: 1:50



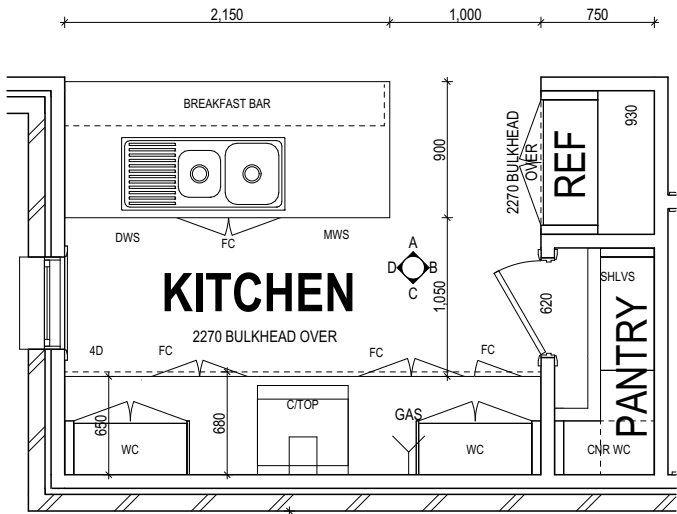
ELEVATION B
SCALE: 1:50



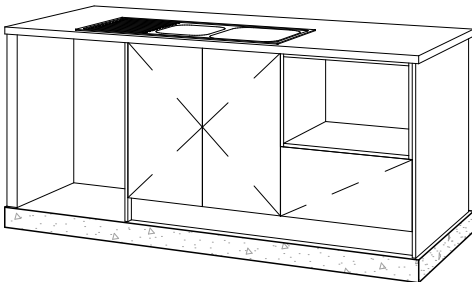
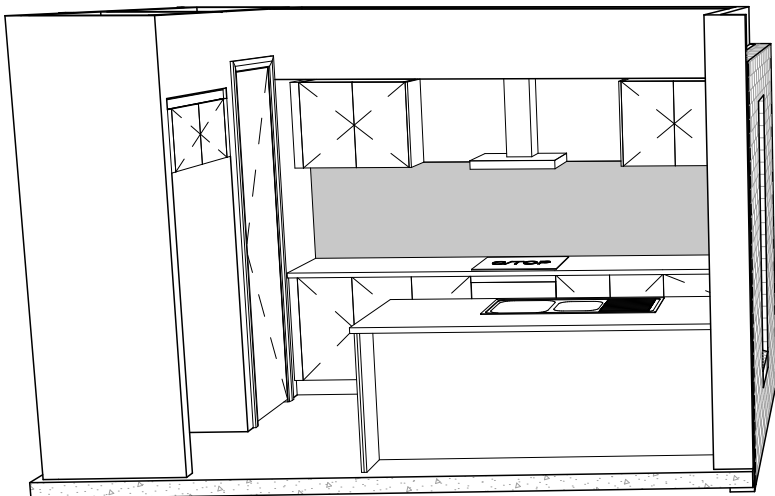
ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50



KITCHEN PLAN
SCALE: 1:50



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1 CONSOLIDATED PROPOSAL 1	MFC 06/07/2026
2 PRELIMINARY PLANS - INITIAL ISSUE	NVO 29/07/2026

CLIENT:	SAMUAL CHRISTOPHER LUCAS & HOLLY ANNE DRAPER
ADDRESS:	OWENS HILL RD, BAGDAD TAS 7030
LOT / SECTION / CT:	4 / - / TBC
COUNCIL:	SOUTHERN MIDLANDS

HOUSE DESIGN:	EDEN 13
FACADE DESIGN:	EXECUTIVE
SHEET TITLE:	KITCHEN DETAILS

HOUSE CODE:	H-WDCED20SA
FACADE CODE:	F-WDCED20EXECA
SHEET No.:	13 / 19

SCALES:	1:50
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714879

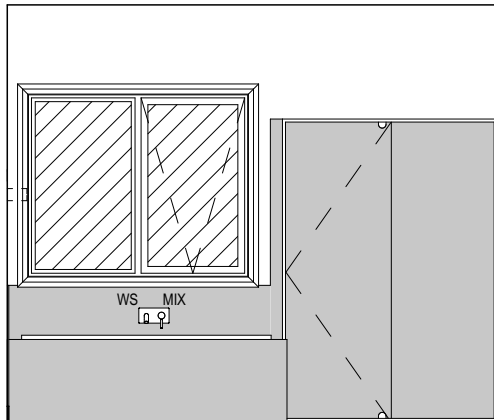
REFER TO THE FOLLOWING DETAILS:
VANITY DETAILS G-VANI-001
WINDOW OVER BATH HOB D-WIND-ALU001
STANDARD BATH HOB D-WETA-BATH003
WET AREA TILING LAYOUTS D-WETA-TILE002
SQUARE SET WINDOWS G-WIND-SSET02
FULL HEIGHT TILING D-LINI-WETA

REFER TO SHEET 1 (COVER SHEET) FOR
ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

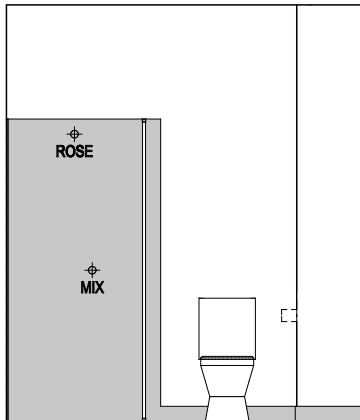
DETAILS DEPICTED ON THIS SHEET ARE A
REPRESENTATION ONLY

LEGEND

RSHR	RAIL SHOWER
ROSE	SHOWER ROSE
ELBW	SHOWER ELBOW CONNECTION
MIX	MIXER TAP
HT	HOT TAP
CT	COLD TAP
HS	HOB SPOUT
WS	WALL SPOUT
SC	STOP COCK
TRH	TOILET ROLL HOLDER
TR-S	TOWEL RAIL - SINGLE
TR-D	TOWEL RAIL - DOUBLE
TL	TOWEL LADDER
TH	TOWEL HOLDER
TR	TOWEL RACK
TMB	TUMBLER HOLDER
RNG	TOWEL RING
RH	ROBE HOOK
SHLF	SHELF
SR	SHAMPOO RECESS
SOAP	SOAP HOLDER

