



Public Notice Details

Application Details

Application No	DA2600082
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Property Details

Property Location	2 Alma Lodge Road Campania
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Application Information

Application Type	Discretionary Development Application
Development Category	Dwelling
Advertising Commencement Date	17/7/26
Advertising Closing Period	31/7/26

If the Council Offices are closed during normal office hours within the above period, the period for making representations is extended.

If you need any further information, you're welcome to contact the Planning Department. A planner in the Development and Environmental Services section can be reached on 6254 5050 or at planningenquiries@southernmidlands.tas.gov.au.

Representations on this application may be made to the General Manager in writing either by

Post: PO Box 21, Oatlands Tas 7120
Email: mail@southernmidlands.tas.gov.au
Fax: 03 6254 5014

All representations must include the authors full name, contact number and postal address and be received by the advertising closing date.

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DA
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TASMANIAN PLANNING SCHEME
8/07/2026

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TOTAL FLOOR AREAS

MAIN DWELLING, GROUND FLOOR

ALFRESCO	9.90
LIVING	135.92
PATIO	2.17
	147.99 m²

HIGHLY REACTIVE /
PROBLEMATIC SOIL TYPE.
REFER TO HYDRAULICS PLANS
AND DETAILS PREPARED BY HED

AS & NCC COMPLIANCE

- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH NCC 2022 AND APPLICABLE AUSTRALIAN STANDARDS AT TIME OF APPROVAL.
- SLAB IN ACCORDANCE WITH AS 2870. REFER TO ENGINEERS DETAILS FOR ALL SLAB DETAILS.
 - BRICK CONTROL JOINTS PROVIDED IN ACCORDANCE WITH NCC 2022.
 - ALL STEEL FRAMING TO BE DESIGNED TO AS 4100-2020 OR AS/NZS 4600-2018.
 - INSULATION TO BE INSTALLED IN ACCORDANCE WITH NCC 2022 AND ALL APPLICABLE AUSTRALIAN STANDARDS.
 - TERMITE PROTECTION IN ACCORDANCE WITH AS 3660 AND NCC 2022.
 - GLAZING IN ACCORDANCE WITH AS 1288 AND NCC 2022.
 - SMOKE ALARMS IN ACCORDANCE WITH AS 3786 AND NCC 2022.
 - INTERNAL WATERPROOFING IN ACCORDANCE WITH NCC 2022 HOUSING PROVISIONS PART 10.2.
 - EXTERNAL WATERPROOFING IN ACCORDANCE WITH AS 3740 AND AS 4654.
 - WET AREA FLOORS TO FALL TO FLOOR WASTES AT MIN. 1:80 AND MAX. 1:50 GRADE (IF APPLICABLE).
 - CONDENSATION MANAGEMENT IN ACCORDANCE WITH NCC 2022 HOUSING PROVISIONS PART 10.8.
 - BUILDING SEALING IN ACCORDANCE WITH NCC 2022.
 - SERVICES IN ACCORDANCE WITH NCC 2022.
 - EARTHWORKS IN ACCORDANCE WITH AS 3798-2007.
 - EXTERNAL WALL WRAP (SARKING) IN ACCORDANCE WITH NCC 2022 (IF APPLICABLE).
 - EXHAUST FANS DUCTED TO OUTSIDE AIR (IF APPLICABLE).

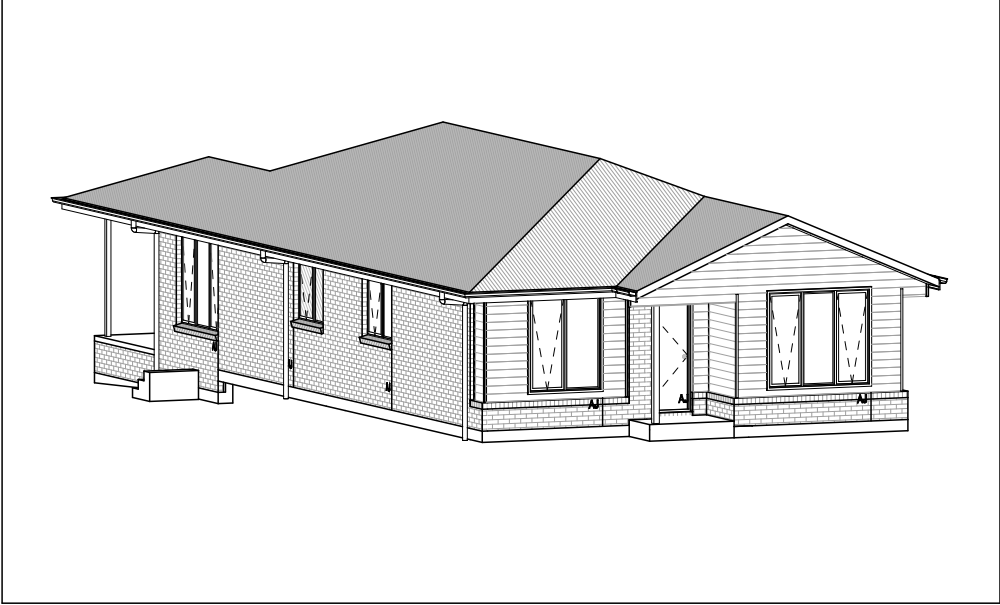
SITE SPECIFIC CONTROLS

CONTROL	DETAILS
ACID SULPHATE SOIL	NO
BIODIVERSITY	NO
BUILDING ENVELOPE	NO
BUSHFIRE	BAL-LOW
CLIMATE ZONE (NCC)	ZONE 7 - COOL TEMPERATE
DESIGN WIND CLASSIFICATION	N3 (EXPOSED TBC)
ESTATE/DEVELOPER GUIDELINES	NO
FLOOD OVERLAY	NO
HERITAGE	NO
LANDSLIP HAZARD	NO
MINIMUM FLOOR LEVEL	NO
NATURAL ASSET CODE	NO
NOISE ATTENUATION	NO
SALINE SOIL	NO
SHIELDING FACTOR	NS - NO SHIELDING
SITE CLASSIFICATION	H1
SPECIFIC AREA PLAN OVERLAY	NO
TERRAIN CATEGORY	TC1
TOPOGRAPHIC CLASSIFICATION	T0
WATERWAY & COASTAL OVERLAY	NO
WIND REGION	A - NORMAL
WITHIN 1km CALM SALT WATER	NO
WITHIN 50km BREAKING SURF	29.00km
ZONING	VILLAGE

BUILDING CONTROLS & COMPLIANCE

CONTROL	REQUIRED	PROPOSED
SETBACKS		
FRONT	MIN. 4,500mm	4,500mm
SIDE A	MIN. 3,000mm	1,500mm
SIDE B	MIN. 3,000mm	8,062mm
REAR	MIN. 3,000mm	9,416mm
BULK & SCALE		
SITE AREA	601m²	
SITE COVERAGE	MAX. 50%	24.62%
LANDSCAPE		
NO APPLICABLE CONTROLS		
EARTHWORKS		
CUT DEPTH	MAX. 2,000mm	859mm
FILL DEPTH	MAX. 800mm	610mm
ACCESS & AMENITY		
PARKING SPACES	MIN. 2 SPACES	2 SPACES
PRIVATE OPEN SPACE	MIN. 24m²	24m²

3D PERSPECTIVE



NOTE TO OWNER

THESE PLANS MAY FEATURE WORKS THAT ARE EXCLUDED FROM THE SCOPE OF WORKS WITH THE BUILDER, BUT THEY HAVE BEEN INCLUDED IN THESE DRAWINGS TO ASSIST IN THE OVERALL PLANNING AND ASSESSMENT OF THE BUILDING PROJECT. EXAMPLES OF SOME REGULARLY EXCLUDED WORKS INCLUDE DRIVEWAYS, RETAINING WALLS, SOLAR PANEL SPACING AND SITE DRAINAGE. PLEASE REFER TO YOUR SCOPE OF WORKS AND COLOUR SELECTIONS DOCUMENTATION FOR DETAILS OF INCLUDED WORKS. SOME DETAILS ARE INDICATIVE ONLY FOR EXAMPLE FLOORING, TILING, BRICKWORK AND CLADDING (EXPANSION JOINTS, ORIENTATION AND LAYOUT) AND ARE SUBJECT TO CHANGE.

LOCATION MAP



This Plan has been prepared prior to the receipt of one or more of the following documents:-
Certificate of Title inclusive of lot specific zoning, easement and covenant documents, BAL report and rating, approved
subdivision plans providing crossover locations and service connection points, power and communications connection point
information, Geotechnical Site Investigation, Contour Survey. Dial Before You Dig Information, Planning Approval.

