



Public Notice Details

Application Details

Application No	DA2600099
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Property Details

Property Location	12 Coachman Court Kempton
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Application Information

Application Type	Discretionary Development Application
Development Category	Dwelling
Advertising Commencement Date	14/8/26
Advertising Closing Period	28/8/26

If the Council Offices are closed during normal office hours within the above period, the period for making representations is extended.

If you need any further information, you're welcome to contact the Planning Department. A planner in the Development and Environmental Services section can be reached on 6254 5050 or at planningenquiries@southernmidlands.tas.gov.au.

Representations on this application may be made to the General Manager in writing either by

Post: PO Box 21, Oatlands Tas 7120
Email: mail@southernmidlands.tas.gov.au
Fax: 03 6254 5014

All representations must include the authors full name, contact number and postal address and be received by the advertising closing date.



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PROJECT ADDRESS: LOT 16, 12 COACHMAN COURT, KEMPTON

TITLE REFERENCE: VOLUME: 185677 FOLIO: 16

CLIENTS: CATHERINE KING

DESIGNER: Inge Brown, CC 6652

DRAWINGS:

- 01 COVER PAGE
- 02 PROPOSED SITE PLAN
- 03 PROPOSED FLOOR PLAN
- 04 PROPOSED ROOF PLAN
- 05 PROPOSED ELEVATIONS
- 06 PROPOSED ELEVATIONS
- 07 SECTION A-A
- 08 TYPICAL SECTION DETAILS
- 09 WINDOW SCHEDULE
- 10 PROPOSED DRIVEWAY LONG SECTION

FLOOR AREAS:	FLOOR AREA:	111.7 m ²
	PORCH:	1.4 m ²
	TOTAL AREA:	113.1 m ²

SOIL CLASSIFICATION: --

WIND CLASSIFICATION: --

CLIMATE ZONE: 7

BUSHFIRE ATTACK LEVEL: TBC

ALPINE AREA: N/A

CORROSION ENVIRONMENT: N/A

DOCUMENTATION INDEX

The documentation listed below should be read in conjunction with these drawings and form the basis of construction documentation for the project

[illegible]

2. TITLE BOUNDARIES SHOWN WERE NOT VERIFIED OR MARKED BY SURVEY PLUS AT THE TIME OF THIS SURVEY.

3. SERVICES SHOWN ON THIS PLAN WERE LOCATED WHERE POSSIBLE BY FIELD SURVEY. THEY ARE NOT A COMPLETE PICTURE OF SERVICES ON SITE. ALL SERVICE LOCATIONS ARE TO BE VERIFIED BEFORE COMMENCEMENT OF ANY WORK ON SITE, IN PARTICULAR THOSE SERVICES NOT PREVIOUSLY LOCATED THROUGH FIELD SURVEY.

5. THIS NOTE IS AN INTEGRAL PART OF THIS PLAN/DATA. REPRODUCTION OF THIS PLAN OR ANY PART OF IT WITHOUT THIS NOTE BEING INCLUDED IN FULL WILL RENDER THE INFORMATION SHOWN ON SUCH A REPRODUCTION INVALID AND NOT SUITABLE FOR USE WITHOUT PRIOR AUTHORITY OF SURVEY PLUS.

7. VERTICAL DATUM IS AHD.

9. SURVEY BY ROBOTIC TOTAL STATION AND RTK GPS.

LIST DATA IMPORT

- TasWater-SewerLateralLine
- TasWater-SewerMain
- TasWater-SewerMaintenanceHole
- TasWater-SewerPressurisedMain
- TasWater-WaterHydrant
- TasWater-WaterLateralLine
- TasWater-WaterMain

12. 3D DATA TURNED OFF IN LAYER CONTROL.

- 3D TIN
- MAJOR CONTOUR 3D
- MINOR CONTOUR 3D

NOTE: ALL PROPOSED STORMWATER
TO BE DISCHARGED TO EXISTING
INFRASTRUCTURE

PROPOSED SITE PLAN

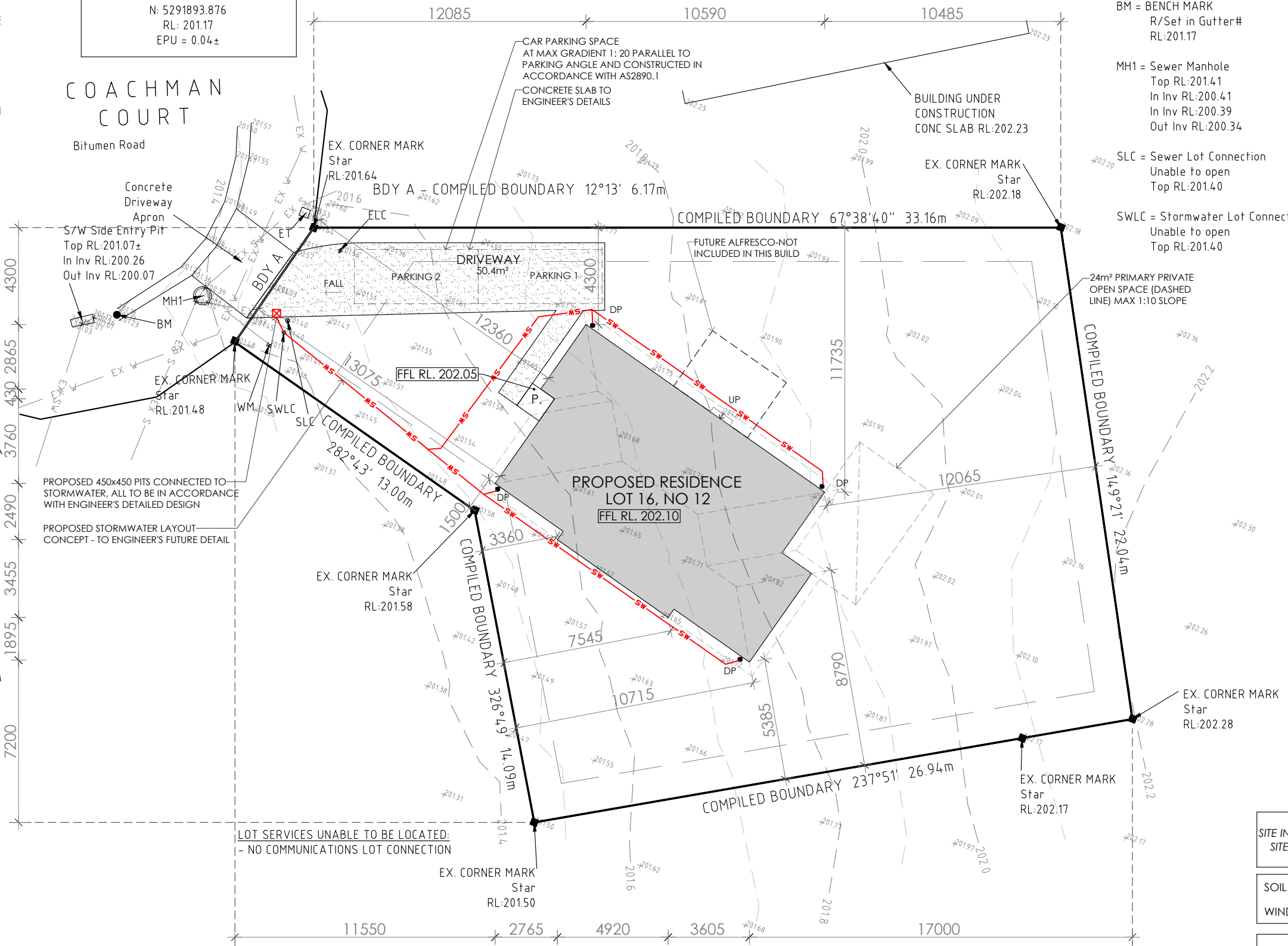
02

DO NOT SCALE DRAWINGS.
ALWAYS USE WRITTEN DIMENSIONS.

REV:	DESCRIPTION:	BY:	DATE:
SK	ISSUED FOR CLIENT REVIEW	HT	05/6/26
SK 1	REPOSITION THE HOUSE	NN	03/7/26
A	ISSUED FOR CLIENT REVIEW	NN	15/7/26
B	EXTENDED MASTER BEDROOM	HT	17/7/26

BY:	DATE:
HT	05/6/26
NN	03/7/26
NN	15/7/26
HT	17/7/26

PRELIMINARY



ET = Electricity Turret
ELC = Electricity Lot Connection
WM = Water Meter

MH1 = Sewer Manhole
Top RL:201.41
In Inv RL:200.41
In Inv RL:200.39
Out Inv RL:200.34

SWLC = Stormwater Lot Connection
Unable to open
Top RL:201.40

SITE PREPARATION
THE SITE IS TO BE DISTURBED AS MINIMALLY AS POSSIBLE TO THE EXTENT REQUIRED TO CARRY OUT THE BUILDING WORKS.
EARTHWORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH NCC PART 3.2.
UN-RETAINED EMBANKMENT GRADIENTS SHALL BE IN ACCORDANCE WITH NCC TABLE 3.2.1.
DRAINAGE SHALL BE IN ACCORDANCE WITH NCC PART 3.3.2.
THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS, SEWER PIPES AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTING AND/OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNESS, WEAKENING & UNDERMINING OF ANY BUILDING AND ITS FOOTING SYSTEM.
LOCATION OF ALL EXISTING SERVICES TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION.

THE OWNERS ATTENTION IS DRAWN TO THE FACT THAT FOUNDATIONS AND ASSOCIATED DRAINAGE FOR ALL SITES REQUIRES CONTINUING MAINTENANCE TO ASSIST FOOTING PERFORMANCE. ADVICE FOR FOUNDATION MAINTENANCE IS CONTAINED IN THE CSIRO BUILDING TECHNOLOGY FILE 18 AND IT IS THE OWNERS RESPONSIBILITY TO MAINTAIN THE SITE IN ACCORDANCE WITH THIS DOCUMENT.

RAINAGE LINES ARE TO BE INSTALLED PRIOR TO THE PLACEMENT OF ROOF AND GUTTERING. ONCE DWELLING IS ROOFED, CONNECT IMMEDIATELY.

APPLY TEMPORARY COVERING TO DISTURBED AREAS THAT WILL REMAIN EXPOSED FOR 14 DAYS OR MORE DURING CONSTRUCTION (EG. WATERPROOF BLANKET, VEGETATION OR MULCH)

SITE TO BE VEGETATED AND PLANTED
ACCORDING TO THE HOBART REGIONAL SOIL
AND WATER MANAGEMENT CODE OF PRACTICE

BUILDER AND SUBCONTRACTORS TO VERIFY ALL DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. GIVE 24 HOURS MINIMUM NOTICE WHERE AMENDMENTS ARE REQUIRED TO DRAWINGS. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH DOCUMENTATION LISTED ON THE COVER PAGE. DO NOT SCALE DRAWINGS. DIMENSIONS ARE TO TAKE PREFERENCE OVER SCALE. BUILDING SPECIFICATION AND ENGINEERS DRAWINGS SHALL OVERRIDE ARCHITECTURAL DRAWINGS.

THIS DRAWING IS TO BE READ IN CONJUNCTION
WITH ALL OTHER DRAWING SHEETS,
CONSULTANTS DRAWINGS, DOCUMENTS,
SCHEDULES AND SPECIFICATIONS (AS
APPLICABLE).

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ANY BUILDING AND ITS FOOTING SYSTEM.
- LOCATION OF ALL EXISTING ONSITE SERVICES
TO BE CONFIRMED ONSITE PRIOR TO
CONSTRUCTION

SITE INFORMATION AS DRAWN IS APPROXIMATE ONLY. FINAL
SITE INFORMATION IS SUBJECT TO A DETAILED CONTOUR
SURVEY BY LICENSED SURVEYOR.