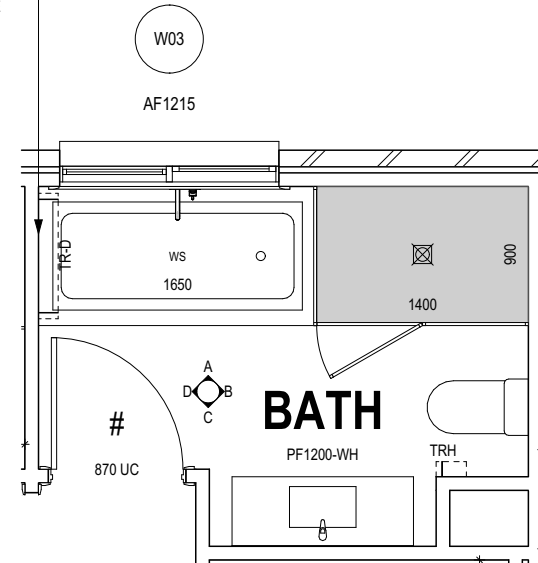


ELEVATION A
SCALE: 1:50

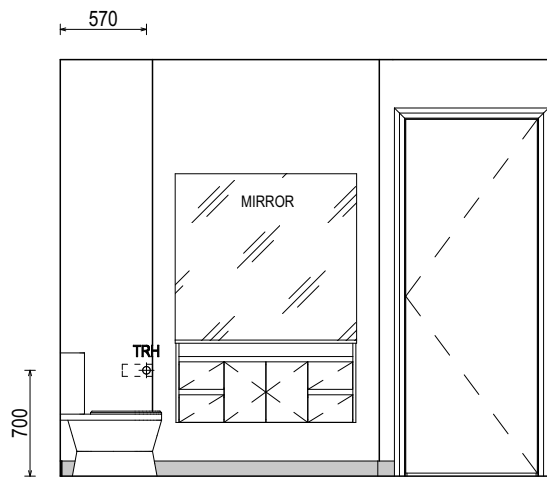


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SCALE: 1:50

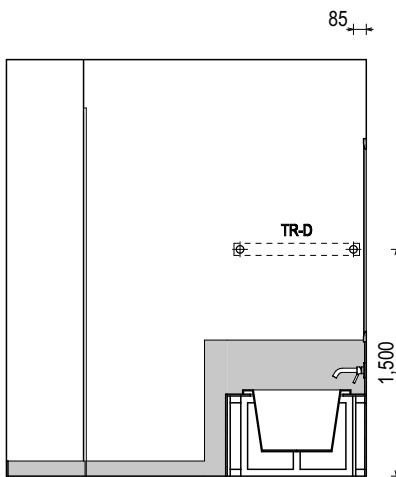
ACCESS PANEL LOCATION TO
BE CONFIRMED ON SITE



BATHROOM PLAN
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50

**SUBJECT TO NCC 2022
(1 MAY 2023)**
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
LIVABLE HOUSING

PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

SIGNATURE: DATE:

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CLIENT:
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COUNCIL:
SOUTHERN MIDLANDS

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EDEN 13
FACADE DESIGN:
EXECUTIVE
SHEET TITLE:
BATHROOM DETAILS

HOUSE CODE:
H-WDCEDE20SA
FACADE CODE:
F-WDCEDE20EXECA
SHEET No.:
14 / 19
SCALES:
1:50

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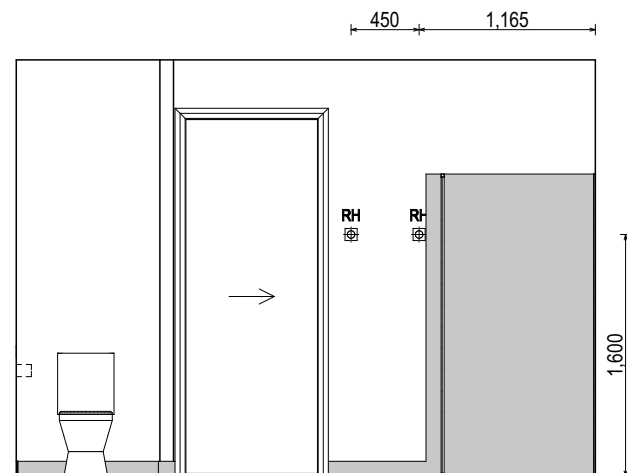
REFER TO THE FOLLOWING DETAILS:
 VANITY DETAILS **G-VANI-001**
 WINDOW OVER BATH HOB **D-WIND-ALU001**
 STANDARD BATH HOB **D-WETA-BATH003**
 WET AREA TILING LAYOUTS **D-WETA-TILE002**
 SQUARE SET WINDOWS **G-WIND-SSET02**
 FULL HEIGHT TILING **D-LINI-WETA**

REFER TO SHEET 1 (COVER SHEET) FOR
ALL BUILDING INFORMATION REGARDING:

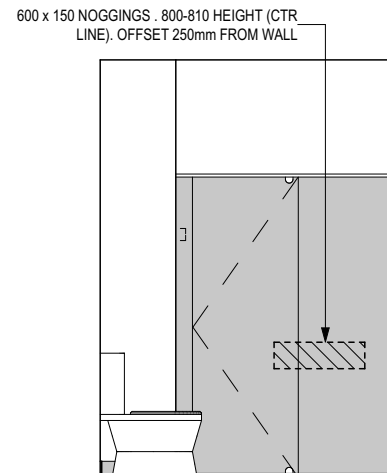
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

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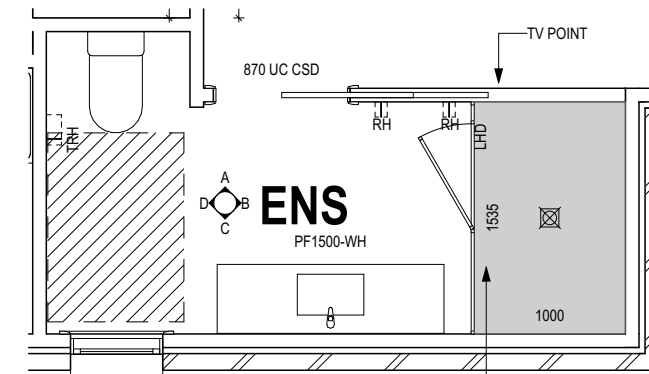
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ROSE	SHOWER ROSE
ELBW	SHOWER ELBOW CONNECTION
MIX	MIXER TAP
HT	HOT TAP
CT	COLD TAP
HS	HOB SPOUT
WS	WALL SPOUT
SC	STOP COCK
TRH	TOILET ROLL HOLDER
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TH	TOWEL HOLDER
TR	TOWEL RACK
TMB	TUMBLER HOLDER
RNG	TOWEL RING
RH	ROBE HOOK
SHLF	SHELF
SR	SHAMPOO RECESS
SOAP	SOAP HOLDER



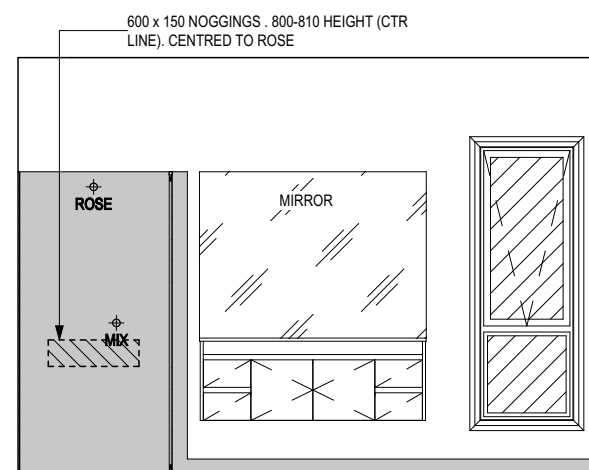
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SCALE: 1:50



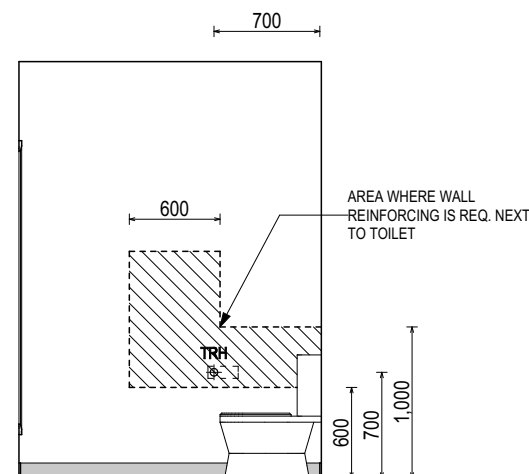
ELEVATION B
SCALE: 1:50



ENSUITE PLAN
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50

DETAILS FOR LHA NOGGING LOCATIONS

ENSUITE PLAN
SCALE: 1:50

**SUBJECT TO NCC 2022
(1 MAY 2023)**
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
LIVABLE HOUSING

PLAN ACCEPTANCE BY OWNER

SIGNATURE:	DATE:
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SIGNATURE:	DATE:

**SUBJECT TO NCC 2022
(1 MAY 2023)
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CONDENSATION MANAGEMENT
LIVABLE HOUSING**