BUILDING INFORMATION

GROUND FLOOR TOP OF WALL HEIGHT(S)		2605mm
NOTE: CEILING HEIGHT 45mm LOWER THAN TOP OF WALL		
ROOF PITCH (U.N.O.)	23.0°	
ELECTRICITY SUPPLY	SINGLE PHASE	
GAS SUPPLY	NONE	
ROOF MATERIAL	SHEET METAL	
ROOF COLOUR	N/A	
WALL MATERIAL	BRICK VENEER CLADDING	
SLAB CLASSIFICATION		TBC

INSULATION

ROOF	SARKING UNDER ROOFING
CEILING	R4.1 BATTS (EXCL. GARAGE, ALFRESCO)
EXT. WALLS	R2.0 BATTS (EXCL. GARAGE)
WALL WRAP	WALL WRAP TO ENTIRE HOUSE
INT. WALLS	R2.0 BATTS ADJACENT TO GARAGE AND AS PER PLAN
FLOOR	BIAX SLAB R0.60

NCC 2022 LIVABLE HOUSING COMPLIANCE

- STEP FREE ENTRANCE LOCATION: N/A
ACCESSIBLE SANITARY COMPARTMENT LOCATION: BATH (GROUND FLOOR)
ACCESSIBLE SHOWER LOCATION: BATH (GROUND FLOOR)
- GENERAL NOTES:
- THRESHOLD OF ACCESSIBLE SHOWER ENTRY TO BE MAX. 5mm.
 - THRESHOLD OF STEP FREE ENTRANCE DOOR TO BE MAX. 5mm.
 - THRESHOLD OF INTERIOR DOORS SERVICING HABITABLE ROOMS, LAUNDRY, ACCESSIBLE SANITARY COMPARTMENT AND ROOM CONTAINING ACCESSIBLE SHOWER TO BE MAX. 5mm.
 - INTERIOR DOORS NOMINATED AS 870 TO ACHIEVE MIN. 820mm CLEAR OPENING.
 - CORRIDORS CONNECTING HABITABLE ROOMS, ACCESSIBLE SANITARY COMPARTMENT AND ROOM CONTAINING ACCESSIBLE SHOWER TO ACHIEVE MIN. 1000mm CLEARANCE BETWEEN FINISHED SURFACE OF OPPOSING WALLS (EXCL. SKIRTINGS).
 - REFER TO APPLICABLE WET AREA PLANS AND INTERIOR ELEVATIONS FOR LOCATIONS OF REQUIRED WALL REINFORCEMENT FOR FUTURE GRAB RAIL INSTALLATION.

THE OWNERS ACKNOWLEDGE THAT THESE CONTRACT PLANS MAY NOT REFLECT ALL THE SELECTIONS THAT HAVE BEEN MADE OR CHANGES REQUESTED. THE OWNERS AGREE THAT FOLLOWING THE COLOUR SELECTIONS VARIATION OR UPDATING OF PLANS, THEY WILL BE PROVIDED WITH CONSTRUCTION PLANS FOR SIGNATURE PRIOR TO COMMENCEMENT OF CONSTRUCTION.

SIGNATURE:

DATE:

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
LIVABLE HOUSING

PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

SIGNATURE: DATE:

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

PRELIMINARY PLAN SET

2	PRELIMINARY PLAN SET - INITIAL ISSUE	ALL	2026.06.24	TNG	-
No.	AMENDMENT	SHEET	DATE	DRAWN	CHECK

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			COUNCIL: SOUTHERN MIDLANDS	SHEET No.: 1 / 20		

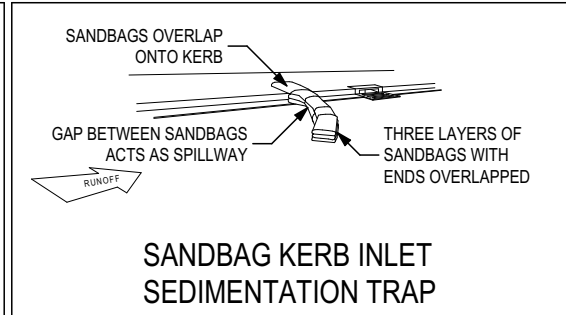
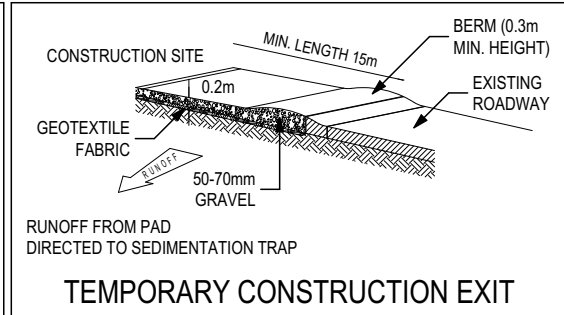
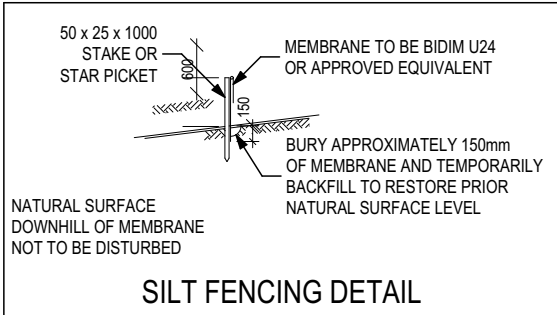
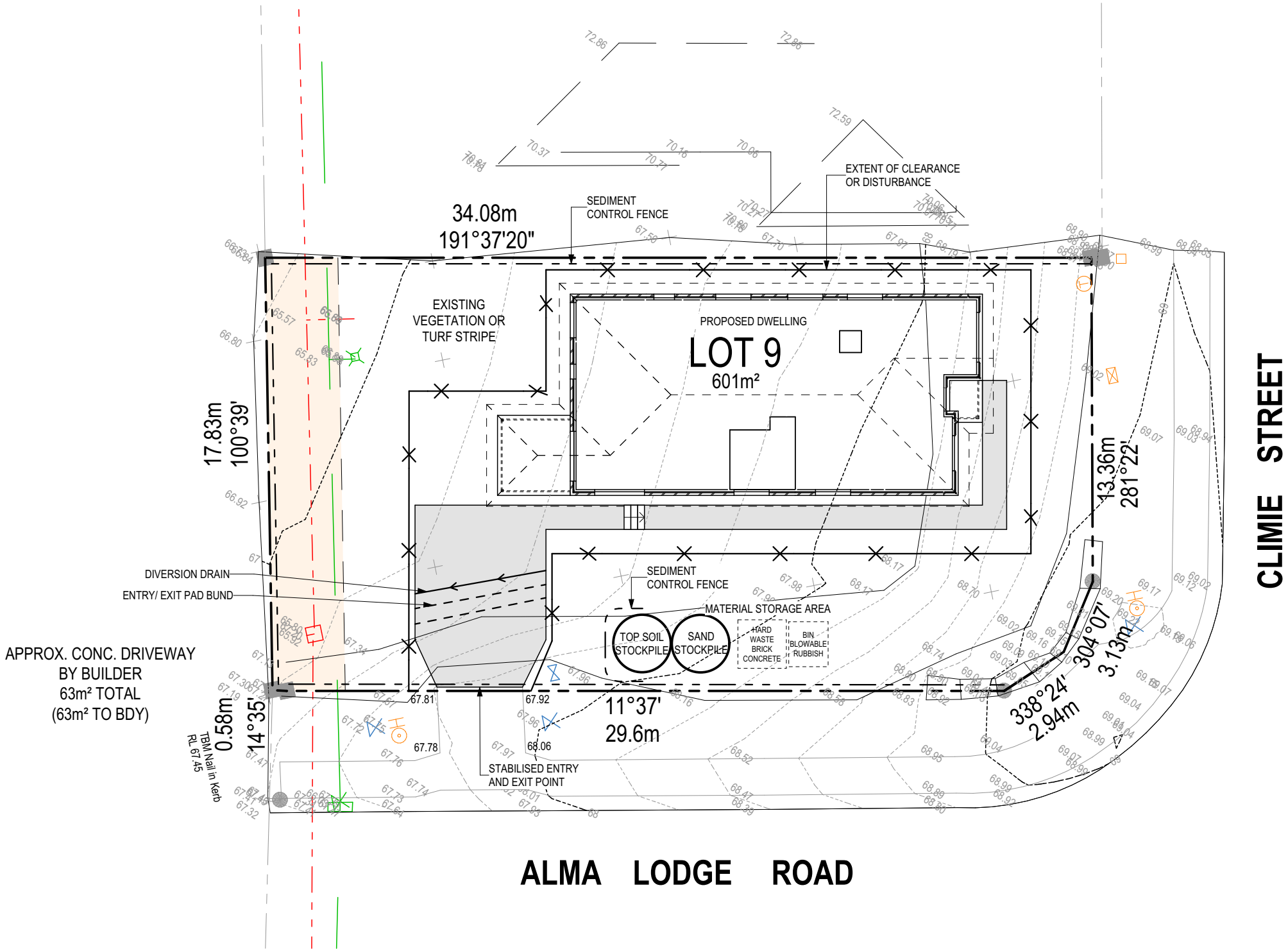
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Last Published: Wednesday, June 24, 2026 3:04 PM

SMC KEMPTON
ALL VEGETATION OUTSIDE THE BUILDING ZONE WILL BE MAINTAINED.

OWNER TO STABILISE THE SITE ON COMPLETION OF THE BUILD WITH TURF LAWNS, GRASS SEEDS, NATIVE GROUND COVERS AND/ OR MULCH SPREAD TO A DEPTH OF 75-100mm

THE FOLLOWING IS A STANDARD APPROACH. SEDIMENT AND EROSION CONTROL MEASURES WILL BE REVIEWED PRIOR TO COMMENCING WORK AND INSTALLED BASED ON THE OUTCOME OF THAT REVIEW.

- NOTES:
1. ALL EROSION AND SEDIMENT CONTROL STRUCTURES TO BE INSPECTED EACH WORKING DAY AND MAINTAINED IN GOOD WORKING ORDER.
 2. ALL GROUND COVER VEGETATION OUTSIDE THE IMMEDIATE BUILDING AREA TO BE PRESERVED DURING THE BUILDING PHASE.
 3. ALL EROSION AND SEDIMENT CONROL MEASURES TO BE INSTALLED PRIOR TO COMMENCEMENT OF MAJOR EARTHWORKS.
 4. STOCKPILES OF CLAYEY MATERIAL TO BE COVERED WITH AN IMPERVIOUS SHEET.
 5. ROOF WATER DOWNPIPES TO BE CONNECTED TO THE PERMANENT UNDERGROUND STORMWATER DRAINAGE SYSTEM AS SOON AS PRACTICAL AFTER THE ROOF IS LAID.
 6. DIVERSION DRAINS ARE TO BE CONNECTED TO A LEAGAL DISCHARGE POINT (COUNCIL STORMWATER SYSTEM, WATERCOURSE OR ROAD DRAIN).
 7. SEDIMENT RETENTION TRAPS INSTALLED AROUND THE INLETS TO THE STORMWATER SYSTEM TO PREVENT SEDIMENT & OTHER DEBRIS BLOCKING THE DRAINS.