WIND CLASSIFICATION: _____

SITE AREA	741.7 m ²
PROPOSED BUILDING FOOTPRINT	113.1 m ²
PROPOSED SITE COVERAGE	15.25 %

JOB ADDRESS:
Lot 16, 12 Coachman Court
Kempton

DESIGNER: I. Brown	ACCRED. NO.: CC6652
DRAWN: H. Tran	DATE: June 2026
CHECKED:	DATE:
SCALE: 1:200	REV: B

CLIENT:
Catherine King

SHEET: 2 of 10
 DESIGN TYPE: Custom
 DRAWING NO:



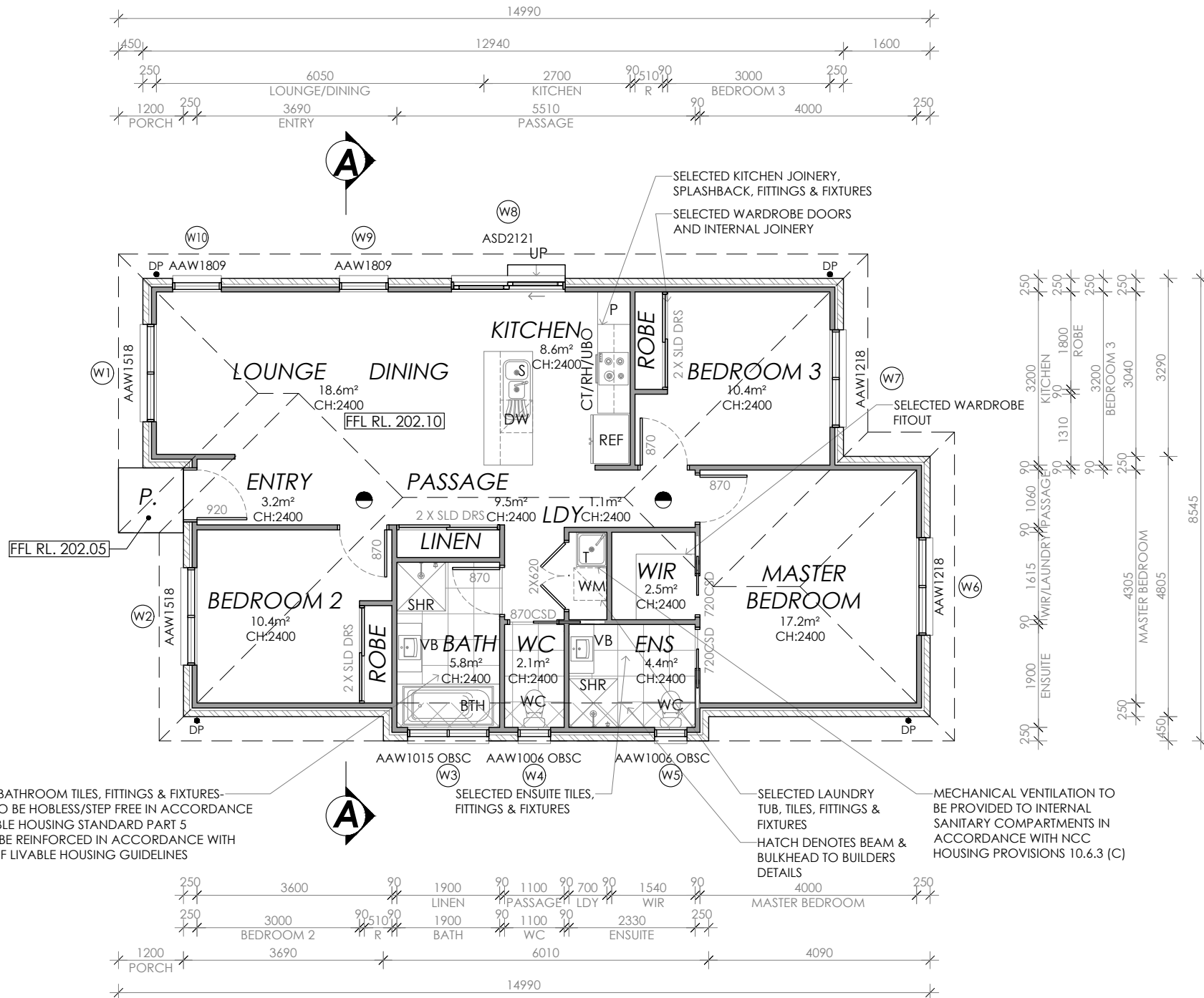
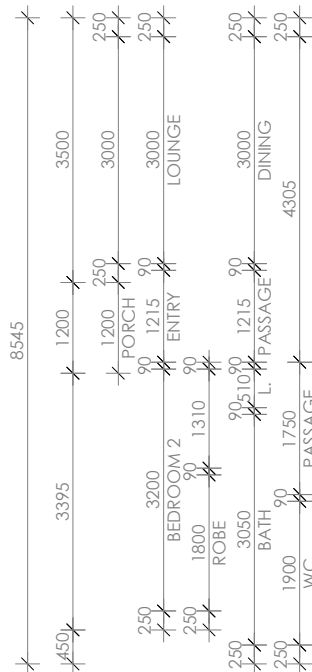
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AREAS:	
FLOOR AREA:	111.7 m ²
PORCH:	1.4 m ²
TOTAL AREA:	113.1 m ²

DP	DOWNPIPE LOCATION
SHR	SHOWER
BTH	BATH
VB	VANITY BASIN
WC	TOILET
WB	WALL HUNG BASIN
REF	REFRIGERATOR
P	PANTRY
RH	RANGE HOOD
UBO	UNDER BENCH OVEN
CT	COOK TOP
S	SINK
DW	DISH WASHER
T	TROUGH
WM	WASHING MACHINE
MH	MANHOLE
CSD	CAVITY SLIDING DOOR
AAW	ALUM. AWNING WINDOW
AFW	ALUM. FIXED WINDOW
ASD	ALUM. SLIDING DOOR
B/O	BAM OVER
BAL	BALUSTRADE

NOTE: LIFT OFF HINGES TO WC
TO BE INSTALLED AS REQUIRED
IN ACCORDANCE WITH NCC.



For construction of floor wastes refer to NCC ABCB Housing provisions part 10.2.12. For typical installation requirements for substrate preparation, penetrations, flashings/ junctions, membranes, screeds, hobs, baths, showers, door jambs and screens refer to ABCB Housing provisions part 10.2.14-32.

FLOOR AREA: 113.1m²

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03		CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS. DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS.	REV:	DESCRIPTION:	BY:	DATE:
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JOB ADDRESS: Lot 16, 12 Coachman Court Kempton		CLIENT: Catherine King	
DESIGNER: I. Brown	ACCRED. NO.: CC6652	SHEET:	3 of 10
DRAWN: H. Tran	DATE: June 2026	DESIGN TYPE:	Custom
CHECKED:	DATE:	DRAWING NO:	
SCALE: 1:100	REV: B	---	

Framing NCC H1D6
All timber framing, fixing and bracing shall comply with AS 1684 and the requirements of NCC H1D6. Manufactured sizes must not be undersized to those specified, for all timber sizes, stress grades, spacing and wall bracing refer to Engineer's details. Tie-down details shall be in accordance with Engineer's details and comply with NCC H1D6 (4). Structural steel members shall comply with the requirements of clauses in NCC H1D6 (3). Refer to Engineer's details where provided.

Glazing NCC H1D8
All windows to be aluminium awning style, double glazed (obscured safety glass to bathrooms as shown on drawings) All glazing shall comply with the requirements of AS 2047 & AS 1288 and NCC H1D8.

Human impact safety requirements shall comply with NCC H1D8 (3) and Part 8.4 of the ABCB Housing provisions.

Note:
Builder and subcontractors to verify all dimension and levels prior to the commencement of any work. Give 24hrs minimum notice where amendments are required to design of working drawings. These drawings are to be read in conjunction with Engineer's and Surveyor's drawings and notes. Do not scale drawings. Dimensions are to take preference over scale. Building specification and Engineer's drawings shall override architectural drawings. All construction work shall be carried out in accordance with the state building regulations, local council by-laws and relevant NCC and AS codes.

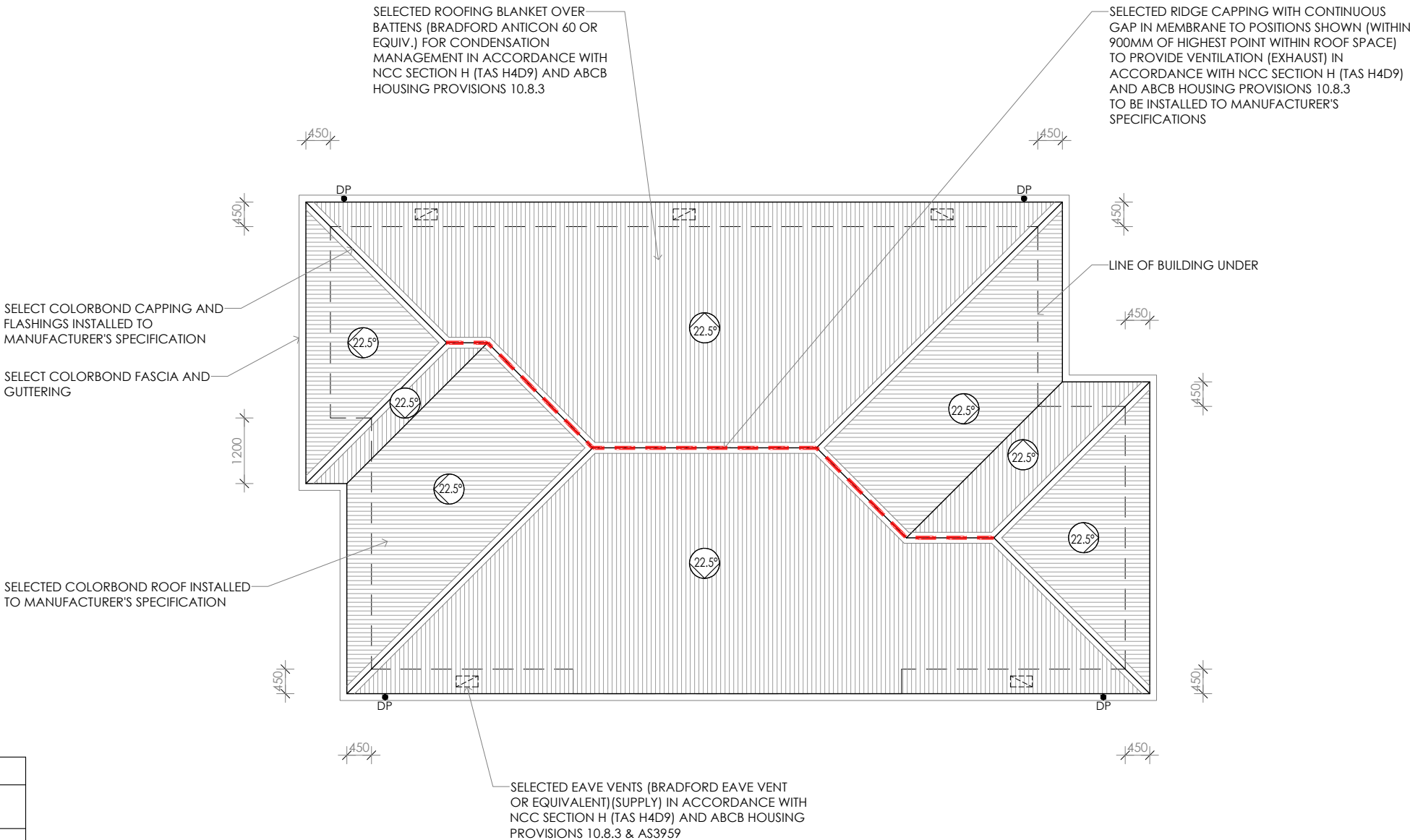
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Energy efficiency:
Insulation must comply with AS/NZS4859.1 and be installed in accordance with ABCB housing provisions Part 13.2.2 and comply with minimum R values for climate zone 7.
Bulk insulation between external studs to be insulated with min R2.0. (Ensure batts fit within cavity without compression, making sure that there is at least 25mm gap from the reflective surface). External walls are to be clad with vapour permeable reflective foil over the outside of the timber frame. Ceiling to be insulated with R4.0 and vapour permeable sarking. Floor to be insulated with Min R1.7 batts where applicable. Seal exhaust fans to Ensuite, Bathroom, Laundry and Kitchen. All downlights to be IC rated. Construction of the external walls, floor and roof for compliance with building sealing requirements shall comply with BCA 2019 Part 3.12

General:
All flashings, weep holes and damp proof coursing to be in accordance with NCC Housing provisions Part 5.7. Fibre cement sheet in accordance with NCC Housing provisions Part 7.5. Block construction in accordance NCC Housing provisions Part 5. Plasterboard linings to internal walls and ceilings with selected cornice. (see below for wet areas)

Wet areas: All wet areas shall comply with the requirements of ABCB Housing provisions Part 10.2. Provide waterproof plasterboard sheeting to all walls and ceilings. Provide ceramic tiles or other approved water resistant lining in accordance with Part 10.2.9 to a minimum height of 1800mm to shower walls and to a height of min 150mm behind baths, basins, sinks, troughs, washing machines and wall fixtures.