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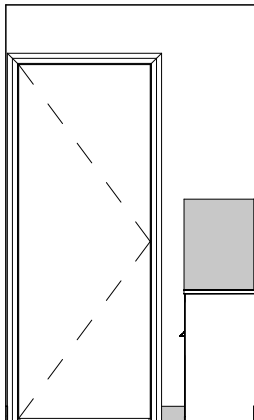
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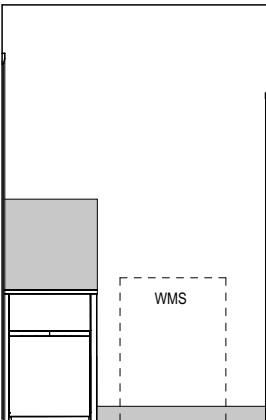
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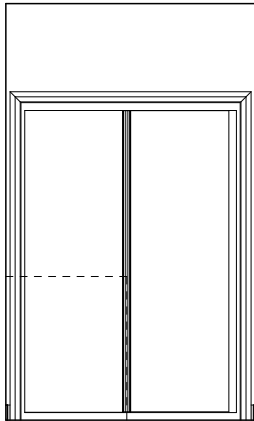
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	DISCOVERY		1	CONSOLIDATED PROPOSAL 1	MFC	06/07/2026	SAMUAL CHRISTOPHER LUCAS & HOLLY ANNE DRAPER				EDEN 13				H-WDCED20SA			
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							LOT / SECTION / CT:		COUNCIL:		SHEET TITLE:				SHEET No.:			
							4 / - / TBC		SOUTHERN MIDLANDS		ENSUITE DETAILS				15 / 19		1:50	714879



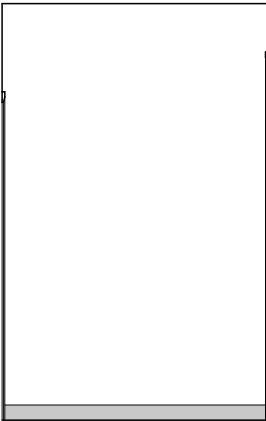
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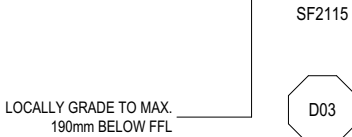
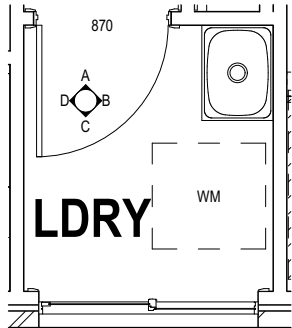
ELEVATION B
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50



LAUNDRY PLAN
SCALE: 1:50

**SUBJECT TO NCC 2022
(1 MAY 2023)**
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
LIVABLE HOUSING

PLAN ACCEPTANCE BY OWNER

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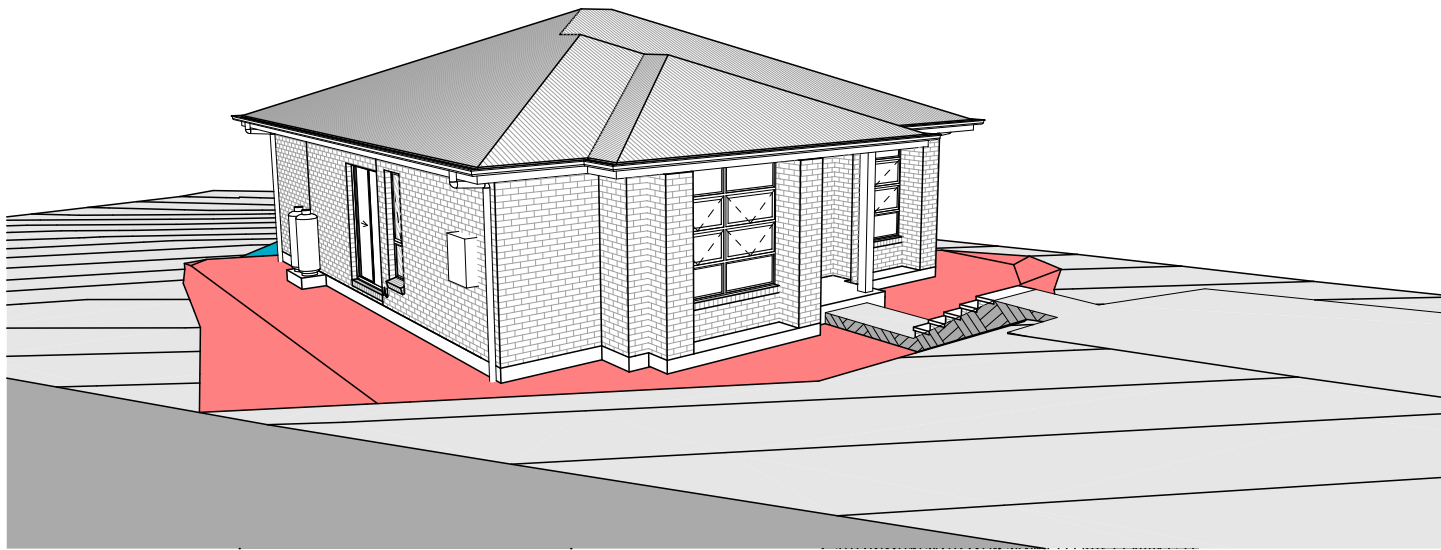
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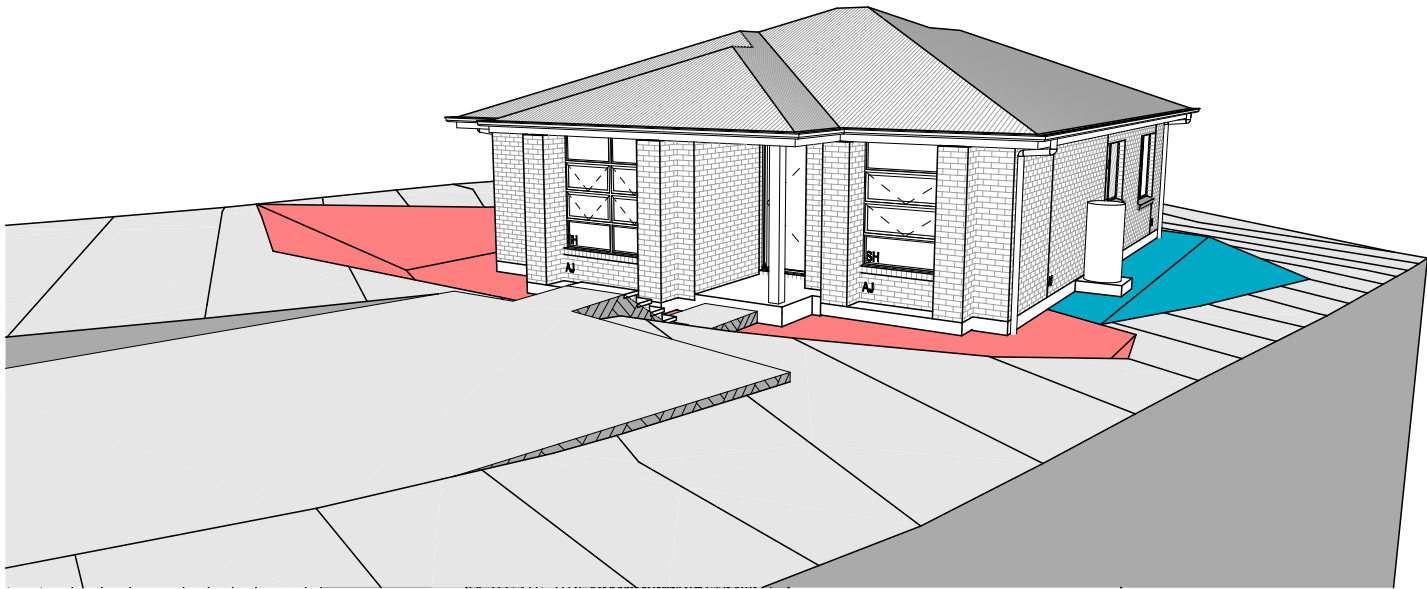
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FACADE DESIGN:	EXECUTIVE
SHEET TITLE:	LAUNDRY DETAILS