ALL RUNOFF AND SEDIMENT CONTROL STRUCTURES WILL BE INSPECTED EACH WORKING DAY AND MAINTAINED IN A FUNCTIONAL CONDITION.

ALL VEGETATION OUTSIDE THE BUILDING ZONE WILL BE MAINTAINED.

SUBJECT TO NCC 2022 (1 MAY 2023)
WATERPROOFING & PLUMBING CONDENSATION MANAGEMENT LIVABLE HOUSING

PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

SIGNATURE: _____ DATE: _____

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© 2026			2 ALMA LODGE ROAD, CAMPANIA TAS 7026	RIVERSIDE	F-WNWCYP10RVSDA	
			LOT / SECTION / CT:	SHEET TITLE:	SHEET No.:	
			9 / - / 185626	SOIL & WATER MANAGEMENT PLAN	3 / 20	
			COUNCIL:	SCALES:		
			SOUTHERN MIDLANDS	1:200		
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REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

ALL MECHANICAL VENTILATION TO BE DISCHARGED TO OUTDOOR AIR AS PER NCC 2022 REQUIREMENTS

FIRE RESISTANT PLASTERBOARD TO BE INSTALLED BEHIND COOKTOP

ALL GROUND FLOOR BULKHEAD AND SQUARE SET OPENING FRAMES TO BE 2155 ABOVE FFL UNLESS NOTED OTHERWISE

REFER TO WINDOW AND DOOR SCHEDULES FOR FULL DETAILS OF ALL WINDOWS AND DOORS. PLEASE NOTE WINDOW AND DOOR SIZES ARE BASED ON MANUFACTURERS SPECIFICATIONS AT DEPOSIT STAGE AND MAY DIFFER SLIGHTLY TO THE SIZES NOMINATED IN THE SCOPE OF WORKS DUE TO MANUFACTURING CHANGES AT THE TIME OF CONSTRUCTION.

FINAL WINDOW AND EXTERIOR DOOR LOCATIONS MAY BE ADJUSTED ON SITE TO SUIT BRICKWORK GAUGE

UNLESS NOTED OTHERWISE ALL ROOMS ARE REFERENCED AS FOLLOWS:



LEGEND

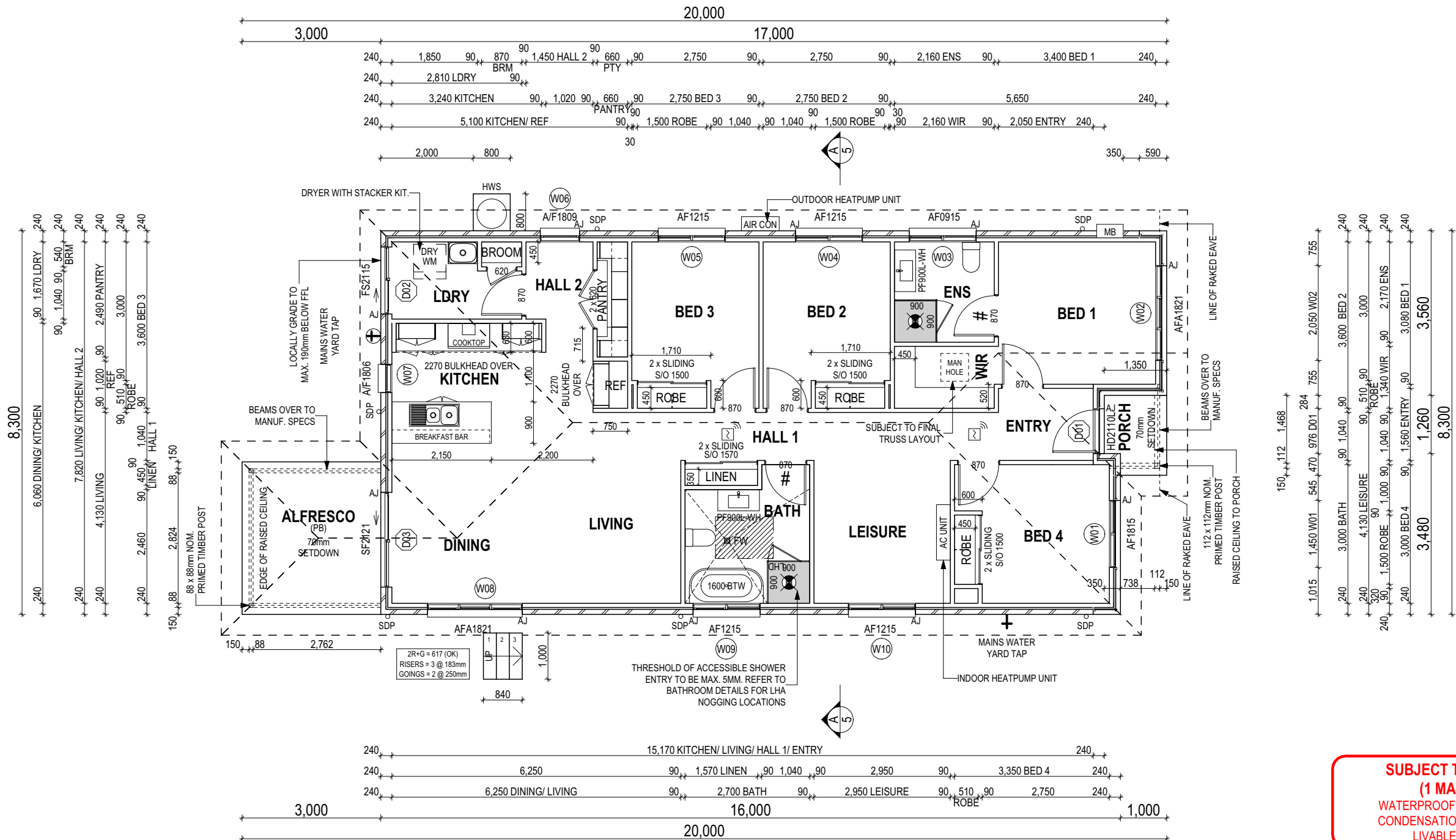
HS / WS	HOB SPOUT / WALL SPOUT
	FACE BRICK / COMMON BRICK
	RENDER
	SOUND INSULATION
AJ	BRICK ARTICULATION JOINT
SDP	STANDARD DOWNSPIPE
CDP	CHARGED DOWNSPIPE
3D	DENOTES DRAWER SIDE
	MECHANICAL VENTILATION
L.B.W	LOAD BEARING WALL
PB	PLASTERBOARD
FC	FIBRE CEMENT
	THIS DOOR OPENS FIRST
	SMOKE ALARM
#	LIFT OFF HINGE
+	WATER POINT
	FLOOR WASTE
	GAS BAYONET

MAIN DWELLING, GROUND FLOOR		
ALFRESCO		9.90
LIVING		135.92
PATIO		2.17
		147.99 m²

PROVIDE AND INSTALL SINGLE PHASE SPLIT SYSTEM AIR CONDITIONER. EXACT LOCATION TO BE DETERMINED IN CONJUNCTION WITH CONTRACTORS RECOMMENDATIONS AND/OR ANY CONSTRUCTION CONSTRAINTS.

ANY PART OF THE FASCIA, GUTTERING OR DOWNSPIPE THAT IS WITHIN 450mm OF ANY BOUNDARY IS TO BE NON-COMBUSTIBLE IN ACCORDANCE WITH NCC 2022

ALL EXTERIOR SLABS TO BE GRADED BY CONCRETE TO ACHIEVE APPROX. 1:100 FALL TO OUTSIDE EDGE WITH MAXIMUM CROSSFALL OF 30mm OVER ENTIRE SLAB.