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● DP 90mm DOWNPIPE

ROOF VENTILATION		
NCC requirement for roof pitch	7000	5000
Longest dimension of roof	14.9	14.9
Free open area of vent	21000	10000
Number of vents	5.0	7.5 LM (5000 PER SIDE)
Vent type	Standard (200 x 400 eave vent)	RIDGE CAP WITH MEMBRANE GAP

PROPOSED ROOF PLAN

PRELIMINARY

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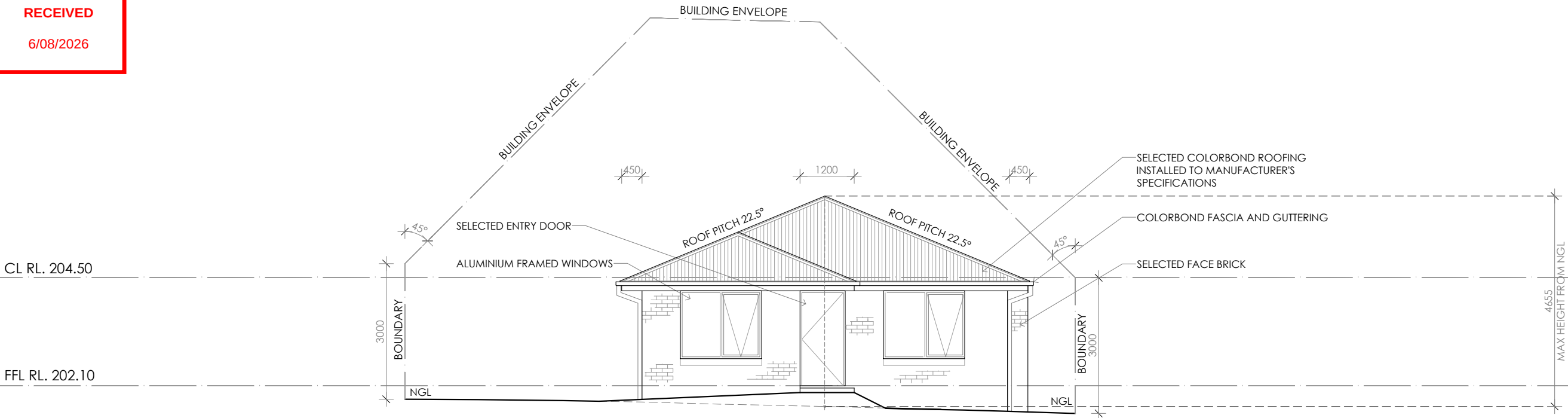
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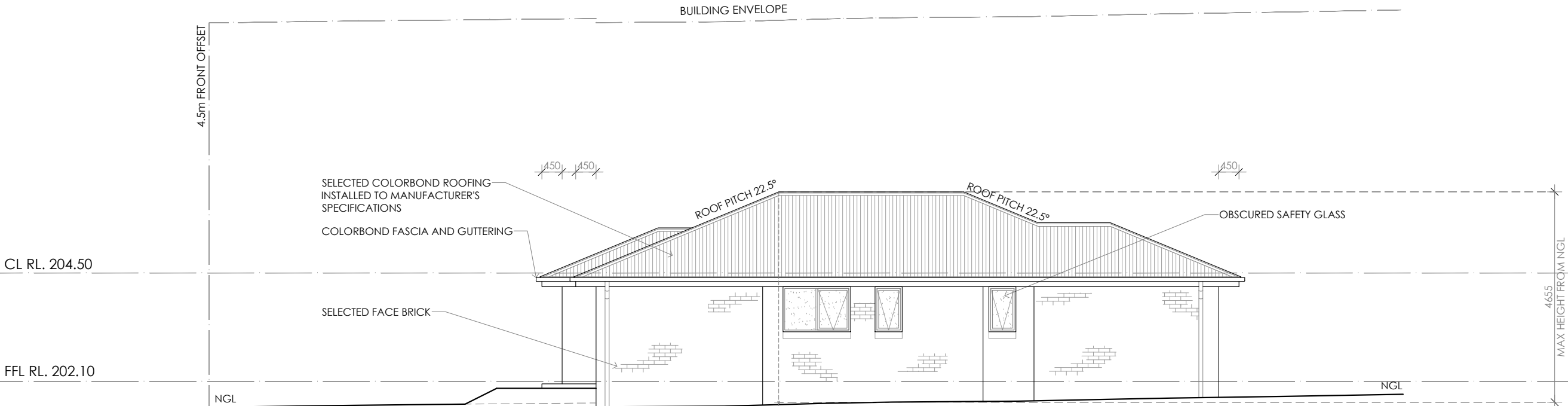


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JOB ADDRESS: Lot 16, 12 Coachman Court Kempton		CLIENT: Catherine King	
DESIGNER: I. Brown	ACCRED. NO.: CC6652	SHEET: 4 of 10	
DRAWN: H. Tran	DATE: June 2026	DESIGN TYPE: Custom	
CHECKED:	DATE:	DRAWING NO: ---	
SCALE: 1:100	REV: B		



WESTERN ELEVATION



SOUTHERN ELEVATION

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PRELIMINARY

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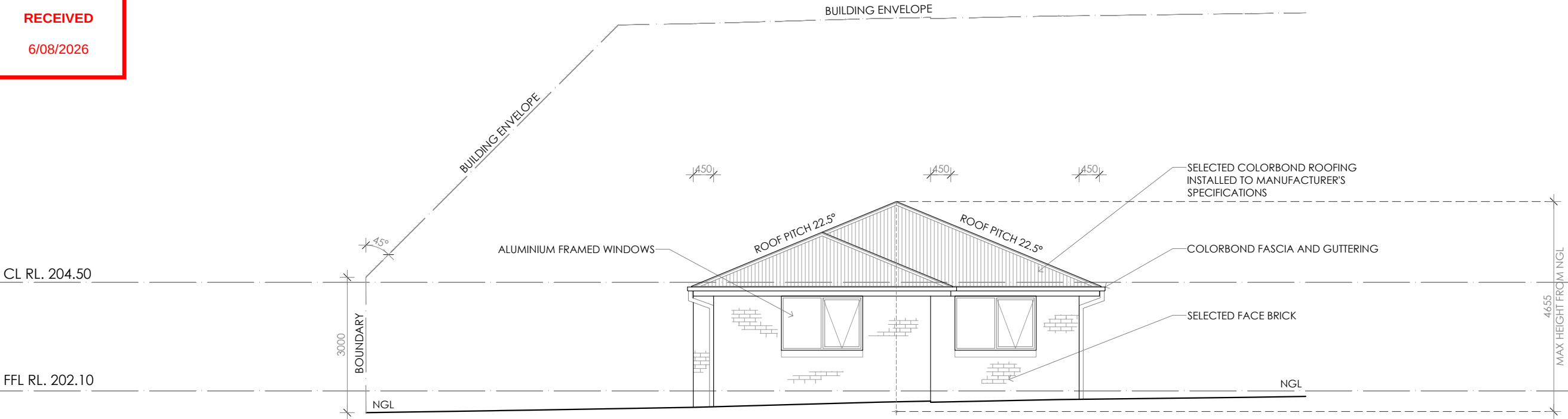
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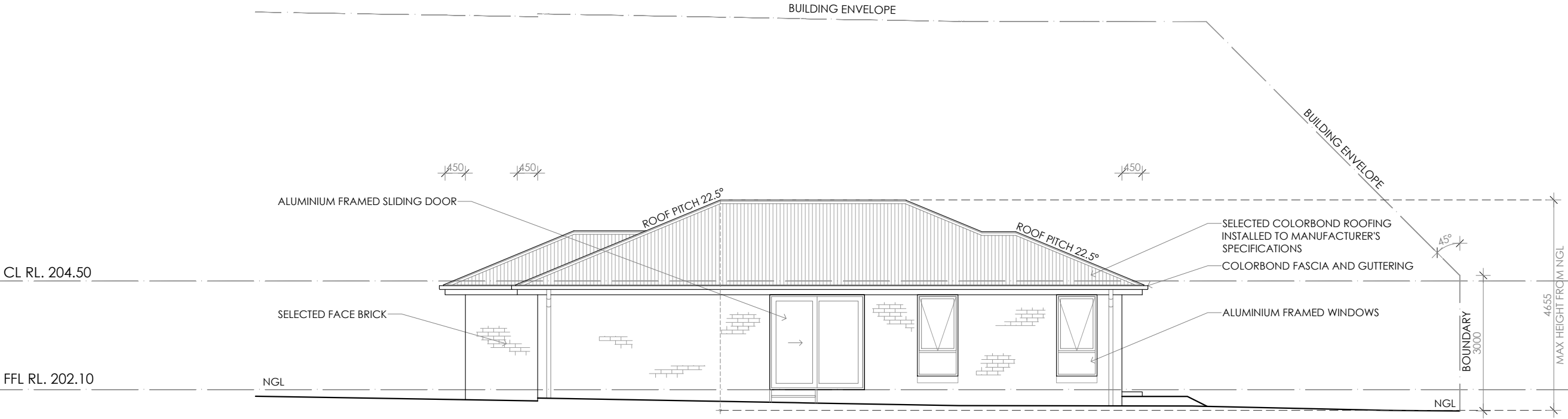


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DRAWN: H. Tran	DATE: June 2026	DESIGN TYPE: Custom	
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EASTERN ELEVATION



NORTHERN ELEVATION

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06	PROJECT NORTH 	CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS. DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS.	REV:	DESCRIPTION:	BY:	DATE:
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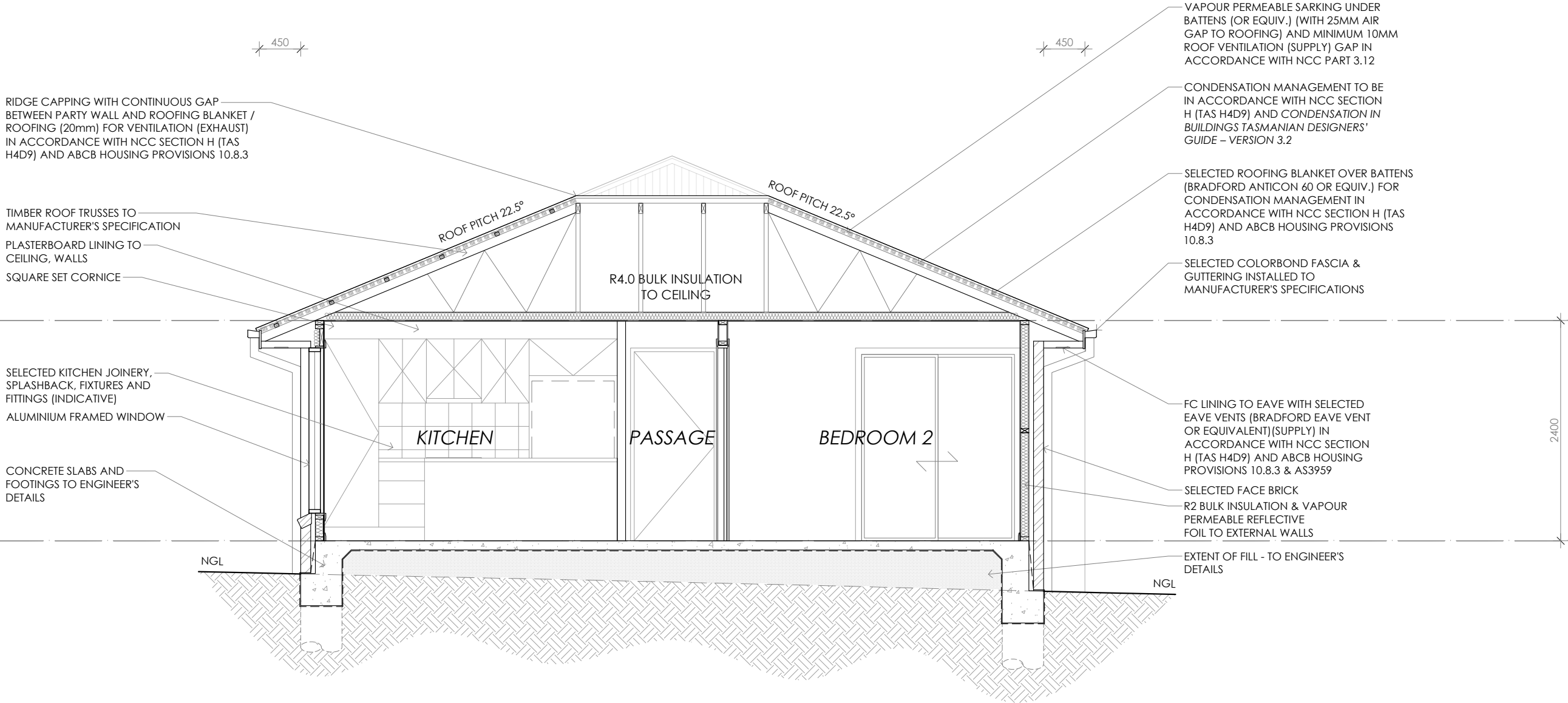
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SMC - KEMPTON
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6/08/2026
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All flashings, weep holes and damp proof coursing to be in accordance with NCC Housing provisions Part 5.7. Fibre
cement sheet in accordance with NCC Housing provisions Part 7.5. Block construction in accordance NCC Housing
provisions Part 5. Plasterboard linings to internal walls and ceilings with selected cornice. (see below for wet areas)
Wet areas: All wet areas shall comply with the requirements of ABCB Housing provisions Part 10.2. Provide waterproof
plasterboard sheeting to all walls and ceilings. Provide ceramic tiles or other approved water resistant lining in
accordance with Part 10.2.9 to a minimum height of 1800mm to shower walls and to a height of min 150mm behind
baths, basins, sinks, troughs, washing machines and wall fixtures.
For construction of floor wastes refer to NCC ABCB Housing provisions part 10.2.12. For typical installation
requirements for substrate preparation, penetrations, flashings/ junctions, membranes, screeds, hobs, baths, showers,
door jambs and screens refer to ABCB Housing provisions part 10.2.14-32.