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SCALES:	1:50

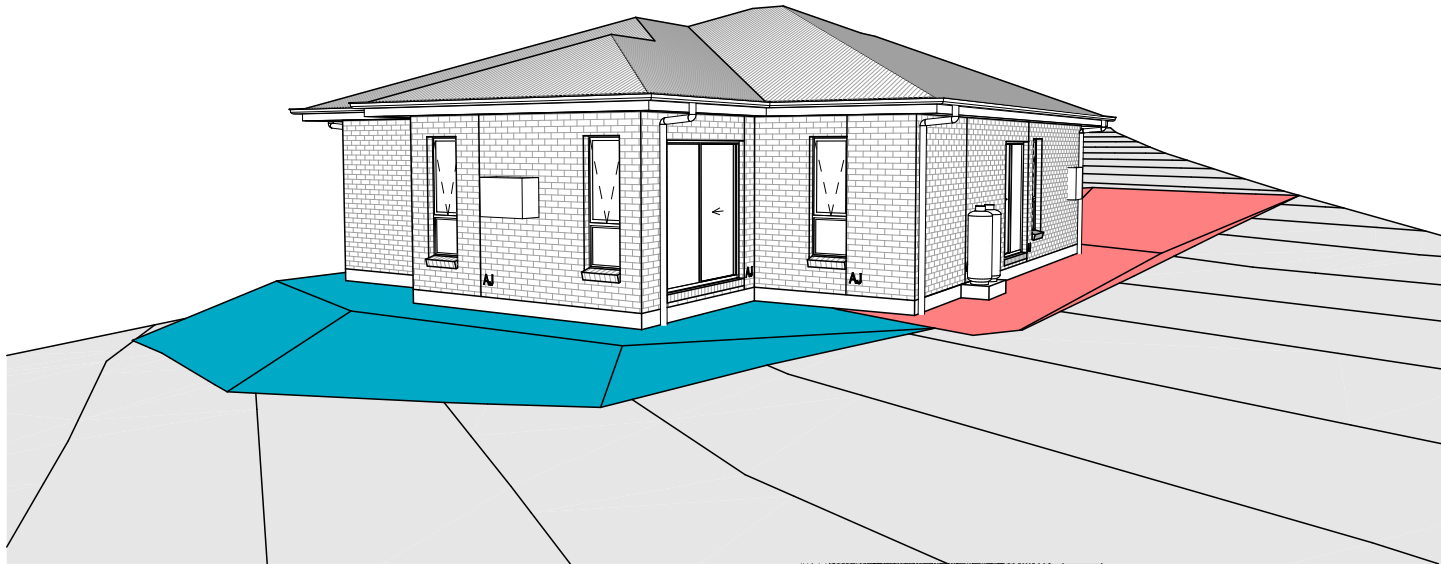
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714879



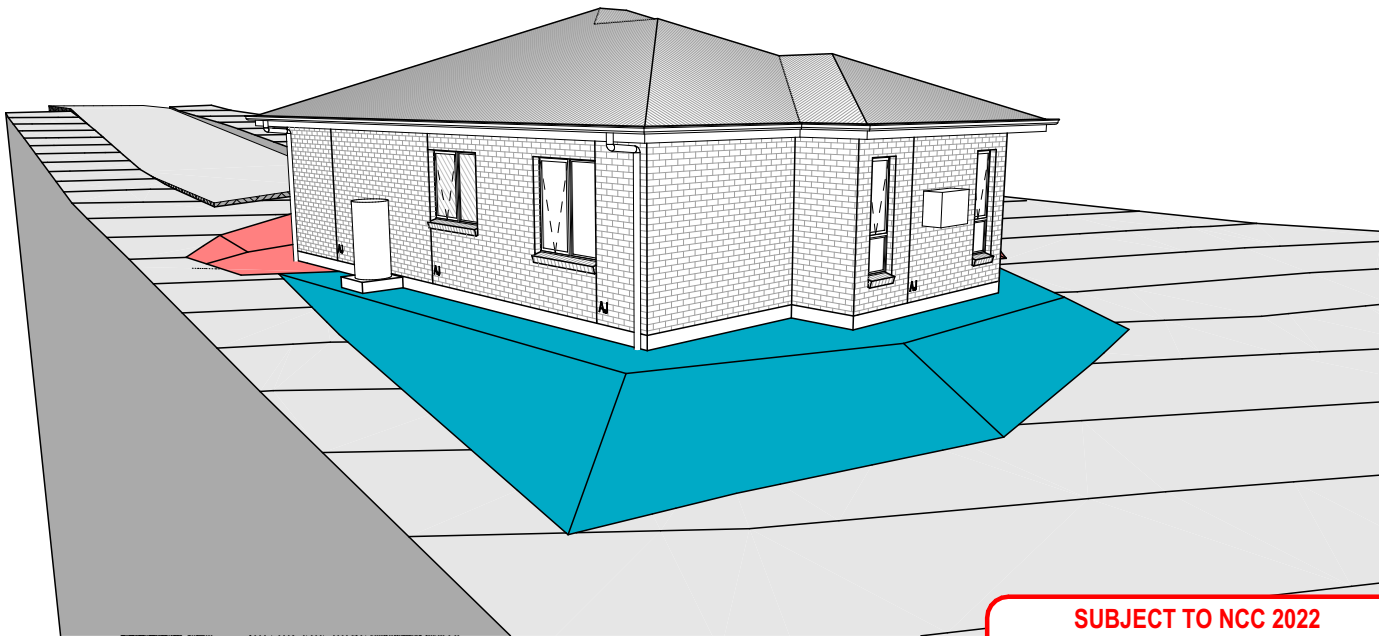
FRONT LEFT



FRONT RIGHT



REAR LEFT



REAR RIGHT

**SUBJECT TO NCC 2022
(1 MAY 2023)**
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
LIVABLE HOUSING

PLAN ACCEPTANCE BY OWNER	
SIGNATURE: _____	DATE: _____
SIGNATURE: _____	DATE: _____
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	© 2026				OWENS HILL RD, BAGDAD TAS 7030			EXECUTIVE			F-WDCEDE20EXECA		
					LOT / SECTION / CT:		COUNCIL:		SHEET TITLE:		SHEET No.:	SCALES:	714879
					4 / - / TBC		SOUTHERN MIDLANDS		3D VIEWS		17 / 19		