ALL DIMENSIONS ARE FRAME DIMENSIONS

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SUBJECT TO NCC 2022

(1 MAY 2023)

WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
LIVABLE HOUSING

PLAN ACCEPTANCE BY OWNER

SIGNATURE:

DATE:

SIGNATURE:

DATE:

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REVISION

1 CONSOLIDATED PROPOSAL - CP1

2 PRELIM PLANS - INITIAL ISSUE

DRAWN

NVO/JII 18/06/2026

TNG 24/06/2026

CLIENT:

GILBERT RUSSELL WILLIAMS & ELIZABETH JEAN SEVILLE

ADDRESS:

2 ALMA LODGE ROAD, CAMPANIA TAS 7026

LOT / SECTION / CT:

9 / - / 185626

COUNCIL:

SOUTHERN MIDLANDS

HOUSE DESIGN:

CYPRESS 15

FACADE DESIGN:

RIVERSIDE

SHEET TITLE:

GROUND FLOOR PLAN

SHEET No.:

4 / 20

HOUSE CODE:

H-WNWCYP10SA

FACADE CODE:

F-WNWCYP10RVSDA

SCALES:

1:100

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RECEIVED

8/07/2026

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

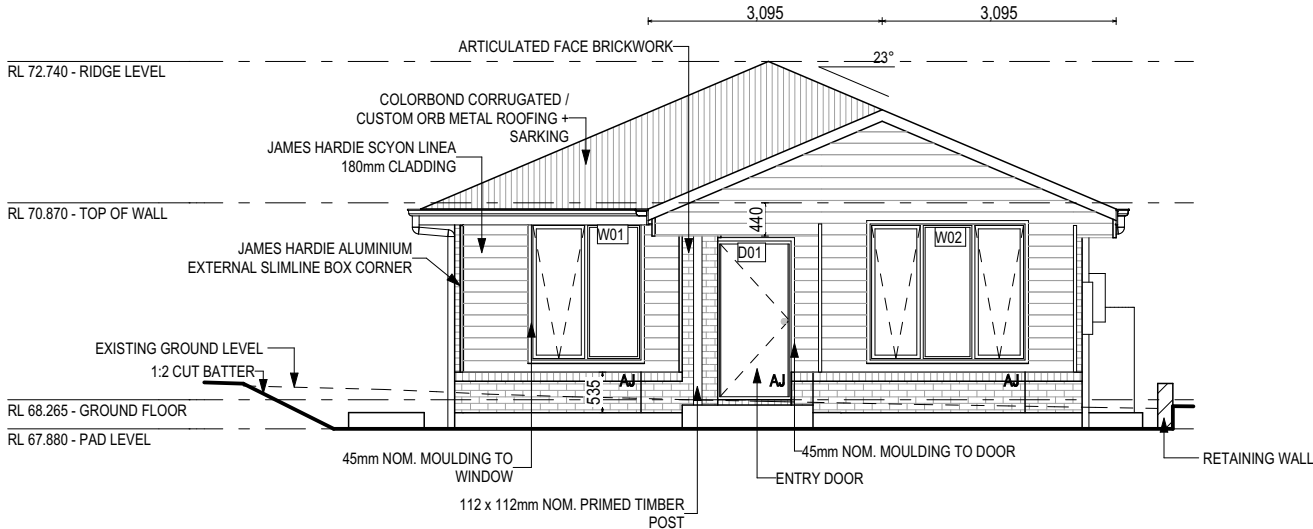
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SH = SNAP HEADER SILL

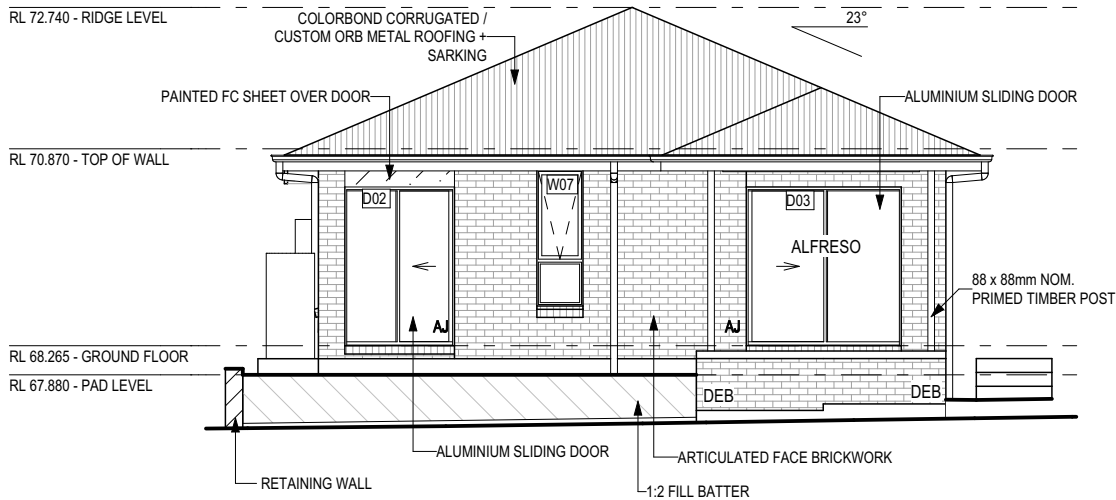
BEDROOM WINDOW OPENINGS ABOVE 2m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

ROOMS OTHER THAN BEDROOM WINDOW OPENINGS ABOVE 4m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

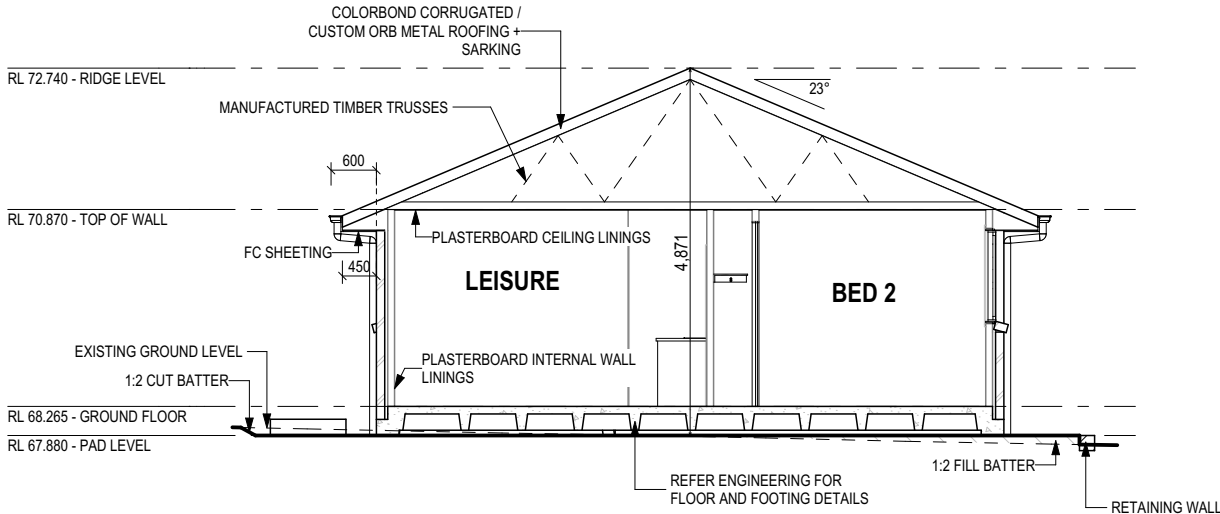
REFER TO THE FOLLOWING DETAILS: BRICK COURSING W-BRIC-001



SOUTH ELEVATION
SCALE: 1:100



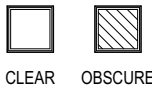
NORTH ELEVATION
SCALE: 1:100



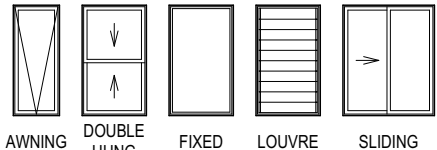
SECTION A-A
SCALE: 1:100

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
LIVABLE HOUSING

GLASS TYPE LEGEND



WINDOW TYPE LEGEND



PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

SIGNATURE: DATE:

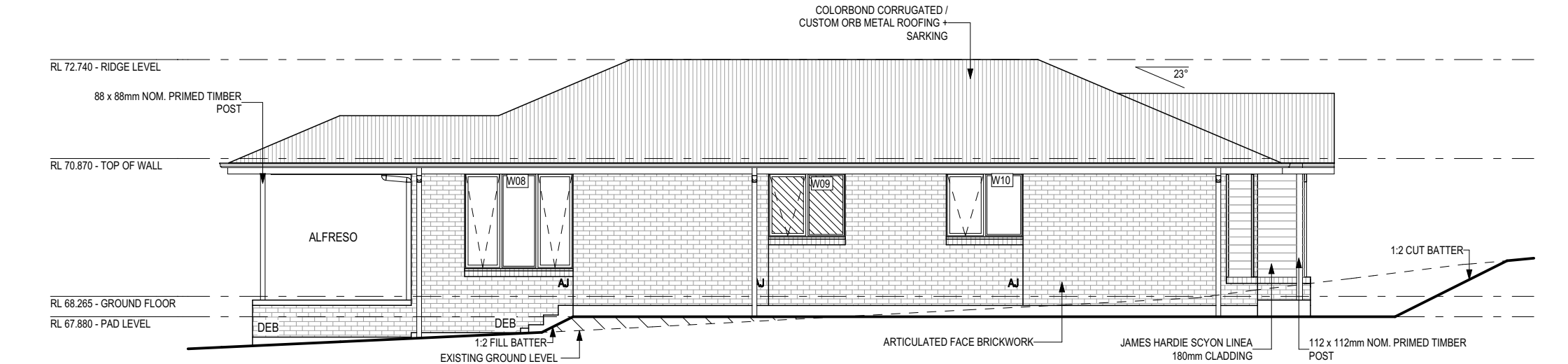
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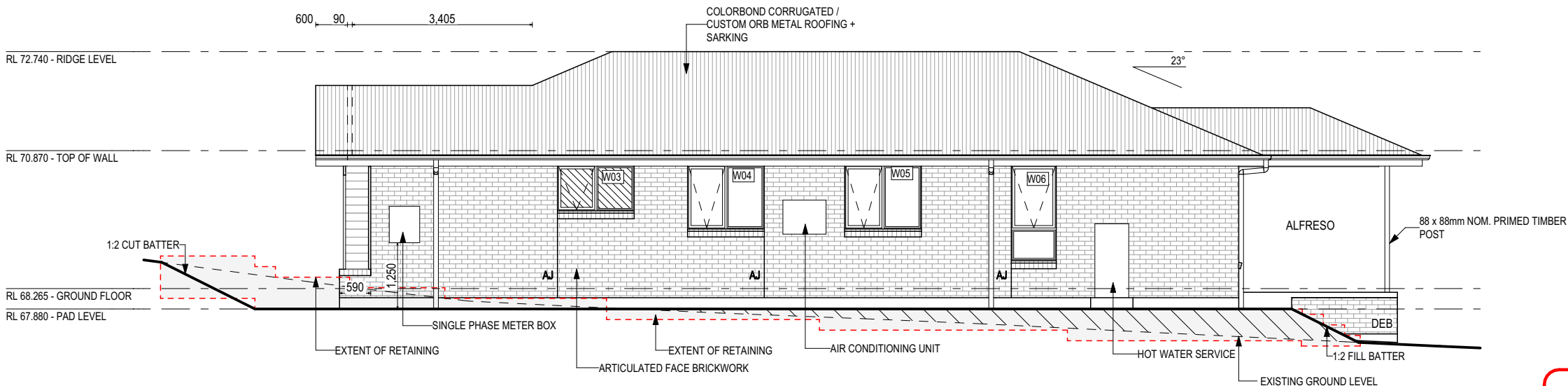
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Template Version: 24-043