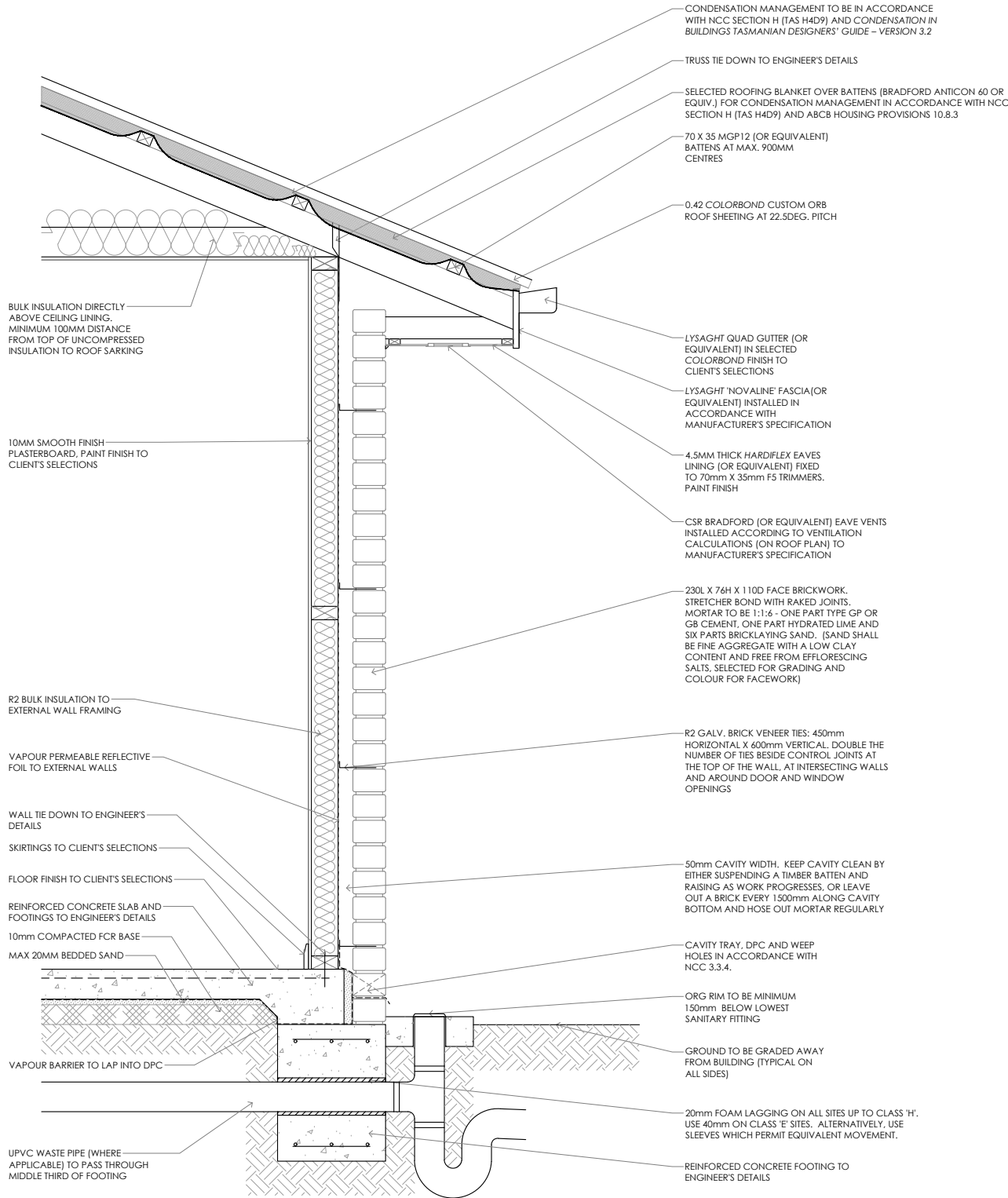


SECTION A-A

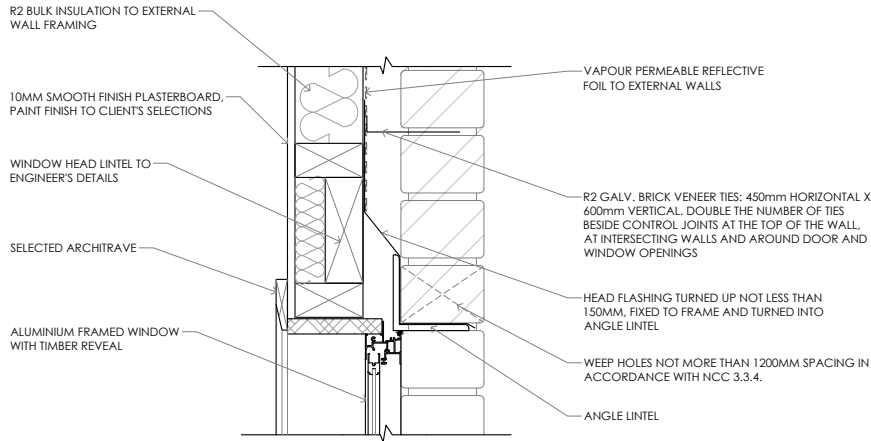
TRUSS MANUFACTURER TO NOTE:
ALL TRUSSES TO BE DESIGNED TO
BE SUPPORTED BY ALL EXTERNAL
WALLS FOR BOTH DEAD AND
WIND LOADS.

© COPYRIGHT IN WHOLE OR IN PART					
07	PROJECT NORTH	CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS. DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS.	REV:	DESCRIPTION:	BY: DATE:
			SK	ISSUED FOR CLIENT REVIEW	HT 05/6/26
			SK1	REPOSITION THE HOUSE	NN 03/7/26
			A	ISSUED FOR CLIENT REVIEW	NN 15/7/26
			B	EXTENDED MASTER BEDROOM	HT 17/7/26

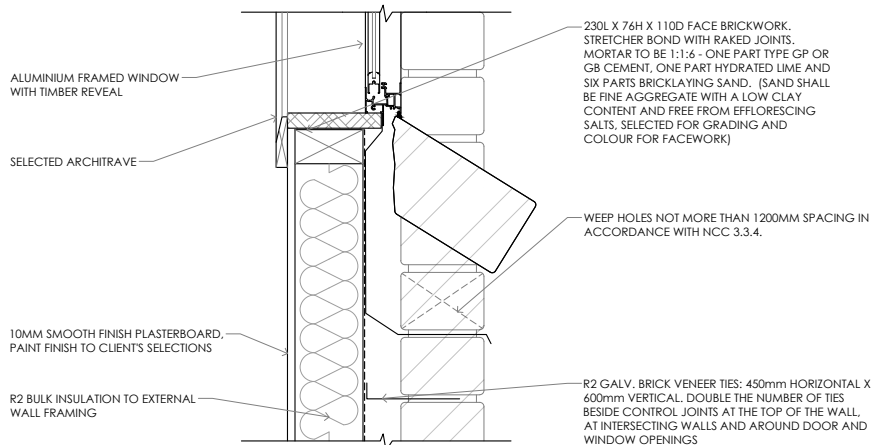
 CREATIVE HOMES HOBART LAUNCESTON CREATIVEHOMESTAS.COM.AU		JOB ADDRESS: Lot 16, 12 Coachman Court Kempton	CLIENT: Catherine King
DESIGNER: I. Brown	ACCRED. NO.: CC6652	SHEET: 7 of 10	
DRAWN: H. Tran	DATE: June 2026	DESIGN TYPE: Custom	
CHECKED:	DATE:	DRAWING NO: ---	
SCALE: 1:50	REV: B		



FLOOR, WALL & ROOF DETAIL SCALE 1:20



WINDOW HEAD DETAIL SCALE 1:10



WINDOW SILL DETAIL SCALE 1:10

TYPICAL SECTION DETAILS

PRELIMINARY

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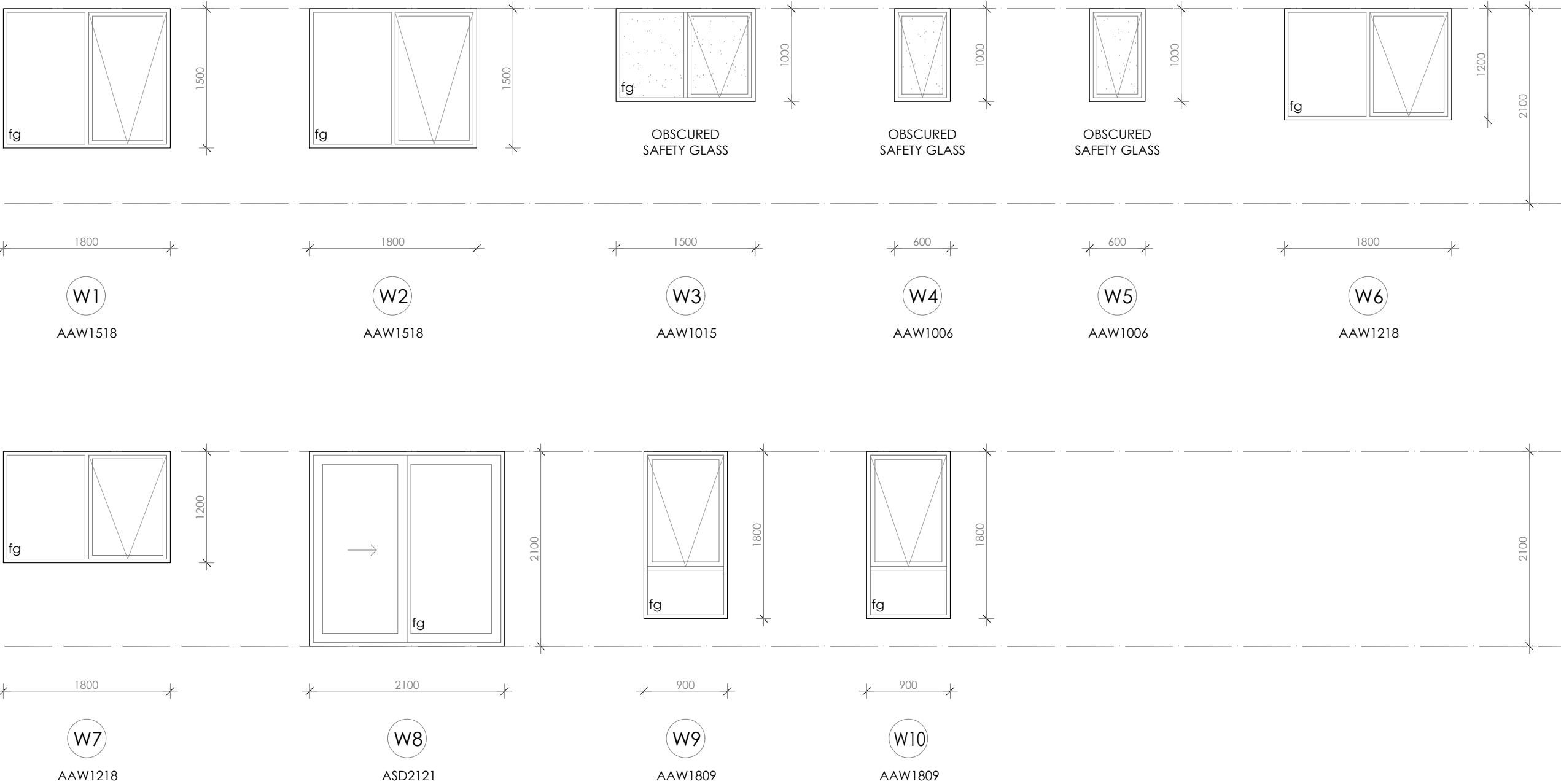
08		CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.	REV:	DESCRIPTION:	BY:	DATE:
			SK	ISSUED FOR CLIENT REVIEW	HT	05/6/26
			SK1	REPOSITION THE HOUSE	NN	03/7/26
			A	ISSUED FOR CLIENT REVIEW	NN	15/7/26
			B	EXTENDED MASTER BEDROOM	HT	17/7/26

DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS.



CREATIVE HOMES | HOBART | LAUNCESTON | CREATIVEHOMESTAS.COM.AU

JOB ADDRESS: Lot 16, 12 Coachman Court Kempton		CLIENT: Catherine King	
DESIGNER: I. Brown	ACCRED. NO.: CC6652	SHEET:	8 of 10
DRAWN: H. Tran	DATE: June 2026	DESIGN TYPE:	Custom
CHECKED:	DATE:	DRAWING NO:	---
SCALE: AS SHOWN	REV: B		



Framing NCC H1D6
All timber framing, fixing and bracing shall comply with AS 1684 and the requirements of NCC H1D6. Manufactured sizes must not be undersized to those specified, for all timber sizes, stress grades, spacing and wall bracing refer to Engineer's details. Tie-down details shall be in accordance with Engineer's details and comply with NCC H1D6 (4). Structural steel members shall comply with the requirements of clauses in NCC H1D6 (3). Refer to Engineer's details where provided.

Glazing NCC H1D8
All windows to be aluminium awning style, double glazed (obscured safety glass to bathrooms as shown on drawings) All glazing shall comply with the requirements of AS 2047 & AS 1288 and NCC H1D8.