Template Version: 24/03

WET AREA NOTES

VESSLS OR AREA WHERE THE FIXTURE IS INSTALLED	FLOORS AND HORIZONTAL SURFACES	WALLS	WALL JUNCTIONS AND JOINTS	PENETRATIONS
ENCLOSED SHOWER WITH HOB	WATERPROOF ENTIRE ENCLOSED SHOWER AREA INCLUDING HOB.	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25mm ABOVE THE MAXIMUM RETAINED WATER LEVEL WHICH EVER IS THE GREATER WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
ENCLOSED SHOWER WITHOUT HOB	WATERPROOF ENTIRE ENCLOSED SHOWER AREA, INCLUDING WATERSTOP.	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
ENCLOSED SHOWER WITH STEPDOWN	WATERPROOF ENTIRE ENCLOSED SHOWER AREA INCLUDING THE STEPDOWN.	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25mm ABOVE THE MAXIMUM RETAINED WATER LEVEL WHICHEVER IS THE GREATER WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
ENCLOSED SHOWER WITH PRE-FORMED SHOWER BASE	N/A	WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
UNENCLOSED SHOWERS	WATERPROOF ENTIRE UNCLOSED SHOWER AREA.	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25mm ABOVE THE MAXIMUM RETAINED WATER LEVEL WHICH EVER IS THE GREATER WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
AREAS OUTSIDE THE SHOWER AREA FOR CONCRETE AND COMPRESSED FIBRE CEMENT SHEET FLOORING	WATER RESISTANT TO ENTIRE FLOOR.	N/A	WATERPROOF ALL WALL/FLOOR JUNCTIONS. WHERE A FLASHING IS USED THE HORIZONTAL LEG MUST BE NOT LESS THAN 40mm.	N/A
AREAS OUTSIDE THE SHOWER AREA FOR TIMBER FLOORS INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER BASED FLOORING MATERIALS	WATERPROOF ENTIRE FLOOR.	N/A	WATERPROOF ALL WALL/FLOOR JUNCTIONS. WHERE A FLASHING IS USED THE HORIZONTAL LEG MUST BE NOT LESS THAN 40mm.	N/A
AREAS ADJACENT TO BATHS AND SPAS FOR CONCRETE AND COMPRESSED FIBRE CEMENT SHEET FLOORING.	WATER RESISTANT TO ENTIRE FLOOR.	WATERPROOF TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL AND EXPOSED SURFACES BELOW THE VESSEL LIP TO FLOOR LEVEL.	WATERPROOF EDGES OF THE VESSEL AND JUNCTION OF BATH ENCLOSURE WITH FLOOR. WHERE THE LIP OF THE BATH IS SUPPORTED BY A HORIZONTAL SURFACE, THIS MUST BE WATERPROOF FOR SHOWERS OVER BATH AND WATER RESISTANT FOR ALL OTHER CASES.	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
AREAS ADJACENT TO BATHS AND SPAS (SEE NOTE 1) FOR TIMBER FLOORS INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER BASED FLOORING MATERIALS.	WATERPROOF ENTIRE FLOOR.	WATERPROOF TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL AND EXPOSED SURFACES BELOW THE VESSEL LIP TO FLOOR LEVEL.	WATERPROOF EDGES OF THE VESSEL AND JUNCTION OF BATH ENCLOSURE WITH FLOOR. WHERE THE LIP OF THE BATH IS SUPPORTED BY A HORIZONTAL SURFACE, THIS MUST BE WATERPROOF FOR SHOWERS OVER BATH AND WATER RESISTANT FOR ALL OTHER CASES.	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
INSERTED BATHS	N/A FOR FLOOR UNDER BATH. ANY SHELF AREA ADJOINING THE BATH OR SPA MUST BE WATERPROOF AND INCLUDE A WATERSTOP UNDER THE VESSEL LIP.	N/A FOR WALL UNDER BATH. WATERPROOF TO NOT LESS THAN 150mm ABOVE THE LIP OF THE BATH.	N/A FOR WALL UNDER BATH. WATERPRROF TO NOT LESS THAN 150 mm ABOVE THE LIP OF A BATH OR SPA.	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
WALLS ADJOINING OTHER VESSELS (EG. SINKS, LAUNDRY TUBS AND BASINS)	N/A	WATERPROOF TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL IF THE VESSEL IS WITHIN 75mm OF THE WALL.	WHERE THE VESSEL IS FIXED TO A WALL, WATERPROOF EDGES FOR EXTENT OF VESSEL.	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
LAUNDRIES AND WCS	WATER RESISTANT TO ENTIRE FLOOR.	WATERPROOF ALL WALL/FLOOR JUNCTIONS TO NOT LESS THAN 25mm ABOVE THE FINISHED FLOOR LEVEL, SEALED TO FLOOR.	WATERPROOF ALL WALL/FLOOR JUNCTIONS. WHERE A FLASHING IS USED THE HORIZONTAL LEG MUST BE NOT LESS THAN 40mm.	N/A

THE ABOVE INFORMATION IS FOR GENERAL GUIDANCE AND IS INDICATIVE ONLY. WATERPROOFING INSTALLERS TO COMPLY WITH ALL CURRENT CODES OF LEGISLATION WHICH TAKE PRECEDENCE OVER THIS SPECIFICATION.

WET AREA WAERPROOFING BY LICENSED AND ACCREDITED INSTALLER. CERTIFICATION TO BE PROVIDED TO BUILDING SURVEYOR. CONTRACTOR OR BUILDER TO DETERMINE THE APPROPRIATE WATERPROOFING IN ACCORDANCE WITH AS3740 PART 10.2 OF N.C.C AND TO NOTIFY THE BUILDING SURVEYOR FOR INSPECTION ARRANGEMENTS DURING INSTALLATION.

ENERGY EFFICIENCY - GENERAL

STATED R VALUES ARE FOR ADDITIONAL INSULATION REQUIRED AND ARE NOT RT VALUES (TOTAL SYSTEM VALUE)

INSULATION TO BE INSTALLED TO MANUFACTURERS SPECIFICATIONS AND ANY RELEVANT STANDARDS

BULK INSULATION IS NOT TO BE COMPRESSED AS THIS REDUCES THE EFFECTIVE R RATING

N.C.C 2022 TAS PART H6

IN TASMANIA, FOR NCC PART H6 REFER TO NCC 2019 AMENDMENT 1 PART 2.6; FOR NCC PART 13.1 REFER TO NCC 2019 PART 3.12

N.C.C 2019 3.12.0 (A)

PERFORMANCE REQUIREMENT P2.6.1 FOR THE THERMAL PERFORMANCE OF THE BUILDING IS SATISFIED BY COMPLYING WITH:

3.12.0.1 - FOR REDUCING THE HEATING AND COOLING LOADS
TO REDUCE HEATING AND COOLING LOADS MUST ACHIEVE AN ENERGY RATING USING HOUSING ENERGY RATING SOFTWARE OF NOT LESS THAN 6 STARS.

3.12.1.1 - FOR BUILDING FABRIC THERMAL INSULATION
BUILDER TO ENSURE THAT ALL INSULATION COMPLIES WITH AS/NZS 4859.1 AND BE INSTALLED TO N.C.C 3.12.1.1.

3.12.1.2(e) - FOR COMPENSATING FOR A LOSS OF CEILING INSULATION
REFER TO ATTACHED THERMAL PERFORMANCE CERTIFICATE
(i) IF ALLOWANCE HAS BEEN MADE FOR CEILING PENERATIONS IN NATHERS (FIRST RATE 5) CERTIFICATION PROCESS THEN NO FURTHER ACTION REQUIRED.
(ii) IF NO ALLOWANCE HAS BEEN MADE FOR CEILING PENETRATIONS IN NATHERS (FIRST RATE 5) CERTIFICATION PROCESS THEN CEILING PENETRATION AREA MUST BE CALCULATED AND THE NECESSARY ADJUSTMENT MADE TO THE SPECIFIED INSULATION AS PER TABLE 3.12.1.1B OF NCC

3.12.1.5(c) AND 3.12.1.5(d) - FOR FLOOR EDGE INSULATION
FOR CONCRETE SLAB ON GROUND WITH IN SLAB HEATING OR COOLING.

3.12.3 - FOR BUILDING SEALING
3.12.3.1 - CHIMNEYS AND FLUES
THE CHIMNEY OR FLUE OF AN OPEN SOLID FUEL BURNING APPLIANCE MUST BE PROVIDED WITH A DAMPER OR FLAP THAT CAN BE CLOSED TO SEAL THE CHIMNEY OR FLUE.

3.12.3.2 - ROOF LIGHTS
(a) A ROOF LIGHT MUST BE SEALED, OR CAPABLE OF BEING SEALED WHEN SERVING:
(i) A CONDITIONED SPACE; OR
(ii) A HABITABLE ROOM IN CLIMATE ZONES 4, 5, 6, 7 OR 8
(b) A ROOF LIGHT REQUIRED BY (a) TO BE SEALED, OR CAPABLE OF BEING SEALED MUST BE CONSTRUCTED WITH:
(i) AN IMPERFORATE CEILING DIFFUSER OR THE LIKE INSTALLED AT A CEILING OR INTERNAL LINING LEVEL; OR
(ii) A WATERPROOF SEAL; OR
(iii) A SHUTTER SYSTEM READILY OPERATED MANUALLY, MECHANICALLY OR ELECTRONICALLY BY THE OCCUPANT.