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WEST ELEVATION
SCALE: 1:100



EAST ELEVATION
SCALE: 1:100

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

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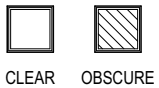
BEDROOM WINDOW OPENINGS ABOVE 2m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

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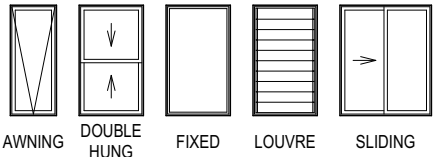
REFER TO THE FOLLOWING DETAILS:
BRICK COURSING **W-BRIC-001**

**SUBJECT TO NCC 2022
(1 MAY 2023)**
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
LIVABLE HOUSING

GLASS TYPE LEGEND



WINDOW TYPE LEGEND



PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

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					9 / - / 185626	SOUTHERN MIDLANDS	ELEVATIONS	6 / 20	1:100	714865		

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EXTERIOR WINDOW & DOOR SCHEDULE ^{1,2} ASSUME LOOKING FROM OUTSIDE																
RECEIVED STOREY	ID	CODE¹	TYPE	ROOM	HEIGHT	WIDTH	PERIMETER	AREA (m²)	FRAME TYPE	BAL RATING	SILL TYPE	ORIENT.	GLAZING AREA (m²)	GLAZING TYPE (SINGLE GLAZING U.N.O.)	ADDITIONAL INFORMATION²	
WINDOW																
GROUND FLOOR	W01	AF1815	AWNING	BED 4	1,800	1,450	6,500	2.61	ALUMINIUM	BAL-LOW	NONE	S	2.13	CLEAR, DOUBLE GLAZED	MP 725	
GROUND FLOOR	W02	AFA1821	AWNING	BED 1	1,800	2,050	7,700	3.69	ALUMINIUM	BAL-LOW	NONE	S	2.92	CLEAR, DOUBLE GLAZED	MP 683-683	
GROUND FLOOR	W03	AF0915	AWNING	ENS	857	1,450	4,614	1.24	ALUMINIUM	BAL-LOW	ANGLED	E	0.95	OBSCURE, DOUBLE GLAZED, TOUGHENED	MP 725	
GROUND FLOOR	W04	AF1215	AWNING	BED 2	1,200	1,450	5,300	1.74	ALUMINIUM	BAL-LOW	ANGLED	E	1.38	CLEAR, DOUBLE GLAZED	MP 725	
GROUND FLOOR	W05	AF1215	AWNING	BED 3	1,200	1,450	5,300	1.74	ALUMINIUM	BAL-LOW	ANGLED	E	1.38	CLEAR, DOUBLE GLAZED	MP 725	
GROUND FLOOR	W06	A/F1809	AWNING	HALL 2	1,800	850	5,300	1.53	ALUMINIUM	BAL-LOW	ANGLED	E	1.19	CLEAR, DOUBLE GLAZED	BP 600	
GROUND FLOOR	W07	A/F1806	AWNING	KITCHEN	1,800	610	4,820	1.10	ALUMINIUM	BAL-LOW	ANGLED	N	0.80	CLEAR, DOUBLE GLAZED	BP 600	
GROUND FLOOR	W08	AFA1821	AWNING	DINING	1,800	2,050	7,700	3.69	ALUMINIUM	BAL-LOW	ANGLED	W	2.92	CLEAR, DOUBLE GLAZED	MP 683-683	
GROUND FLOOR	W09	AF1215	AWNING	BATH	1,200	1,450	5,300	1.74	ALUMINIUM	BAL-LOW	ANGLED	W	1.38	OBSCURE, DOUBLE GLAZED, TOUGHENED	MP 725	
GROUND FLOOR	W10	AF1215	AWNING	LEISURE	1,200	1,450	5,300	1.74	ALUMINIUM	BAL-LOW	ANGLED	W	1.38	CLEAR, DOUBLE GLAZED	MP 725	
							57,834 mm	20.82					16.42			
DOOR																
GROUND FLOOR	D01	HD2110L	SWINGING	ENTRY	2,100	970	6,140	2.04	ALUMINIUM	BAL-LOW	SNAP HEADER	S	1.41	N/A		
GROUND FLOOR	D02	FS2115	SLIDING	LDRY	2,100	1,450	7,100	3.05	ALUMINIUM	BAL-LOW	SNAP HEADER	N	2.59	CLEAR, DOUBLE GLAZED, TOUGHENED		
GROUND FLOOR	D03	SF2121	SLIDING	DINING	2,100	2,050	8,300	4.31	ALUMINIUM	BAL-LOW	SNAP HEADER	N	3.79	CLEAR, DOUBLE GLAZED, TOUGHENED		
							21,540 mm	9.39					7.79			
							79,374 mm	30.21					24.21			

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Window Manufacturer: Dowell Windows			
No BAL / BAL 12.5 Window Type Sliding Window Awning Window Fixed External Window Sliding Door Stacking Door Hinged Door Bi-Fold Door	WERS Code	U Value	SHGC
	DOW-022-003	2.9	0.64
	DOW-005-001	3.9	0.58
	DOW-038-001	3.03	0.71
	DAR-034-001	3.97	0.63
	DAR-034-001	3.97	0.63
	DOW-017-001	4.1	0.55
	DOW-020-001	4.1	0.54
BAL 19 Window Type Sliding Window Awning Window Fixed External Window Sliding Door Stacking Door Hinged Door Bi-Fold Door	WERS Code	U Value	SHGC
	TND-034-001	3.1	0.61
	STG-001-066	3.91	0.54
	DOW-038-005	3.02	0.66
	AUW-009-009	4.03	0.58
	AUW-009-009	4.03	0.58
	GRN-009-001	4.25	0.53
	DOW-020-001	4.1	0.54
BAL 29 Window Type Sliding Window Awning Window Fixed External Window Sliding Door Stacking Door Hinged Door	WERS Code	U Value	SHGC
	TND-034-001	3.1	0.61
	STG-001-066	3.91	0.54
	DOW-038-005	3.02	0.66
	AMJ-007-005	4.03	0.59
	AMJ-007-005	4.03	0.59
	GRN-009-001	4.29	0.53

NOTE:

Windows supplied MUST HAVE Uw better and or equal to stated figures and SHGC within +/- 5% of stated figures. Restricted windows to have their openability restricted as per N.C.C 11.3.6.

PICTURE, TV RECESS AND SS WINDOW OPENINGS				
QTY	TYPE	HEIGHT	WIDTH	AREA (m²)

INTERIOR WINDOW & DOOR SCHEDULE							
STOREY	QTY	CODE	TYPE	HEIGHT	WIDTH	GLAZING TYPE	ADDITIONAL INFORMATION
DOOR							
GROUND FLOOR	1	2 x 620	SWINGING	2,040	1,240	N/A	
GROUND FLOOR	3	2 x SLIDING	SLIDING	2,445	1,500	N/A	
GROUND FLOOR	1	2 x SLIDING	SLIDING	2,445	1,570	N/A	
GROUND FLOOR	1	620	SWINGING	2,040	620	N/A	
GROUND FLOOR	5	870	SWINGING	2,040	870	N/A	
GROUND FLOOR	2	870	SWINGING	2,040	870	N/A	LIFT-OFF HINGES
REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING: - SUSTAINABILITY REQUIREMENTS - SITE CLASSIFICATION - GENERAL BUILDING INFORMATION				NOTE: INTERNAL DOORS TO WET AREAS WITH MECHANICAL VENTILATION TO BE UNDERCUT 20mm			

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NATURAL LIGHT AND VENTILATION						
ROOM	AREA (m2)	WINDOW ID	LIGHT REQUIRED (m2)	LIGHT ACHIEVED (m2)	VENTILATION REQ'D (m2)	VENTILATION ACH'D (m2)
OPEN KITCHEN/ LIVING/ DINING	34.22 m²	W07, W08, D03	3.42 m²	7.51 m²	1.71 m²	4.92 m²
BED 1	10.47 m²	W02	1.05 m²	2.92 m²	0.52 m²	2.26 m²
BED 2	9.67 m²	W04	0.97 m²	1.38 m²	0.48 m²	0.79 m²
BED 3	9.67 m²	W05	0.97 m²	1.38 m²	0.48 m²	0.79 m²
BED 4	9.61 m²	W01	0.96 m²	2.13 m²	0.48 m²	1.21 m²
LEISURE	12.18 m²	W10	1.22 m²	1.38 m²	0.61 m²	0.79 m²

PART 10.5.1 LIGHT: Minimum 10% of the floor area of a habitable room required (natural light)

PART 10.6 VENTILATION: Minimum 5% of the floor area of a habitable room required. (An exhaust fan may be used for sanitary compartment, laundry or bathroom provided contaminated air discharges directly to the outside of the building by way of ducts).