Human impact safety requirements shall comply with NCC H1D8 (3) and Part 8.4 of the ABCB Housing provisions.

Note:
Builder and subcontractors to verify all dimension and levels prior to the commencement of any work. Give 24hrs minimum notice where amendments are required to design of working drawings. These drawings are to be read in conjunction with Engineer's and Surveyor's drawings and notes. Do not scale drawings. Dimensions are to take preference over scale. Building specification and Engineer's drawings shall override architectural drawings. All construction work shall be carried out in accordance with the state building regulations, local council by-laws and relevant NCC and AS codes.

Important notice for attention of Owners:
the Owners attention is drawn to the fact that foundations and associated drainage in all sites requires continuing maintenance to assist footing performance. Advice for foundation maintenance is contained in the CSIRO building technology file 18 and it is the Owners responsibility to maintain the site in accordance with this document.

Energy efficiency:
Insulation must comply with AS/NZS4859.1 and be installed in accordance with ABCB housing provisions Part 13.2.2 and comply with minimum R values for climate zone 7.
Bulk insulation between external studs to be insulated with min R2.0. (Ensure batts fit within cavity without compression, making sure that there is at least 25mm gap from the reflective surface). External walls are to be clad with vapour permeable reflective foil over the outside of the timber frame. Ceiling to be insulated with R4.0 and vapour permeable sarking. Floor to be insulated with Min R1.7 batts where applicable. Seal exhaust fans to Ensuite, Bathroom, Laundry and Kitchen. All downlights to be IC rated. Construction of the external walls, floor and roof for compliance with building sealing requirements shall comply with BCA 2019 Part 3.12

General:
All flashings, weep holes and damp proof coursing to be in accordance with NCC Housing provisions Part 5.7. Fibre cement sheet in accordance with NCC Housing provisions Part 7.5. Block construction in accordance NCC Housing provisions Part 5. Plasterboard linings to internal walls and ceilings with selected cornice. (see below for wet areas)

Wet areas: All wet areas shall comply with the requirements of ABCB Housing provisions Part 10.2. Provide waterproof plasterboard sheeting to all walls and ceilings. Provide ceramic tiles or other approved water resistant lining in accordance with Part 10.2.9 to a minimum height of 1800mm to shower walls and to a height of min 150mm behind baths, basins, sinks, troughs, washing machines and wall fixtures.

For construction of floor wastes refer to NCC ABCB Housing provisions part 10.2.12. For typical installation requirements for substrate preparation, penetrations, flashings/ junctions, membranes, screeds, holes, baths, showers, door jambs and screens refer to ABCB Housing provisions part 10.2.14-32.

WINDOW SCHEDULE

fg FIXED GLAZING

PRELIMINARY

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09	PROJECT NORTH	CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.	REV:	DESCRIPTION:	BY:	DATE:
			SK	ISSUED FOR CLIENT REVIEW	HT	05/6/26
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			B	EXTENDED MASTER BEDROOM	HT	17/7/26

DO NOT SCALE DRAWINGS.
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JOB ADDRESS: Lot 16, 12 Coachman Court Kempton		CLIENT: Catherine King	
DESIGNER: I. Brown	ACCRED. NO.: CC6652	SHEET: 9 of 10	
DRAWN: H. Tran	DATE: June 2026	DESIGN TYPE: Custom	
CHECKED:	DATE:	DRAWING NO: ---	
SCALE: 1:50	REV: B		

6/08/2026



PRELIMINARY

10



DO NOT SCALE DRAWINGS.
ALWAYS USE WRITTEN DIMENSIONS.

REV:	DESCRIPTION:	BY:	DATE:
SK	ISSUED FOR CLIENT REVIEW	HT	05/6/26
SK1	REPOSITION THE HOUSE	NN	03/7/26
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B	EXTENDED MASTER BEDROOM	HT	17/7/26



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SCALE: 1:100

REV:	
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GES

geo-environmental
solutions

SITE CLASSIFICATION REPORT

JOB NUMBER

J13101

ADDRESS

*12 Coachman Court
Kempton*

CLIENT

Creative Homes Hobart



Investigation Details

Client:	Creative Homes Hobart
Site Address:	12 Coachman Court, Kempton
Date of Inspection:	19/05/2026
Proposed Works:	New house
Investigation Method:	Geoprobe 540UD - Direct Push
Inspected by:	C. Cooper

Site Details

Certificate of Title (CT):	185677/16
Title Area:	Approx. 747.4 m ²
Applicable Planning Overlays:	No planning scheme overlays identified
Slope & Aspect:	1° S facing slope
Vegetation:	Grass & Weeds

Background Information

Geology Map:	MRT
Geological Unit:	Triassic Sandstone
Climate:	Annual rainfall 600mm
Water Connection:	Mains
Sewer Connection:	Serviced-Mains
Testing and Classification:	AS2870:2011, AS1726:2017 & AS4055:2021



Investigation

Boreholes were completed at selected locations across the site to characterise the subsurface conditions and assess the distribution and variability of soil materials. Borehole locations are shown on the site plan, and the interpreted soil profile conditions are summarised below. In-situ testing was undertaken at the time of investigation to provide an indication of the bearing capacity of the materials encountered.

Soil Profile Summary

BH 1 Depth (m)	BH 2 Depth (m)	USCS	Description
0.00-0.20	0.00-0.20	SM	Silty SAND: brown, slightly moist, medium dense
0.20-1.00	0.20-1.10	CI	Sandy CLAY: medium plasticity, brown, slightly moist, stiff
1.00-1.20	1.10-1.30	GC	Clayey GRAVEL: yellow, brown, slightly moist, very dense, refusal on rock/boulder.



Site Notes

Soils on the site are developing from Triassic Sandstone. The clay fraction is likely to show moderate ground surface movement.

Site Classification

The site has been assessed and classified in accordance with AS2870:2011 *“Residential Slabs and Footings”*.

The site has been classified as:

Class M

y_s range: **20-40mm**

Notes: that is a moderately reactive clay.

Wind Loading Classification

According to *“AS4055:2021 - Wind Loads for Housing”* the house site is classified below:

Wind Classification:	N2
Region:	A
Terrain Category:	2.5
Shielding Classification:	NS
Topographic Classification:	T0
Wind Classification:	N2
Design Wind Gust Speed – m/s ($V_{h,u}$):	40



Construction Notes & Recommendations

The site has been classified as **Class M** - Moderately reactive clay or silt site, which may experience moderate ground movement from moisture changes.

Foundation Considerations:

It is recommended the foundations be placed on the underlying bedrock to minimise the potential for significant foundation movement.

Earthworks Recommendations

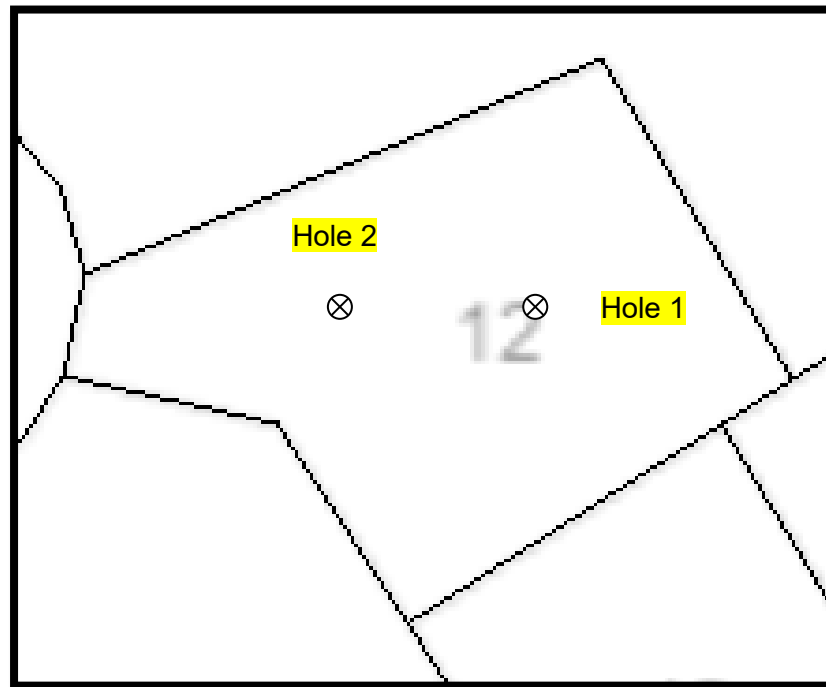
All earthworks on site must comply with AS3798:2007, and I further recommend that consideration be given to drainage and sediment control on site during and after construction. Care should also be taken to ensure there is adequate drainage in the construction area to avoid the potential for weak bearing and foundation settlement associated with excessive soil moisture.

It is also recommended that during construction that GES or the design engineer be notified of any major variation to the foundation conditions as outlined in this report.



APPENDIX A –Site Plan

Site Plan





APPENDIX B –Field Test Results

APPENDIX C –Site Photos



APPENDIX D - Explanatory Notes

1 Scope of Works

The methods of description and classification of soils used in this report are based largely on Australian Standard 1726 – Geotechnical Site Investigations (AS1726:2017), with reference to Australian Standard 1289 – Methods for testing soils for engineering purposes (AS1289), for eventual Site Classification according to Australian Standard 2870 (AS2870:2011) – Residential Slabs and Footings.

1.1 Site Classification AS2870:2011

Site classification with reference to the above Australian Standards are based on site reactivity.

Class	Foundation Conditions	Characteristic Surface Movement
A	Most sand and rock sites with little or no ground movement from moisture changes.	0mm
S	Slightly reactive clay sites, which may experience only slight ground movement from moisture changes.	0 – 20mm
M	Moderately reactive clay or silt sites, which may experience moderate ground movement from moisture changes.	20 – 40mm
H-1	Highly reactive clay sites, which may experience high ground movement from moisture changes.	40 – 60mm
H-2	Highly reactive clay sites, which may experience very high ground movement from moisture changes.	60 – 75mm
E	Extremely reactive sites, which may experience extreme ground movement from moisture changes.	>75mm

Note: Soils where foundation performance may be significantly affected by factors other than reactive soil movement are classified as Class P.

A site is classified as *Class P* when:

- The bearing capacity of the soil profile in the foundation zone is generally less than 100kpa
- If excessive foundation settlement may occur due to loading on the foundation.
- The site contains uncontrolled fill greater than 0.8m in depth for sandy sites and 0.4m in depth for other soil materials.
- The site is subject to mine subsistence, landslip, collapse activity or coastal erosion.
- The site is underlain by highly dispersive soils with significant potential for erosion
- If the site is subject to abnormal moisture conditions which can affect foundation performance

1.2 Soil Characterisation

This information explains the terms of phrase used within the soil description area of the report.

It includes terminology for cohesive and non-cohesive soils and includes information on how the Unified Soil Classification Scheme (USCS) codes are determined.

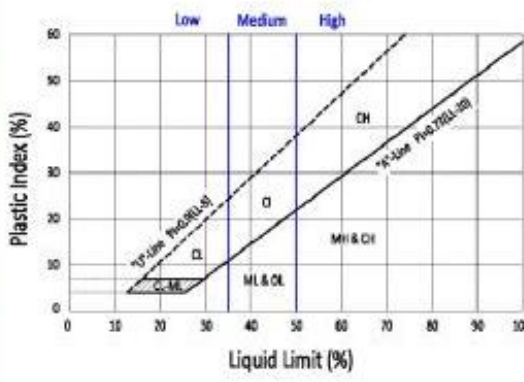
NON-COHESIVE – SAND & GRAVEL		
Consistency Description	Field Test	Relative Density (%)
Very loose (VL)	Easily penetrated with 13 mm reinforcing rod pushed by hand.	0 - 15
Loose (L)	Easily penetrated with 13 mm reinforcing rod pushed by hand. Can be excavated with a spade; 50 mm wooden peg can be easily driven.	15 - 35
Medium dense (MD)	Penetrated 300 mm with 13 mm reinforcing rod driven with 2 kg hammer, - hard shovelling.	35 - 65
Dense (D)	Penetrated 300 mm with 13 mm reinforcing rod driven with 2 kg hammer, requires pick for excavation: 50 mm wooden peg hard to drive.	65 - 85
Very dense (VD)	Penetrated only 25 - 50 mm with 13 mm reinforcing rod driven with 2 kg hammer.	>85

COHESIVE - SILT & CLAY		
Consistency Description	Field Test	Indicative undrained shear strength kPa
Very soft	Easily penetrated >40 mm by thumb. Exudes between thumb and fingers when squeezed in hand.	<12
Soft	Easily penetrated 10 mm by thumb. Moulded by light finger pressure	>12 and <25
Firm	Impression by thumb with moderate effort. Moulded by strong finger pressure	>25 and <50
Stiff	Slight impression by thumb cannot be moulded with finger.	>50 and <100
Very Stiff	Very tough. Readily indented by thumbnail.	>100 and <200
Hard	Brittle. Indented with difficulty by thumbnail.	>200

SOIL MOISTURE			
NON COHSIVE – COARSE GRAINED (SAND & GRAVEL)		COHSIVE – FINE GRAINED (SILT & CLAY)	
Term	Moisture Condition	Moisture Condition	
Dry (D)	Non-cohesive and free flowing	Moist, dry of plastic limit	w<PL
Moist (M)	Soil feels cool, darkened in colour Soil tends to stick together	Moist, near of plastic limit	w≈PL
Wet (W)	Soil feels cool, darkened in colour Soil tends to stick together, free water forms when handling	Moist, wet of plastic limit	w>PL
		Wet, near liquid limit	w≈LL
		Wet, wet of liquid limit	w>LL

1.3 USCS Material Descriptions

Soils for engineering purposes are the unconsolidated materials above bedrock, they can be residual, alluvial, colluvial or aeolian in origin.