WAFFLE POD ALLOWANCES:
- R0.6 - 175mm DEEP
- R0.7 - 225mm DEEP
- R0.8 - 300mm DEEP
- R0.9 - 375mm DEEP

3.12.0.1 - EXTERNAL WINDOWS AND DOORS
(a) A SEAL TO RESTRIC AIR INFILTRATION MUST BE FITTED TO EACH OF AN EXTERNAL DOOR, OPENABLE WINDOW AND OTHER SUCH OPENING:
(i) WHEN SERVING A CONDITIONED SPACE; OR
(ii) IN CLIMATE ZONES 4, 5, 6, 7 OR 8, WHEN SERVING A HABITABLE ROOM.
(b) A WINDOW COMPLYING WITH THE MAXIMUM AIR INFILTRATION RATES SPECIFIED IN AS2047 NEED NOT COMPLY WITH (a).
(c) A SEAL REQUIRED BY (a)
(i) FOR THE BOTTOM EDGE OF AN INTERNAL SWING DOOR, MUST BE A DRAFT PROTECTION DEVICE; AND
(ii) FOR THE OTHER EDGES OF AN EXTERNAL SWING DOOR OR THE EDGES OF AN OPENABLE WINDOW OR OTHER SUCH OPENING, MAY BE A FOAM OR RUBBER COMPRESSIBLE STRIP, FIBROUS SEAL OR THE LIKE.

3.12.3.4 - EXHAUST FANS
AN EXHAUST FAN MUST BE FITTED WITH A SEALING DEVICE SUCH AS A SELF CLOSE DAMPER, FILTER OR THE LIKE WHEN SERVING:
(a) A CONDITIONED SPACE; OR
(b) A HABITABLE ROOM IN THE CLIMATE ZONES 4, 5, 6, 7 OR 8.

3.12.3.5 - CONSTRUCTION OF ROOF, WALLS AND FLOORS
(a) ROOFS, EXTERNAL WALLS, EXTERNAL FLOORS AND AN OPENING SUCH AS A WINDOW FRAME, DOOR FRAME, ROOF LIGHT FRAME OR THE LIKE MUST BE CONSTRUCTED TO MINIMISE AIR LEAKAGE IN ACCORDANCE WITH (b) WHEN FORMING PART OF THE EXTERNAL FABRIC OF:
(i) A CONDITIONED SPACE; OR
(ii) A HABITABLE ROOM IN CLIMATE ZONE 4, 5, 6, 7 OR 8.
(b) CONSTRUCTION REQUIRED BY (a) MUST BE:
(i) ENCLOSED BY AN INTERNAL LINING SYSTEM THAT ARE CLOSE FITTING AT CEILING, WALL AND FLOOR JUNCTIONS; OR
(ii) SEALED BY CAULKING, SKIRTING, ARCHITRAVES, CORNICES OR THE LIKE.

3.12.3.6 - EVAPORATIVE COOLERS
AN EVAPORATIVE COOLER MUST BE FITTED WITH A SELF CLOSING DAMPER OR THE LIKE WHEN SERVING:
(a) A HEATED SPACE; OR
(b) A HABITABLE ROOM IN CLIMATE ZONES 4, 5, 6, 7 OR 8.

3.12.5.5 - ARTIFICIAL LIGHTING
(a) LAMP POWER DENSITY OR ILLUMINATION POWER DENSITY OF AN ARTIFICIAL LIGHT, EXCLUDING HEATING THAT EMITS LIGHT, MUST NOT EXCEED THE ALLOWANCE OF:
(i) 5W/m² IN A CLASS 1 BUILDING
(ii) 4W/m² ON A VERANDAH, BALCONY OR THE LIKE ATTACHED TO A CLASS 1 BUILDING (NOT EXCLUDING EAVE PERIMETER LIGHTS);
(iii) 3W/m² IN A CLASS 10A BUILDING ASSOCIATED WITH A CLASS 1 BUILDING.
(b) THE ILLUMINATION POWER DENSITY ALLOWANCE IN (a) MAY BE INCREASED BY DIVIDING IT BY THE ILLUMINATION POWER DENSITY ADJUSTMENT FACTOR FOR A CONTROL DEVICE AS PER N.C.C TABLE 3.12.5.3.

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
LIVABLE HOUSING

PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

SIGNATURE: DATE:

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

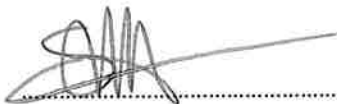
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SPECIFICATION: DISCOVERY	REVISION	DRAWN	CLIENT: SAMUAL CHRISTOPHER LUCAS & HOLLY ANNE DRAPER	HOUSE DESIGN: EDEN 13	HOUSE CODE: H-WDCEDE20SA	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. 714879
COPYRIGHT: © 2026	1 CONSOLIDATED PROPOSAL 1	MFC 06/07/2026	ADDRESS: OWENS HILL RD, BAGDAD TAS 7030	FACADE DESIGN: EXECUTIVE	FACADE CODE: F-WDCEDE20EXECA	
	2 PRELIMINARY PLANS - INITIAL ISSUE	NVO 29/07/2026	LOT / SECTION / CT: 4 / - / TBC	SHEET TITLE: WET AREA & ENERGY EFFICIENCY NOTES	SCALES:	
			COUNCIL: SOUTHERN MIDLANDS	SHEET No.: 19 / 19		

**Direction to submit a Development Application**

This document confirms the direction from Samuel Christopher Lucas and Holly Anne Draper of Lot 4, Owens Hill, Bagdad Tas 7030 to Wilson Homes Tasmania Pty Limited to act as their agent within the meaning of the *Land Use Planning and Approvals Act 1993* (Tasmania).


Signature

14-8-2026

Date of signature


Signature

14/8/26

Date of signature

Important Owner Confirmation

The owners acknowledge that Wilson Homes will incur non-refundable fees to third parties that are likely to exceed the proposal acceptance fee already paid, including but not limited to:

Structural engineering fees

Hydraulic engineering fees

Development application fees

Overlay reports

Arborist reports

Bushfire reports

Farm management reports; and

Dispersive soil reports

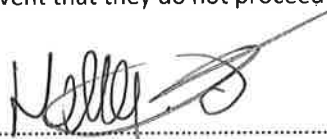
depending on the requirements of your council.

The owners acknowledge that in the unlikely event that they do not proceed to a contract, these fees will be payable by the owners to Wilson Homes.


Signature

14/8/2026.

Date of signature


Signature

14/8/26

Date of signature



1300 595 050
wilsonhomes.com.au

Southern Head Office 250 Murray Street, Hobart Tasmania

Northern Head Office Level 1, 78-96 Wellington Street, Launceston Tasmania

SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 188332

PAGE 1 OF 8 PAGES
7

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

FENCING COVENANT:

The owner of each lot on the Plan covenants with Elliott Arthur Booth, Elliott David Booth and Julieanne Mary Booth (the Vendors) that the Vendors shall not be required to fence.

EASEMENTS:

Lots 1 and 2 on the Plan are each SUBJECT TO a Pipeline and Services Easement (as defined herein) in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Limited, its successors and assigns ("TasWater") over the area marked "PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 'A' VARIABLE WIDTH" on the Plan ("the Easement Land").

Lots 1 and 2 on the Plan are each SUBJECT TO a right of drainage in gross in favour of Southern Midlands Council over the area marked "PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 'A' VARIABLE WIDTH" on the Plan.

Lot 102 on the Plan is SUBJECT TO a Pipeline and Services Easement (as defined herein) in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Limited, its successors and assigns ("TasWater") over the area marked "PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 'B' VARIABLE WIDTH" on the Plan ("the Easement Land").