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

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NOT OFTEN REQUIRED. IF NEEDED ADD 20 TO LENGTH.

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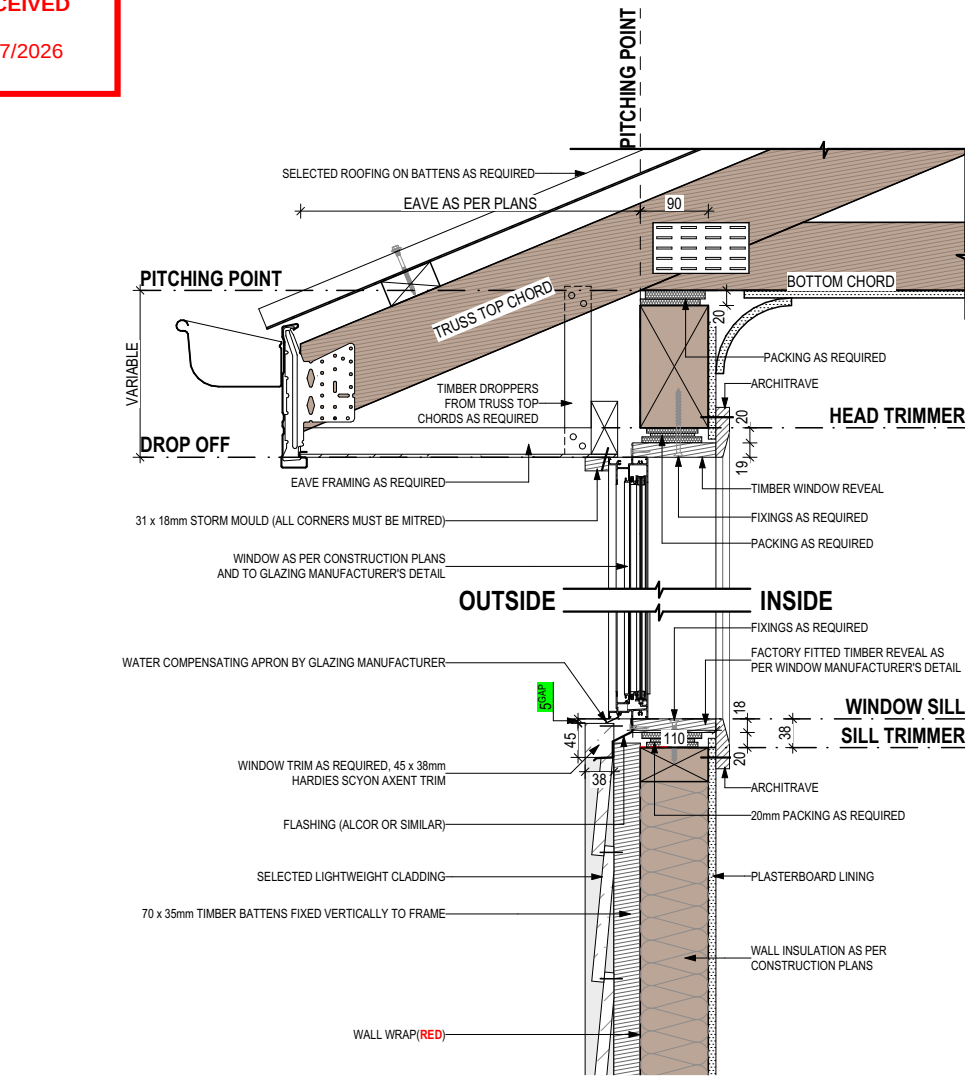
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				SOUTHERN MIDLANDS		SCALES:	714865

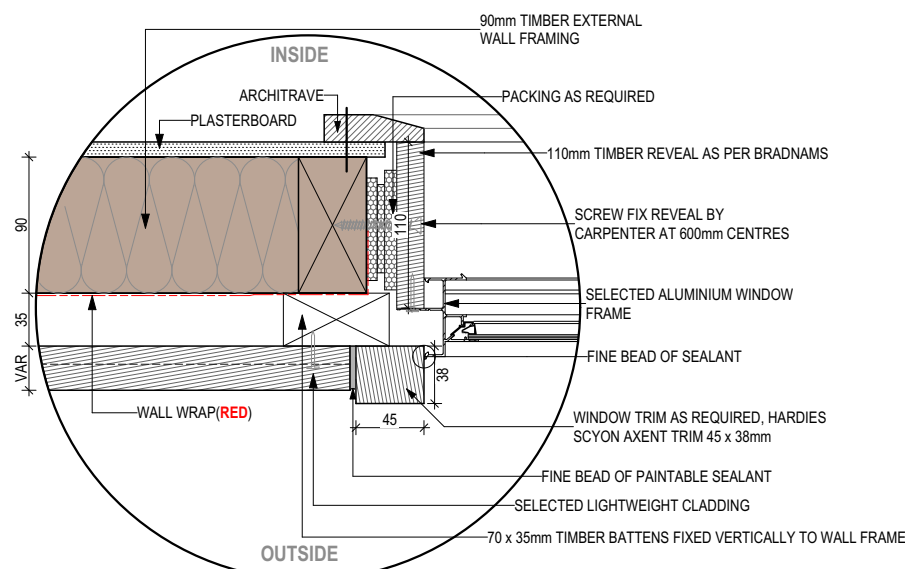
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REFER TO W-CLAD-001 & W-CLAD-002 FOR FULL DETAIL

SHEET CLADDING



SECTIONS
SCALE: 1:10



DETAILS
SCALE: 1:5

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WHERE DOWNPIPES ARE FURTHER THAN 1.2m AWAY FROM VALLEY REFER TO N.C.C. 7.3.5(2)

POSITION AND QUALITY OF DOWNPIPES ARE NOT TO BE ALTERED WITHOUT CONSULTATION WITH DESIGNER.

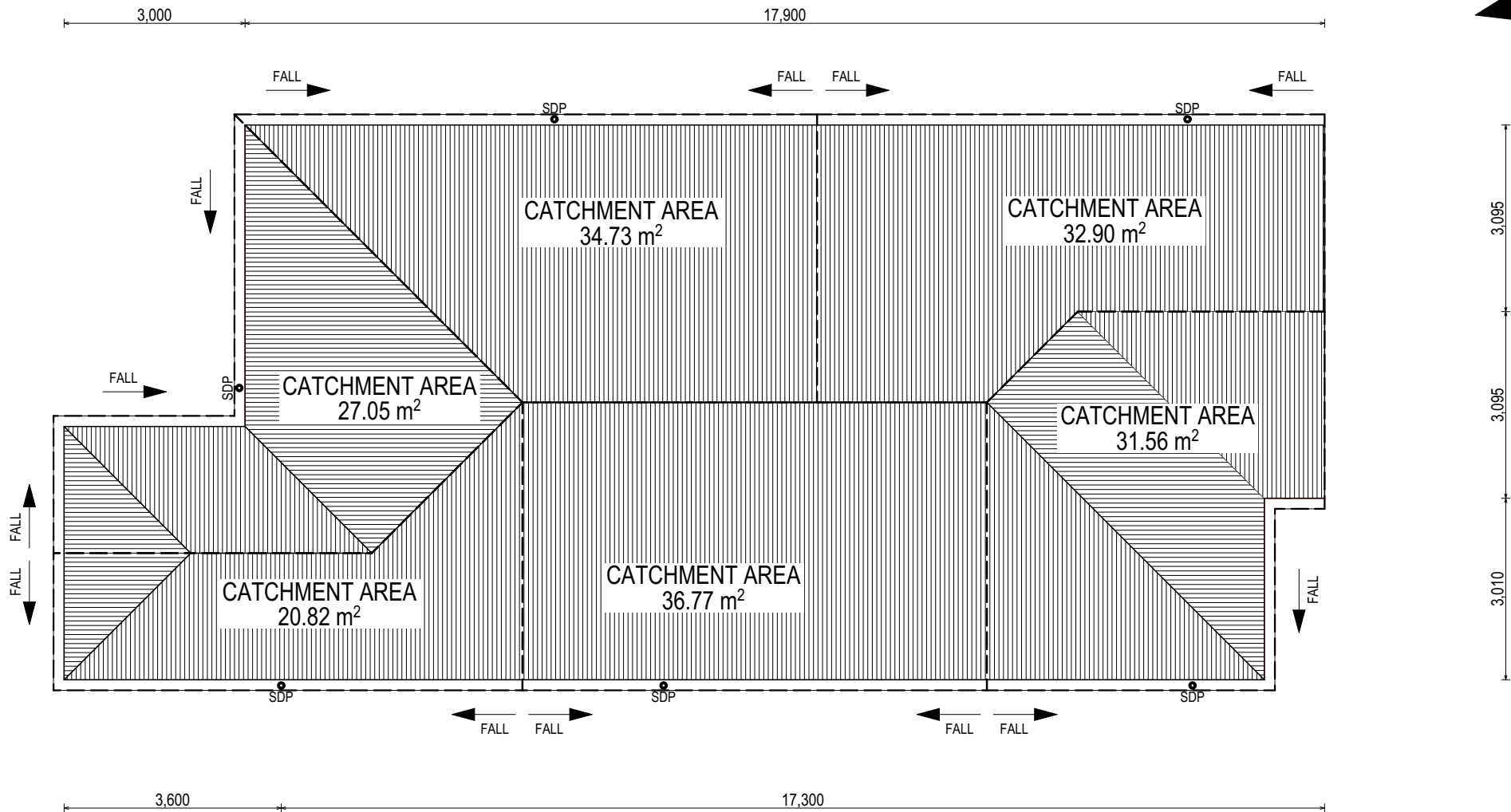
AREA'S SHOWN ARE SURFACE AREAS/ CATCHMENT AREAS, NOT PLAN AREAS

Roofing Data		
	174.27	Flat Roof Area (excluding gutter and slope factor) (m ²)
	189.32	Roof Surface Area (includes slope factor, excludes gutter) (m ²)
Downpipe roof calculations (as per AS/NZA3500.3:2021)		
Ah	183.83	Area of roof catchment (including 115mm Slotted Quad Gutter) (m ²)
Ac	222.43	Ah x Catchment Area Multiplier for slope (Table 3.4.3.2 from AS/NZS 3500.3:2021) (1.21 for 23° pitch) (m ²)
Ae	6300	Cross sectional area of 57 x 115 Slotted Quad Gutter (mm ²)
DRI	83	Design Rainfall Intensity (determined from Table E1 from AS/NZS 3500.3:2021)
Acdp	64	Catchment area per Downpipe (determined from Figure 3.5(A) from AS/NZS 3500.3:2021) (m ²)
Required Downpipes	3.48	Ac / Acdp
Downpipes Provided	6	