Major Divisions		Particle size mm	USCS Group Symbol	Typical Names	Laboratory Classification				
COARSE GRAINED SOILS (more than half of material less than 63 mm is larger than 0.075 mm)	BOULDERS	_____200			% < 0.075 mm (2)	Plasticity of fine fraction	$C_u = \frac{D_{60}}{D_{10}}$	$C_c = \frac{(D_{30})^2}{(D_{10})(D_{60})}$	NOTES
	COBBLES	_____63							
	GRAVELS (more than half of coarse fraction is larger than 2.36 mm)	coarse _____20	GW	Well graded gravels and gravel-sand mixtures, little or no fines	0-5	—	>4	Between 1 and 3	(1) Identify fines by the method given for fine-grained soils.
		medium _____6	GP	Poorly graded gravels and gravel-sand mixtures, little or no fines, uniform gravels	0-5	—	Fails to comply with above		
		fine _____2.36	GM	Silty gravels, gravel-sand-silt mixtures (1)	12-50	Below 'A' line or PI<4	—	—	(2) Borderline classifications occur when the percentage of fines (fraction smaller than 0.075 mm size) is greater than 5% and less than 12%. Borderline classifications require the use of SP-SM, GW-GC.
		SANDS (more than half of coarse fraction is smaller than 2.36 mm)	coarse _____0.6	GC	Clayey gravels, gravel-sand-clay mixtures (1)	12-50	Above 'A' line and PI>7	—	
	medium _____0.2		SW	Well graded sands and gravelly sands, little or no fines	0-5	—	>6	Between 1 and 3	
	fine 0.075		SP	Poorly graded sands and gravelly sands, little or no fines	0-5	—	Fails to comply with above		
			SM	Silty sands, sand silt mixtures (1)	12-50	Below 'A' line or PI<4	—	—	
		SC	Clayey sands, sand-clay mixtures (1)	12-50	Above 'A' line and PI>7	—	—		
	FINE GRAINED SOILS (more than half of material less than 63 mm is smaller than 0.075 mm)	SILTS & CLAYS (Liquid Limit ≤50%)	ML	Inorganic silts, very fine sands, rock flour, silty or clayey fine sands or clayey silts with slight plasticity	Plasticity Chart For classification of fine grained soils and fine fraction of coarse grained soils. 				
			CL	Inorganic clays of low to medium plasticity, gravelly clays, sandy clays, silty clays, lean clays					
			OL	Organic silts and clays of low plasticity					
		SILTS & CLAYS (Liquid Limit >50%)	MH	Inorganic silts, micaceous or diatomaceous fine sands or silts, elastic silts					
			CH	Inorganic clays of high plasticity, fat clays					
OH			Organic silts and clays of high plasticity						
HIGHLY ORGANIC SOILS		PT	Peat and other highly organic soils						

Grain size analysis is performed by two processes depending on particle size. Sand silt and clay particles are assessed using a standardised hydrometer test, and coarse sand and larger is assessed through sieving by USCS certified sieves. For more detail see the following section.

Soil Classification	Particle Size
Clay	Less than 0.002mm
Silt	0.002 – 0.06mm
Fine/Medium Sand	0.06 – 2.0mm
Coarse Sand	2.0mm – 4.75mm
Gravel	4.75mm – 60.00mm

1.4 Bearing Capacities and DCP testing.

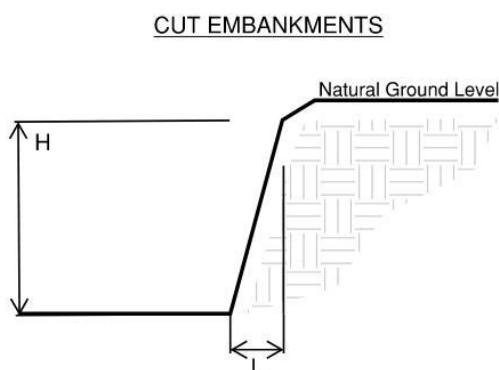
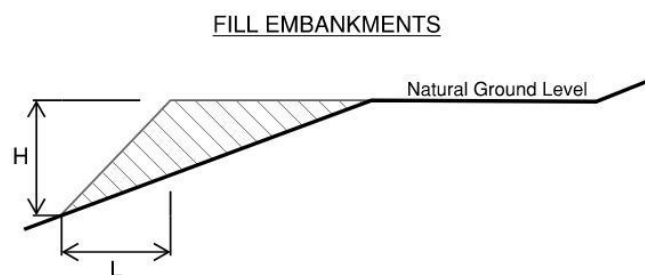
DCP and PSP weighted penetrometer tests – Dynamic Cone Penetrometer (DCP) and Perth Sand Penetrometer (PSP) tests are carried out by driving a rod into the ground with a falling weight hammer and measuring the blows for successive 100mm increments of penetration. Normally, there is a depth limitation of 1.2m but this may be extended in certain conditions by the use of extension rods. The methods for the two tests are quite similar.

- Dynamic Cone Penetrometer – a 16mm rod with a 20mm diameter cone end is driven with a 9kg hammer dropping 510mm (AS 1289, Test 6.3.2).
- Perth Sand Penetrometer – a 16mm diameter flat-ended rod is driven with a 9kg hammer, dropping 600mm (AS 1289 Test 6.3.3). This test was developed for testing the density of sands and is mainly used in granular soils and filling.

It should be noted that the DCP/PSP derived allowable bearing capacities have been estimated from empirical correlations typically for a minimum 1.0m wide strip footing using a factor of safety of 2.0 without taking into account any embedment, specific load spread dimensions, impact of groundwater and any settlement exceeding 25mm.

Site Anomalies – During construction GES will need to be notified of any major variation to the foundation conditions as outlined in this report.

1.5 Batter Angles for Embankments (Guide Only)



Material Type - (Site Classification)		Un-retained embankment slope ratios - Height : Length	
		Site Cut	Compacted Site FILL
Stable Rock (Class A)		8H:1L	2H:3L (or 1H:1.5L)
SAND (Class A)		1H:2L	1H:2L
Clay (Class M-E)	Firm-Stiff	1H:1L	1H:2L
	Soft	2H:3L (or 1H:1.5L)	Not Suitable
Soft/Loose/Uncompacted Soils (Class P)		Not Suitable	Not Suitable

APPENDIX E - Glossary of Terms

Bearing Capacity – Maximum bearing pressure that can be sustained by the foundation from the proposed footing system under service loads which should avoid failure or excessive settlement.

Clay – (Mineral particles less than 0.002mm in diameter). Fine grained cohesive soil with plastic properties when wet. Also includes sandy clays, silty clays, and gravelly clays.

Dynamic Cone Penetrometer (DCP) – Field equipment used to determine underlying soil strength and therefore bearing capacity (kPa) by measuring the penetration of the device into the soil after each hammer blow.

Dispersive soil – A soil that has the ability to pass rapidly into suspension in water.

Footing – Construction which transfers the load from the building to the foundation.

Foundation – Ground which supports the building

Landslip – Foundation condition on a sloping site where downhill foundation movement or failure is a design consideration.

Qualified Engineer – A professional engineer with academic qualifications in geotechnical or structural engineering who also has extensive experience in the design of the footing systems for houses or similar structures.

Reactive Site – Site consisting of clay soil which swells on wetting and shrinks on drying by an amount that can damage buildings on light strip footings or unstiffened slabs. Includes sites classified as S, M, H-1, H-2 & E in accordance with AS2870-2011.

Sand – (Mineral particles greater than 0.02mm in diameter). Granular non-cohesive, non-plastic soil that may contain fines including silt or clay up to 15%.

Services – Means all underground services to the site including but not limited to power, telephone, sewerage, water & storm water.

Silt – (Mineral particles 0.002 – 0.02mm in diameter). Fine grained non-cohesive soil, non-plastic when wet. Often confers a silky smoothness of field texture, regularly includes clay and sand to form clayey silts, sandy silts and gravelly silts.

Site – The site title, as denoted by address, lot number, or Certificate of Title (CT) number, or Property Identification Number (PID).

Surface Movement (y_s) – Design movement (mm) at the surface of a reactive site caused by moisture changes.

APPENDIX F - Disclaimer

This Report has been prepared in accordance with the scope of services between Geo-Environmental Solutions Pty. Ltd. (GES) and the Client. To the best of GES's knowledge, the information presented herein represents the client's requirements at the time of printing of the Report. However, the passage of time, manifestation of latent conditions or impacts of future events may result in findings differing from that discussed in this Report. In preparing this Report, GES has relied upon data, surveys, analyses, designs, plans and other information provided by the Client and other individuals and organisations referenced herein. Except as otherwise stated in this Report, GES has not verified the accuracy or completeness of such data, surveys, analyses, designs, plans and other information.

The scope of this study does not allow for the review of every possible geotechnical parameter or the soil conditions over the whole area of the site. Soil and rock samples collected from the investigation area are assumed to be representative of the areas from where they were collected and not indicative of the entire site. The conclusions discussed within this report are based on observations and/or testing at these investigation points.

This report does not purport to provide legal advice. Readers of the report should engage professional legal practitioners for this purpose as required.

No responsibility is accepted for use of any part of this report in any other context or for any other purpose by a third party.

**CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE
ITEM****Section 321**Form **55**

To: Owner /Agent
 Address
 Suburb/postcode

Qualified person details:

Qualified person:
 Address: Phone No:
 Fax No:
 Licence No: Email address:

Qualifications and Insurance details: *(description from Column 3 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)*

Speciality area of expertise: *(description from Column 4 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)*

Details of work:

Address: Lot No:
 Certificate of title No:
 The assessable item related to this certificate: *(description of the assessable item being certified)*
Assessable item includes –
 - a material;
 - a design
 - a form of construction
 - a document
 - testing of a component, building system or plumbing system
 - an inspection, or assessment, performed

Certificate details:

Certificate type: *(description from Column 1 of Schedule 1 of the Director's Determination - Certificates by Qualified Persons for Assessable Items n)*

This certificate is in relation to the above assessable item, at any stage, as part of - (tick one)

building work, plumbing work or plumbing installation or demolition work ☒
 or

a building, temporary structure or plumbing installation: ☐

In issuing this certificate the following matters are relevant –

Documents:

The attached soil report for the address detailed above in 'details of work'

Relevant
calculations:

Reference the above report.

References:

AS2870:2011 residential slabs and footings
AS1726:2017 Geotechnical site investigations
CSIRO Building technology file – 18.

Substance of Certificate: (what it is that is being certified)

Site Classification consistent with AS2870-2011.

Scope and/or Limitations

The classification applies to the site as inspected and does not account for future alteration to foundation conditions as a result of earth works, drainage condition changes or variations in site maintenance.

I, John-Paul Cumming certify the matters described in this certificate.

Qualified person:

Signed:

Certificate No:

Date:

J13101

26/05/2026



A handwritten signature in black ink, appearing to be "John Paul Cumming", written over a light grey background.