T-T0929802-2

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: Elliott Arthur Booth, Elliott David Booth and Julieanne Mary Booth FOLIO REF: Volume 174167 Folio 1 and Volume 179101 Folio 202 SOLICITOR & REFERENCE: Butler, McIntyre & Butler: BW232550	PLAN SEALED BY: Southern Midlands Council DATE: 3/2/2025 SA210001BC REF NO. Council Delegate
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

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Elliott Arthur Booth *Elliott David Booth* *Julieanne Mary Booth*

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 8 PAGES <u>7</u>	Registered Number SP 188332
SUBDIVIDER: Elliott Arthur Booth, Elliott David Booth and Julieanne Mary Booth FOLIO REFERENCE: Volume 174167 Folio 1 and Volume 179101 Folio 202	

Lot 102 on the Plan is SUBJECT TO a right of drainage in gross in favour of Southern Midlands Council over the area marked "PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 'B' VARIABLE WIDTH" on the Plan ("the Easement Land").

Lot 1 on the Plan is SUBJECT TO a Pipeline and Services Easement (as defined herein) in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Limited, its successors and assigns ("TasWater") over the area marked "PIPELINE AND SERVICES EASEMENT 'C' & DRAINAGE EASEMENT 'C' 3.50m WIDE (SP179101)" on the Plan ("the Easement Land").

Lot 1 on the Plan is SUBJECT TO a right of drainage in gross in favour of Southern Midlands Council over the area marked "PIPELINE AND SERVICES EASEMENT 'C' & DRAINAGE EASEMENT 'C' 3.50m WIDE (SP179101)" on the Plan ("the Easement Land").

Lot 102 on the Plan is SUBJECT TO a Pipeline and Services Easement (as defined herein) in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Limited, its successors and assigns ("TasWater") over the area marked "PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 'D' 3.50m WIDE" on the Plan ("the Easement Land").

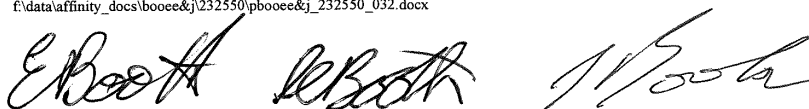
Lot 102 on the Plan is SUBJECT TO a right of drainage in gross in favour of Southern Midlands Council over the area marked "PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 'D' 3.50m WIDE" on the Plan ("the Easement Land").

Lots 10, 11 and 102 on the Plan are each SUBJECT TO a Pipeline and Services Easement (as defined herein) in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Limited, its successors and assigns ("TasWater") over the area marked "PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 'E' 4.00m WIDE" on the Plan ("the Easement Land").

Lots 10, 11 and 102 on the Plan are each SUBJECT TO a right of drainage in gross in favour of Southern Midlands Council over the area marked "PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 'E' 4.00m WIDE" on the Plan ("the Easement Land").

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 8 PAGES 7	Registered Number SP 188332
SUBDIVIDER: Elliott Arthur Booth, Elliott David Booth and Julieanne Mary Booth FOLIO REFERENCE: Volume 174167 Folio 1 and Volume 179101 Folio 202	

Lots 11, 12, 13 and 201 on the Plan are each SUBJECT TO a Pipeline and Services Easement (as defined herein) in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Limited, its successors and assigns ("TasWater") over the area marked "PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 'F' VARIABLE WIDTH" on the Plan ("the Easement Land").

Lots 11, 12, 13 and 201 on the Plan are each SUBJECT TO a right of drainage in gross in favour of Southern Midlands Council over the area marked "PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 'F' VARIABLE WIDTH" on the Plan ("the Easement Land").

Lot 102 on the Plan is SUBJECT TO a right of drainage in gross in favour of Southern Midlands Council over the area marked "DRAINAGE EASEMENT 'G' 2.50m WIDE" on the Plan.

EASEMENTS CONTINUED ON PAGE 7

COVENANTS:

The owner of each lot on the Plan covenants with the Vendor and the owner of each and every other lot on the Plan and to the intent that the burden of the covenant will run with and bind the covenantor's lot and every part thereof and that the benefit thereof may be created in favour of each and every other lot on the Plan to observe the following stipulations:

other than in respect of lots 102 and 201, not to erect or permit to be erected on the lot or any part thereof more than one (1) dwelling.

The Vendor reserves the right to sell any lot on the Plan free and exempt from any one or more of the covenants set forth in relation to any lot shown on the Plan and/or to waive modify alter or extinguish any one or more of the covenants set forth above as to any lot. The exercise of this right by the Vendor in relation to any lot shall not release the owner of any other lot from any other covenants imposed upon such lot or give the owner of any lot any right of action against the Vendor or any person or persons.

DEFINITIONS:

"Pipeline and Services Easement" means:-

THE FULL RIGHT AND LIBERTY for TasWater at all times to:

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 4 OF 8 PAGES 7	Registered Number SP 188332
SUBDIVIDER: Elliott Arthur Booth, Elliott David Booth and Julianne Mary Booth FOLIO REFERENCE: Volume 174167 Folio 1 and Volume 179101 Folio 202	

- (1) enter and remain upon the Easement Land with or without employees, contractors, agents and all other persons duly authorised by it and with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse and repair the Infrastructure;
- (4) remove and replace the Infrastructure;
- (5) run and pass sewage, water and electricity through and along the Infrastructure;
- (6) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (1) without doing unnecessary damage to the Easement Land; and
 - (2) leaving the Easement Land in a clean and tidy condition; and
- (7) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and all other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lots from the highway at any then existing vehicle entry and cross the Lots to the Easement Land; and
- (8) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lots.

PROVIDED ALWAYS THAT:

- (1) The registered proprietors of the Lots in the folio of the Register ("the Owner") must not without the written consent of TasWater first had and obtained and only in compliance with any conditions which form the consent:
 - (a) alter, excavate, plough, drill or otherwise penetrate the ground level of the Easement Land;
 - (b) install, erect or plant any building, structure, fence, pit, well, footing, pipeline, paving, tree, shrub or other object on or in the Easement Land;
 - (c) remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land;
 - (d) do any thing which will or might damage or contribute to damage to any of the Infrastructure on or in the Easement Land;

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Elliott Arthur Booth, Elliott David Booth, Julianne Mary Booth

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 5 OF 6 ₇ PAGES	Registered Number SP 188332
SUBDIVIDER: Elliott Arthur Booth, Elliott David Booth and Julieanne Mary Booth FOLIO REFERENCE: Volume 174167 Folio 1 and Volume 179101 Folio 202	

- (e) in any way prevent or interfere with the proper exercise and benefit of the Easement Land by TasWater or its employees, contractors, agents and all other persons duly authorised by it; or
 - (f) permit or allow any action which the Owner must not do or acquiesce in that action.
- (2) TasWater is not required to fence any part of the Easement Land.
- (3) The Owner may erect a fence across the Easement Land at the boundaries of the Lots.
- (4) The Owner may erect a gate across any part of the Easement Land subject to these conditions:
- (a) the Owner must provide TasWater with a key to any lock which would prevent the opening of the gate; and
 - (b) if the Owner does not provide TasWater with that key or the key provided does not fit the lock, TasWater may cut the lock from the gate.
- (5) If the Owner causes damage to any of the Infrastructure, the Owner is liable for the actual cost to TasWater of the repair of the Infrastructure damaged.
- (6) If the Owner fails to comply with any of the preceding conditions, without forfeiting any right of action, damages or otherwise against the Owner, TasWater may:
- (a) reinstate the ground level of the Easement Land; or
 - (b) remove from the Easement Land any building, structure, pit, well, footing, pipeline, paving, tree, shrub or other object; or
 - (c) replace any thing that supported, protected or covered the Infrastructure.