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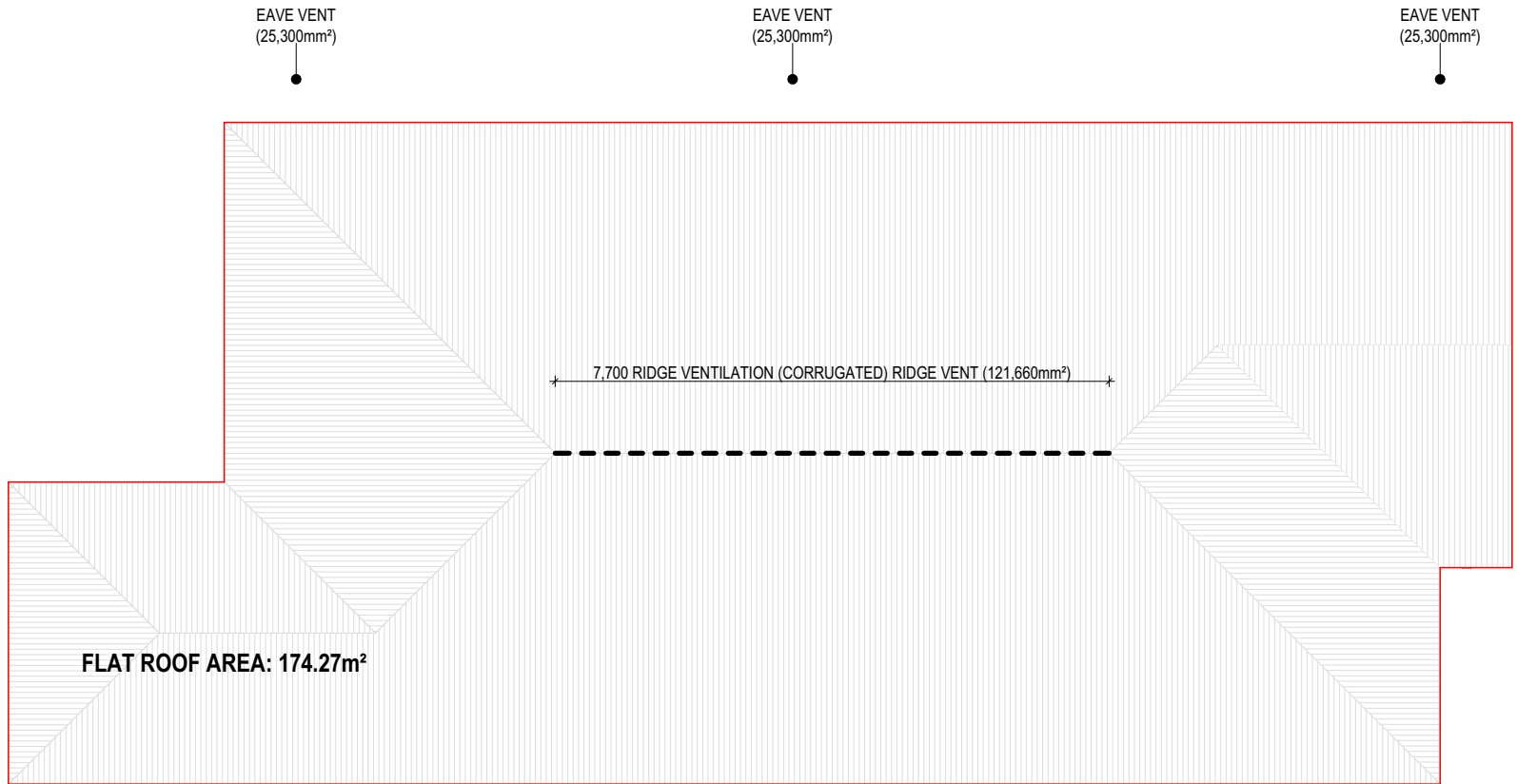
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EAVE VENT (25,300mm²)

EAVE VENT (25,300mm²)

EAVE VENT (25,300mm²)

EAVE VENT (25,300mm²)

EAVE VENT (25,300mm²)

EAVE VENT (25,300mm²)

GROUND FLOOR 23° ROOF (ID 1)

ROOF LENGTH: 20.900m

ROOF PITCH: 23.0°

CEILING: FLAT

HIGH LEVEL VENTILATION REQUIRED: 104,495mm²

LOW LEVEL VENTILATION REQUIRED: 146,293mm²

ROOF SPACE VENTILATION			
REFER TO ROOF PLAN FOR VENTILATION LOCATIONS			
GROUND FLOOR 23Å° ROOF			
LONGEST HORIZONTAL ROOF LENGTH		20.900m	
ROOF PITCH		23.00°	
HIGH LEVEL VENTILATION	REQUIRED	104,495mm² (5,000 x 20.900m)	
	PROVIDED	121,660mm²	
LOW LEVEL VENTILATION	REQUIRED	146,293mm² (7,000 x 20.900m)	
	PROVIDED	151,800mm²	
NO OF EAVE VENTS	REQUIRED	5.78	
	PROVIDED	6	

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- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

8/07/2026

FLOOR TILES SHOWN ON PLAN DO NOT INDICATE THE SIZE OR JOIN LOCATIONS OF THE ACTUAL FLOOR TILES.

TIMBER FLOORING SHOWN ON PLAN DOES NOT INDICATE THE BOARD SIZE OR DIRECTION OF THE ACTUAL FLOORING.

COVERINGS LEGEND

NO COVERING

COVER GRADE CONCRETE

CARPET

LAMINATE

TILE (STANDARD WET AREAS)

TILE (UPGRADED AREAS)

DECKING



SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
LIVABLE HOUSING

PLAN ACCEPTANCE BY OWNER

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SIGNATURE:	DATE:

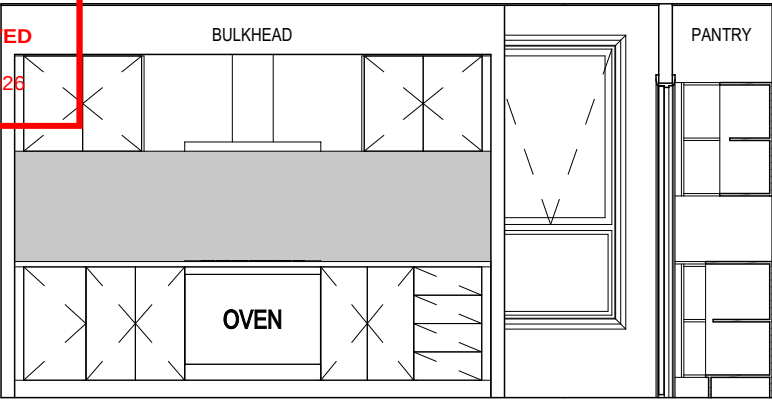
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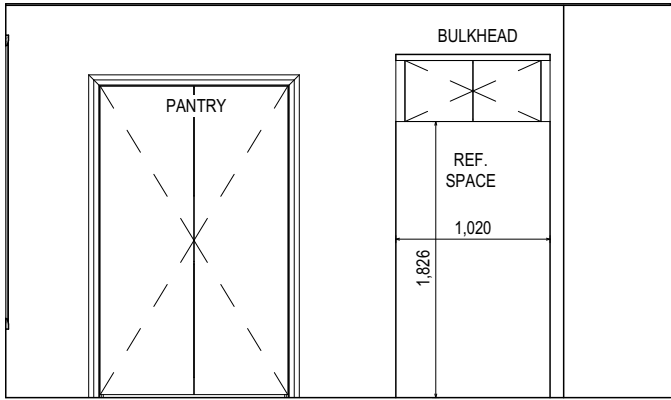
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						LOT / SECTION / CT:	COUNCIL:	SHEET TITLE:	SHEET No.:	SCALES:		
						9 / - / 185626	SOUTHERN MIDLANDS	FLOOR COVERINGS	13 / 20	1:100		
											714865	