RESULT OF SEARCH

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



SEARCH OF TORRENS TITLE

VOLUME 185677	FOLIO 16
EDITION 1	DATE OF ISSUE 06-Mar-2024

SEARCH DATE : 06-Aug-2026

SEARCH TIME : 09.08 am

DESCRIPTION OF LAND

Town of KEMPTON

Lot 16 on Sealed Plan [185677](#)

Derivation : Part of 700A-0R-0P Loc. to Whickam Whitchurch

Prior CT [183234/1](#)

SCHEDULE 1

MURRAY JONES & SONS PTY LTD

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

SP[185677](#) COVENANTS in Schedule of Easements

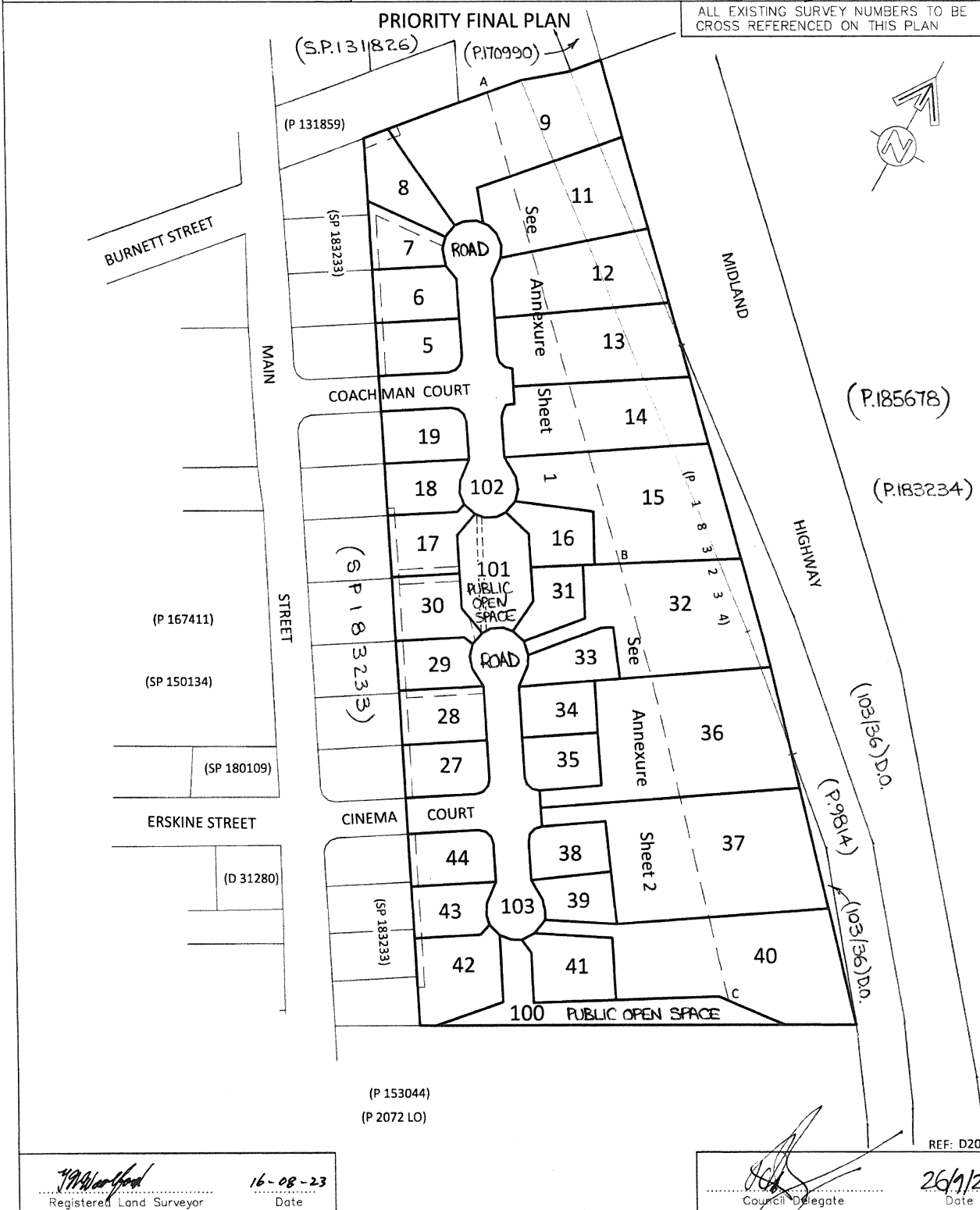
SP[185677](#) FENCING PROVISION in Schedule of Easements

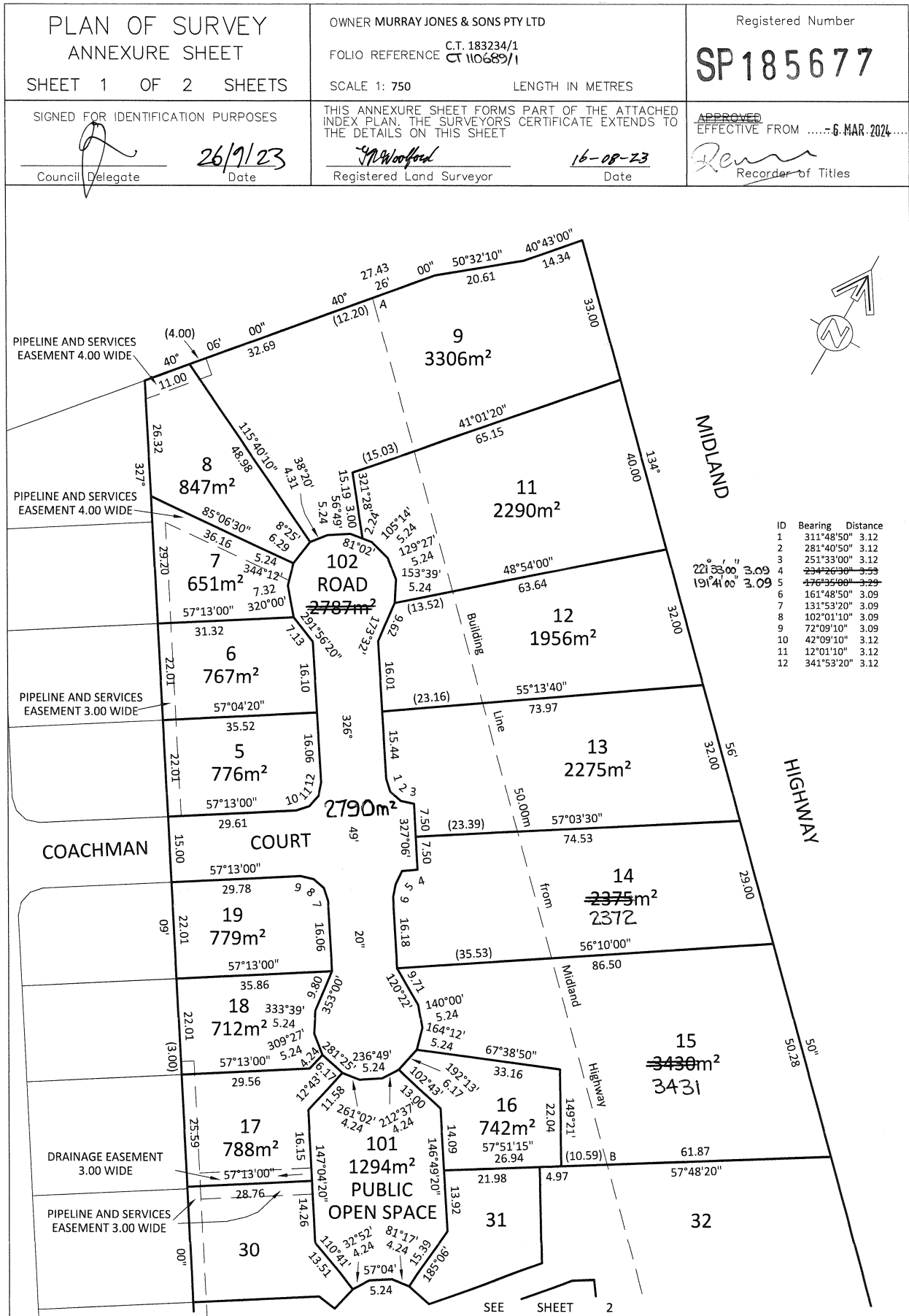
24/68 CONVEYANCE Made Subject to Conditions

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

OWNER: MURRAY JONES & SONS PTY LTD	PLAN OF SURVEY BY SURVEYOR: TONY WOOLFORD 72 GRAHAMS RD, MT RUMNEY PH. 0418 248 569 e: tnwoolford@tassie.net.au LOCATION: TOWN OF KEMPTON SCALE 1:1500 LENGTHS IN METRES	Registered Number SP 185677
FOLIO REFERENCE: C.T. 183234/1 CT 110689/1 GRANTEE: PART OF 700-0-0 LOC TO WHICKAM WHITCHURCH. & PART OF LOT 35567 (3A.2R.3OP) GTD TO MURRAY JONES & SONS PTY LTD		APPROVED EFFECTIVE FROM 6 MAR 2024  Recorder of Titles

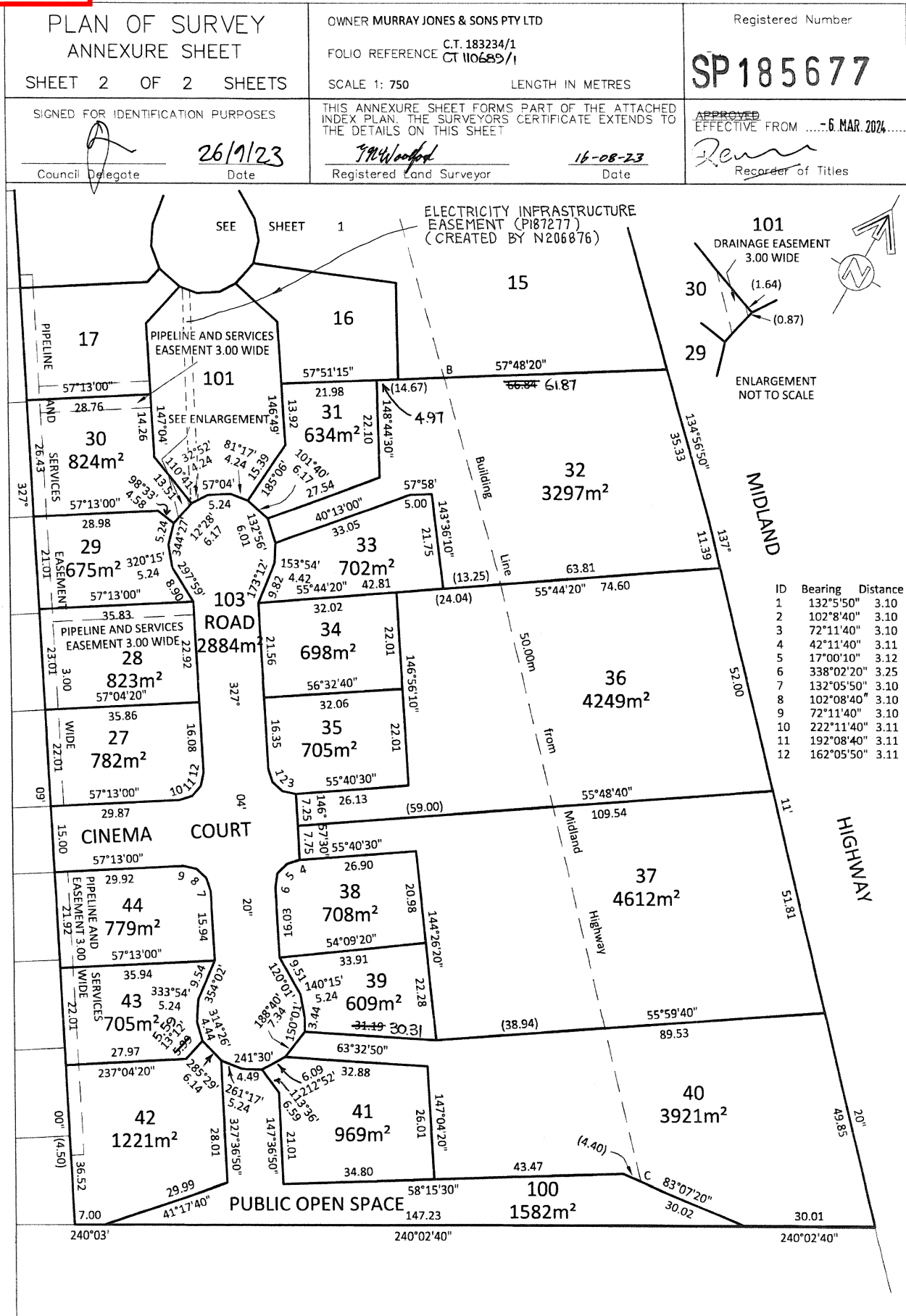




FOLIO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



SCHEDULE OF EASEMENTS NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	Registered Number SP 185677
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EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

LOTS 7, 8 & 9 ARE:

SUBJECT TO a PIPELINE AND SERVICES EASEMENT (as defined herein) in gross in favour of TasWater over the land marked PIPELINE AND SERVICES EASEMENT 4.00 WIDE shown on the Plan.

SUBJECT TO a Right of Drainage in favour of Southern Midlands Council over the land marked PIPELINE AND SERVICES EASEMENT 4.00 WIDE shown on the Plan.

LOTS 5, 6, 7, 17, 18, 27, 28, 29, 30, 42, 43 & 44 ARE:

SUBJECT TO a PIPELINE AND SERVICES EASEMENT (as defined herein) in gross in favour of TasWater over the land along the real boundary of each lot marked PIPELINE AND SERVICES EASEMENT 3.00 WIDE shown on the Plan.

SIGNED by MURRAY JONES & SONS PTY LTD
ACN 009 481 476 as registered proprietor of the land
comprised in Certificate of Title Volume 123249
Folio 1 in accordance with Section 127 of the
Corporations Act in the presence of :

Donald M. Jones
Director
DONALD M. JONES
Full Name

John A. Jones
Director/Secretary
JOHN A. JONES
Full Name

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: Murray Jones & Sons Pty Ltd FOLIO REF: 123249/1 and 110689/1 SOLICITOR & REFERENCE: Damian Egan (DFE 2100593)	PLAN SEALED BY: Southern Midlands Council DATE: 26/9/23 SA0703009 REF NO. <i>[Signature]</i> Council Delegate
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 9 PAGES	Registered Number SP 185677
SUBDIVIDER: Murray Jones & Sons Pty Ltd FOLIO REFERENCE: 123249/1 and 110689/1	

LOTS 5, 6, 7, 17, 18, 27, 28, 29, 30, 42, 43 & 44 ARE:

SUBJECT TO a Right of Drainage in favour of Southern Midlands Council over the land along the rear boundary of each lot marked PIPELINE AND SERVICES EASEMENT 3.00 WIDE shown on the Plan.