"Infrastructure" means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) power poles and lines, electrical wires, electrical cables and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land, the Infrastructure or any warnings or restrictions with respect to the Easement Land or the Infrastructure;
- (f) any thing reasonably required to support, protect or cover any of the Infrastructure;

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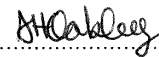


ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 6 OF 7 PAGES	Registered Number SP 188332
SUBDIVIDER: Elliott Arthur Booth, Elliott David Booth and Julianne Mary Booth FOLIO REFERENCE: Volume 174167 Folio 1 and Volume 179101 Folio 202	

- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

SIGNED by **ELLIOTT ARTHUR BOOTH** in)
 the presence of:)


 ELLIOTT ARTHUR BOOTH

Witness: 

Name: Sandra Helen Oakley

Address: 19 Iden Road, Bagdad, 7030

Occupation: Triage Clerk

SIGNED by **ELLIOTT DAVID BOOTH** in)
 the presence of:)


 ELLIOTT DAVID BOOTH

Witness: 

Name: Julie Ellen Oakley

Address: 19 Iden Road, Bagdad, 7030

Occupation: Retail Sales Assistant

SIGNED by **JULIANNE MARY BOOTH** in)
 the presence of:)


 JULIANNE MARY BOOTH

Witness: 

Name: RACHEL CORNELIUS

Address: 41 QUARRY TOWN ROAD, BAGDAD 7030

Occupation: POST OFFICE LICENCEE

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 7 OF 7 PAGES	Registered Number SP 188332
SUBDIVIDER: Elliott Arthur Booth, Elliott David Booth and Julieanne Mary Booth FOLIO REFERENCE: Volume 174167 Folio 1 and Volume 179101 Folio 202	

EASEMENTS CONTINUED

Lot 201 on the Plan is SUBJECT TO:

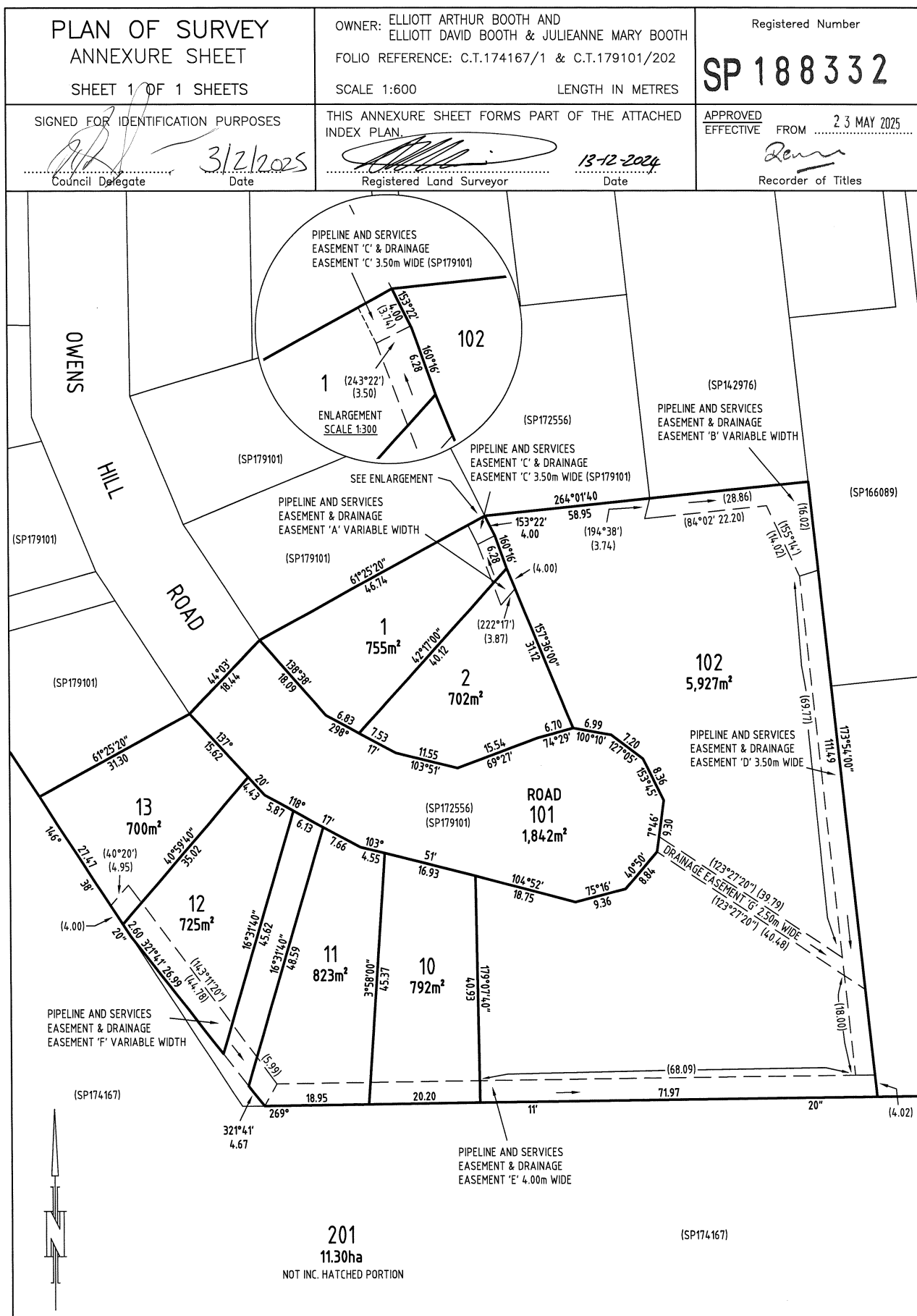
- (a) a Pipeline and Services Easement (as defined herein) in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Limited, its successors and assigns ("TasWater") over the area marked "PIPELINE EASEMENT 6.00m WIDE (P45683)" on the Plan ("the Easement Land");
- (b) a Pipeline Easement in favour of Her Majesty the Queen over the area marked "PIPELINE EASEMENT 6.00m WIDE (P45683)" on the Plan and as created by and more fully set forth in Notification No. B386291;
- (c) a Gas Pipeline Right set forth in Memorandum of Provisions No. M225 in favour of Tasmanian Gas Pipeline Pty Ltd over the area marked "GAS SUPPLY EASEMENT '22' 20.00m WIDE" on the Plan and as created by and more fully set forth in C440792 & D4385;
- (d) a Pipeline and Services Easement (as defined herein) in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Limited, its successors and assigns ("TasWater") over the area marked "DRAINAGE EASEMENT 3.00m WIDE (SP109381)" on the Plan ("the Easement Land"); and
- (e) a Right of Drainage (appurtenant to Lots 5-10 & 101 on SP109381) over the area marked "DRAINAGE EASEMENT 3.00m WIDE (SP109381)" on the Plan.

 03/04/2025
Bradley John Walsh
Solicitor for the Vendors
20 Murray Street
Hobart TAS 7000

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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SEARCH OF TORRENS TITLE

VOLUME 188332	FOLIO 102
EDITION 1	DATE OF ISSUE 23-May-2025

SEARCH DATE : 06-July-2026

SEARCH TIME : 04.10 pm

DESCRIPTION OF LAND

Parish of STRANGFORD Land District of MONMOUTH
 Lot 102 on Sealed Plan [188332](#)
 Derivation : Part of 180A-3R-33P Gtd. to Claude Armytage
 Galletly & Reginald Armytage Galletly
 Prior CT [179101/202](#)

SCHEDULE 1

[M980860](#) TRANSFER to ELLIOTT DAVID BOOTH and JULIEANNE MARY
 BOOTH Registered 07-Sept-2022 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
 SP[188332](#) EASEMENTS in Schedule of Easements
 SP[188332](#) FENCING COVENANT in Schedule of Easements
 SP[172556](#) & SP[179101](#) FENCING COVENANT in Schedule of Easements

UNREGISTERED DEALINGS AND NOTATIONS

300673 SEALED PLAN Lodged by ROGERSON & BIRCH on
 15-June-2026 BP: 300673