LOT 17 IS:

SUBJECT TO a Right of Drainage in favour of Southern Midlands Council over the land marked DRAINAGE EASEMENT 3.00 WIDE shown passing through Lot 17 on the Plan.

LOTS 28 & 30 ARE:

SUBJECT TO a PIPELINE AND SERVICES EASEMENT (as defined herein) in gross in favour of TasWater over the land along the north eastern side boundary of each lot marked PIPELINE AND SERVICES EASEMENT 3.00 WIDE as shown on the Plan.

EASEMENTS – INTERPRETATION

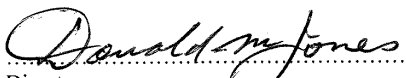
“Easement Land” means land subject to a Pipeline and Services Easement.

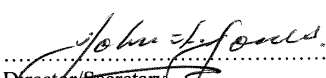
“TasWater” means Tasmanian Water and Sewerage Corporation Pty Ltd (ACN 162 220 653), its successors and assigns.

“Pipeline and Services Easement” means:

THE FULL RIGHT AND LIBERTY for TasWater at all times to:

SIGNED by MURRAY JONES & SONS PTY LTD
ACN 009 481 476 as registered proprietor of the land
comprised in Certificate of Title Volume 123249
Folio 1 in accordance with Section 127 of the
Corporations Act in the presence of:


Director
Full Name DONALD M. JONES

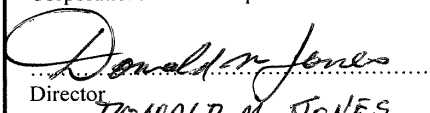
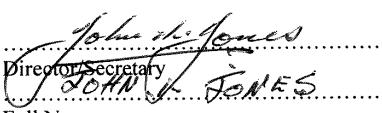

Director/Secretary
Full Name JOHN H. JONES

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 9 PAGES	Registered Number SP 185677
SUBDIVIDER: Murray Jones & Sons Pty Ltd FOLIO REFERENCE: 123249/1 and 110689/1	

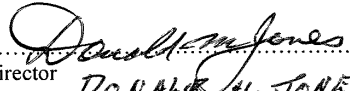
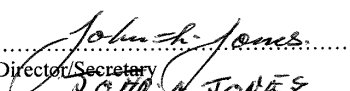
- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure;
- (4) run and pass sewerage, water and electricity through and along the Infrastructure;
- (5) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (a) without doing unnecessary damage to the Easement Land; and
 - (b) leaving the Easement Land in clean and tidy condition;
- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land; and
- (7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on the land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

PROVIDED ALWAYS THAT:

SIGNED by MURRAY JONES & SONS PTY LTD ACN 009 481 476 as registered proprietor of the land comprised in Certificate of Title Volume 123249 Folio 1 in accordance with Section 127 of the Corporations Act in the presence of :	
 Director DONALD M. JONES Full Name	 Director/Secretary JOHN H. JONES Full Name
NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.	

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 4 OF 9 PAGES	Registered Number SP 185677
SUBDIVIDER: Murray Jones & Sons Pty Ltd FOLIO REFERENCE: 123249/1 and 110689/1	

- (1) The registered proprietors of the Lot in the folio of the Register ("the Owner") must not without the written consent of TasWater first had and obtained and only in compliance with any conditions which form the consent:
 - (a) alter, excavate, plough, drill or otherwise penetrate the ground level of the Easement Land;
 - (b) install, erect or plant any building, structure, fence, pit, well, footing, pipeline, paving, tree, shrub or other object on or in the Easement Land;
 - (c) remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land;
 - (d) do any thing which will or might damage or contribute to damage to any of the Infrastructure on or in the Easement Land;
 - (e) in any way prevent or interfere with the proper exercise and benefit of the Easement Land by TasWater or its employees, contractors, agents and all other persons duly authorised by it; or
 - (f) permit or allow any action which the Owner must not do or acquiesce in that action.
- (2) TasWater is not required to fence any part of the Easement Land.
- (1) The Owner may erect a fence across the Easement Land at the boundaries of the Lot.
- (2) The Owner may erect a gate across any part of the Easement Land subject to these conditions:

SIGNED by MURRAY JONES & SONS PTY LTD ACN 009 481 476 as registered proprietor of the land comprised in Certificate of Title Volume 123249 Folio 1 in accordance with Section 127 of the Corporations Act in the presence of :	
 Director DONALD M. JONES Full Name	 Director/Secretary JOHN H. JONES Full Name
NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.	

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 5 OF 9 PAGES	Registered Number SP 185677
SUBDIVIDER: Murray Jones & Sons Pty Ltd FOLIO REFERENCE: 123249/1 and 110689/1	

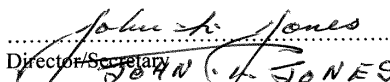
- (a) the Owner must provide TasWater with a key to any lock which would prevent the opening of the gate; and
- (b) if the Owner does not provide TasWater with that key or the key provided does not fit the lock, TasWater may cut the lock from the gate.
- (5) If the Owner causes damage to any of the Infrastructure, the Owner is liable for the actual cost to TasWater of the repair of the Infrastructure damaged.
- (6) If the Owner fails to comply with any of the preceding conditions, without forfeiting any right of action, damages or otherwise against the Owner, TasWater may:
 - (a) reinstate the ground level of the Easement Land; or
 - (b) remove from the Easement Land any building, structure, pit, well, footing, pipeline, paving, tree, shrub or other object; or
 - (c) replace any thing that supported, protected or covered the Infrastructure.

"Infrastructure" means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (i) sewer pipes and water pipes and associated valves;
- (ii) telemetry and monitoring devices;
- (iii) inspection and access pits;

SIGNED by MURRAY JONES & SONS PTY LTD
 ACN 009 481 476 as registered proprietor of the land
 comprised in Certificate of Title Volume 123249
 Folio 1 in accordance with Section 127 of the
 Corporations Act in the presence of :


 Director
 DONALD M. JONES
 Full Name


 Director/Secretary
 JOHN H. JONES
 Full Name

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 6 OF 9 PAGES	Registered Number SP 185677
SUBDIVIDER: Murray Jones & Sons Pty Ltd FOLIO REFERENCE: 123249/1 and 110689/1	

- (iv) electricity assets and other conducting media (excluding telemetry and monitoring devices);
- (v) markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or the Infrastructure;
- (vi) anything reasonably required to support, protect or cover any of the Infrastructure;
- (vii) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (viii) where the context permits, any part of the Infrastructure.

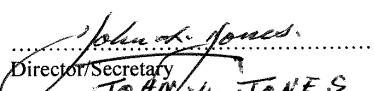
COVENANTS

The owners of each lot on the Plan (other than Lots 101 and 102) covenant with the Vendor (Murray Jones & Sons Pty Ltd) and the owner for the time being of every other lot shown on the Plan to the extent that the burden of these covenants may run with and bind the covenantor's lot and every part thereof and that the benefit thereof shall be annexed to and devolve with each and every part of every other lot (other than Lots 100, 101, 102 and 103) shown on the Plan to observe the following stipulations:

- (a) Not to build or erect or cause to be built or erected on each such lot any building and/or structure within 4.5m from the road boundary of each such lot.
- (b) Not to erect or permit to be erected or placed on the lot:

SIGNED by MURRAY JONES & SONS PTY LTD
 ACN 009 481 476 as registered proprietor of the land
 comprised in Certificate of Title Volume 123249
 Folio 1 in accordance with Section 127 of the
 Corporations Act in the presence of :

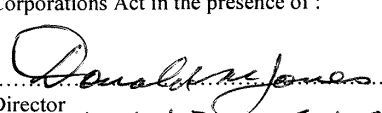
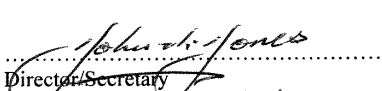

 Director
 DONALD M. JONES
 Full Name


 Director/Secretary
 JOHN L. JONES
 Full Name

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 7 OF 9 PAGES	Registered Number SP 185677
SUBDIVIDER: Murray Jones & Sons Pty Ltd FOLIO REFERENCE: 123249/1 and 110689/1	

- (i) any dwelling house or unit other than a new dwelling house or unit;
- (ii) any log cabin;
- (iii) any transportable home; or
- (iv) any caravan, hut or shed for any kind of permanent or temporary residential use on the lot PROVIDED THAT this sub-clause does not affect the right of the owner of the lot to have and keep a caravan thereon;
- (c) Not to erect more than one (1) dwelling house on the lot (other than the usual appurtenances thereto).
- (d) Not to use or permit or suffer to be used in any building on the lot second-hand materials for outer wall facings (including gables) and roofs for any building on the lot.
- (e) Not to use or cause to be used for any roofs any material except Colorbond roofs (or any similar quality colour coated or coloured corrugated iron roof) or any low grade roofing material more commonly used in any industrial or commercial buildings or properties.
- (f) Not to erect or permit to be erected any free-standing carports or garages on the lot unless the same are in conformity with the design for and colours and materials of the dwelling house or unit constructed thereon.
- (g) Not to erect or permit to be erected or placed on the lot any dwelling houses and/or buildings not approved by the local municipal council as complying with the design, guidelines and provisions of the Planning Scheme Heritage Special Precinct Area. The guidelines and provisions:

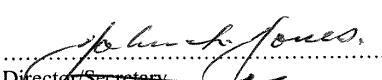
SIGNED by MURRAY JONES & SONS PTY LTD ACN 009 481 476 as registered proprietor of the land comprised in Certificate of Title Volume 123249 Folio 1 in accordance with Section 127 of the Corporations Act in the presence of :	
 Director DONALD M. JONES Full Name	 Director/Secretary JOHN H. JONES Full Name
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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 8 OF 9 PAGES	Registered Number SP 185677
SUBDIVIDER: Murray Jones & Sons Pty Ltd FOLIO REFERENCE: 123249/1 and 110689/1	

- (i) provide that the design and external appearance of all new buildings or additions/adaptations to buildings respect and maintain the historic character and heritage values;
- (ii) ensure that new buildings do not visually dominate 19th Century buildings;
- (iii) maintain the visual amenity of the historic buildings when viewed from the Midland Highway or from streets within the settlements; and
- (iv) require fences along boundary streets to be:
 - (A) between 900mm and 1000mm with a maximum of 1200mm for posts;
 - (B) vertically articulated and not horizontally articulated; and
 - (C) transparent or open in appearance with a distance between dowels or pickets such that the fence does not appear solid.

The Vendor reserves the right for themselves and/or their assigns to sell or otherwise deal with any lot on the Plan either subject to the above conditions and/or restrictive covenants or any one of them and/or subject to such modifications thereof as the Vendor shall in the Vendor's absolute discretion deem fit. Exercise of the said right in relation to any lot shall not give the owners of any other lot any right of action against the Vendors or another person.

The Owners of lots 9, 11, 12, 13, 14, 15, 32, 36, 37 & 40 covenant with the Vendor (Murray Jones & Sons Pty Ltd) and the owner for the time being of every other lot shown on the Plan to the intent that the burden of this covenant may run with and bind the covenantors lot and every part thereof and that the benefit thereof shall be annexed to and devolve with each and every other lot shown on the Plan to observe the following stipulation:

SIGNED by MURRAY JONES & SONS PTY LTD ACN 009 481 476 as registered proprietor of the land comprised in Certificate of Title Volume 123249 Folio 1 in accordance with Section 127 of the Corporations Act in the presence of :	
 Director DONALD M. JONES Full Name	 Director/Secretary JOHN H. JONES Full Name
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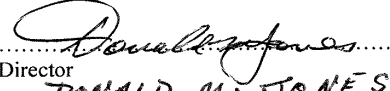
ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 9 OF 9 PAGES	Registered Number SP 185677
SUBDIVIDER: Murray Jones & Sons Pty Ltd FOLIO REFERENCE: 123249/1 and 110689/1	

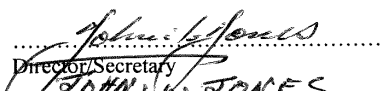
- (a) not without the approval of the Vendor and/or the Southern Midlands Council to cause to be erected or constructed any building or structure on each respective lot within fifty (50) metres of the boundary of the Midland Highway as shown and marked ABC on the Plan.

FENCING PROVISION

In respect of each lot shown on the Plan (other than Lots 102 and 103) the Vendor, Murray Jones & Sons Pty Ltd, shall not be required to fence.

SIGNED by MURRAY JONES & SONS PTY LTD
 ACN 009 481 476 as registered proprietor of the land
 comprised in Certificate of Title Volume 123249
 Folio 1 in accordance with Section 127 of the
 Corporations Act in the presence of :


 Director
 DONALD M. JONES
 Full Name


 Director/Secretary
 JOHN V. JONES
 Full Name

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