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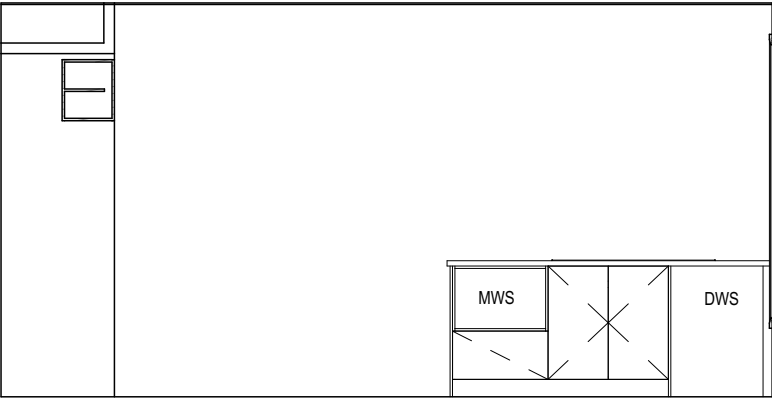
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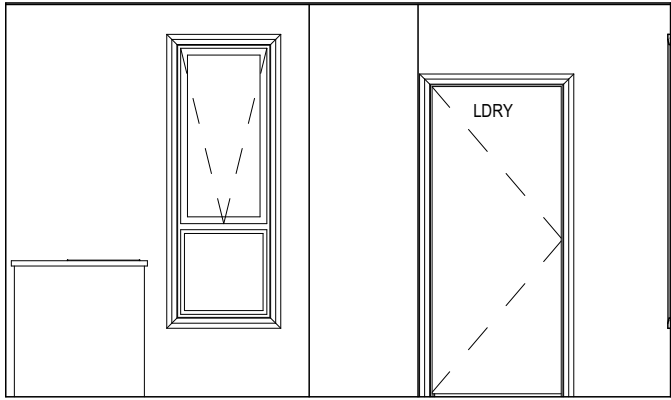
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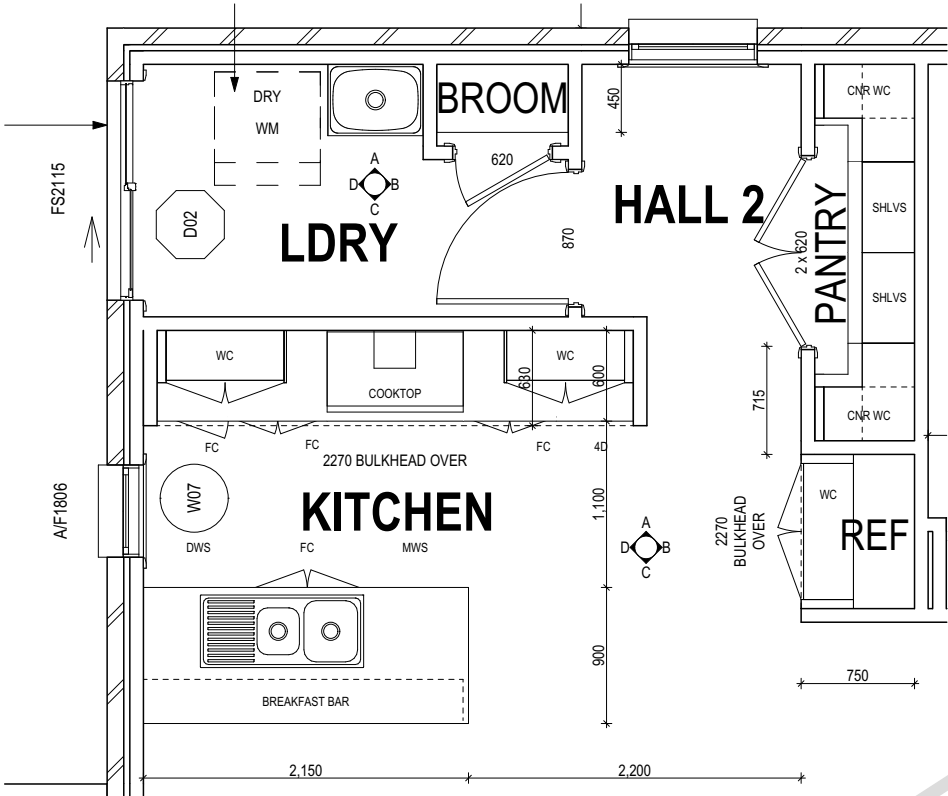
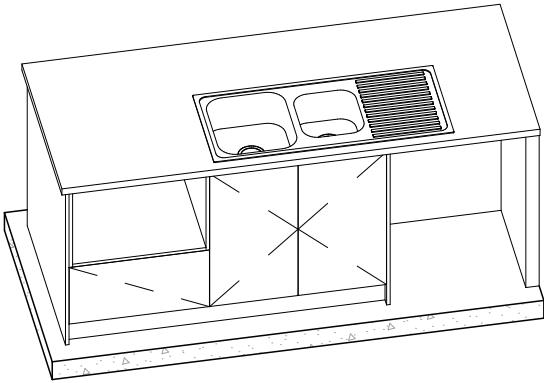
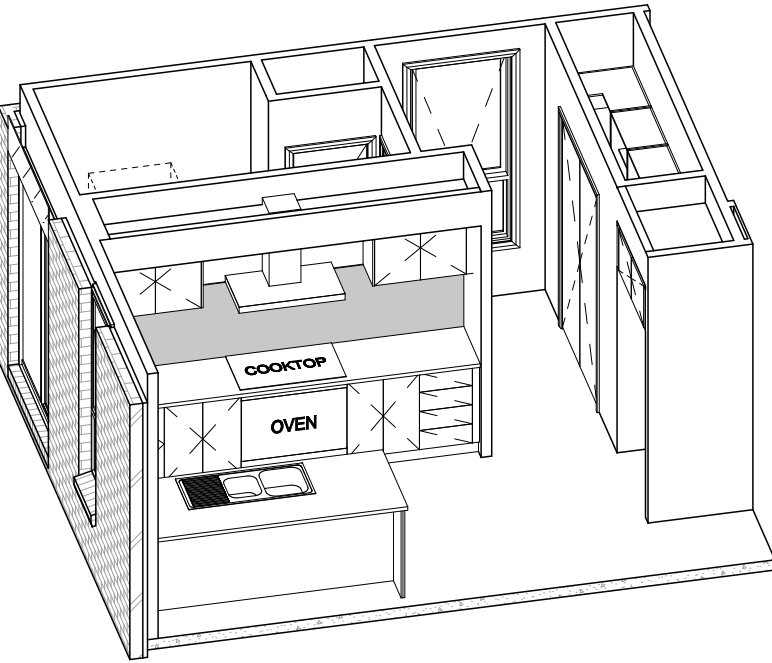
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ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50



KITCHEN PLAN
SCALE: 1:50

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

DETAILS DEPICTED ON THIS SHEET ARE A REPRESENTATION ONLY. JOINER MAY ADJUST CABINETRY AS REQUIRED.

**SUBJECT TO NCC 2022
(1 MAY 2023)**
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
LIVABLE HOUSING

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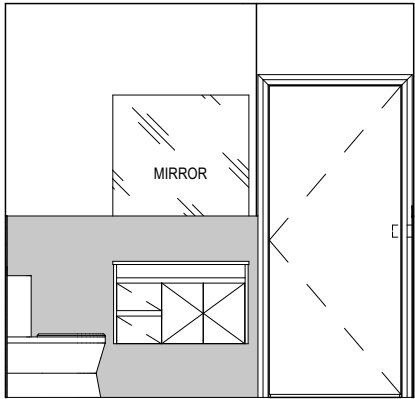
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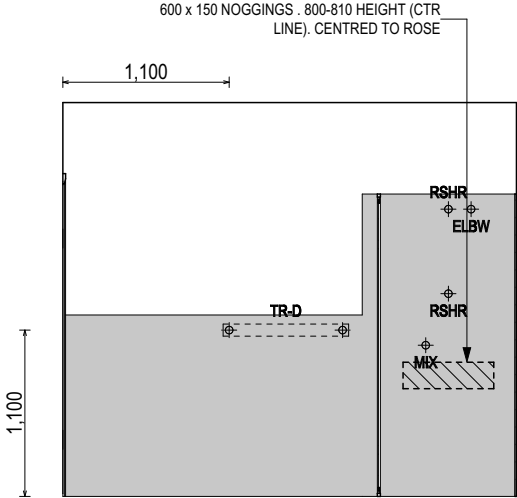
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				LOT / SECTION / CT:	SHEET TITLE:	SHEET No.:		
				9 / - / 185626	COUNCIL:	SCALES:		
				SOUTHERN MIDLANDS	KITCHEN DETAILS	14 / 20	1:50	714865

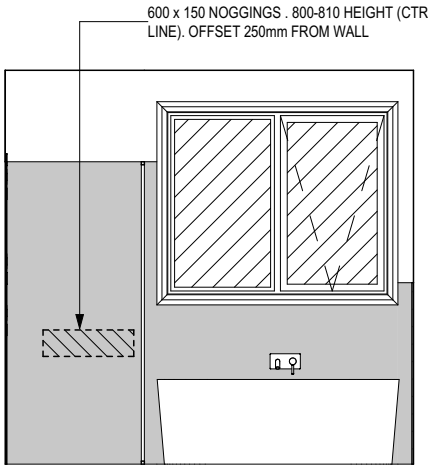
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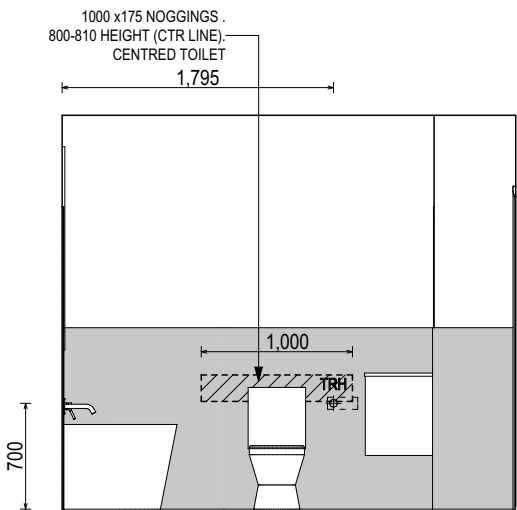
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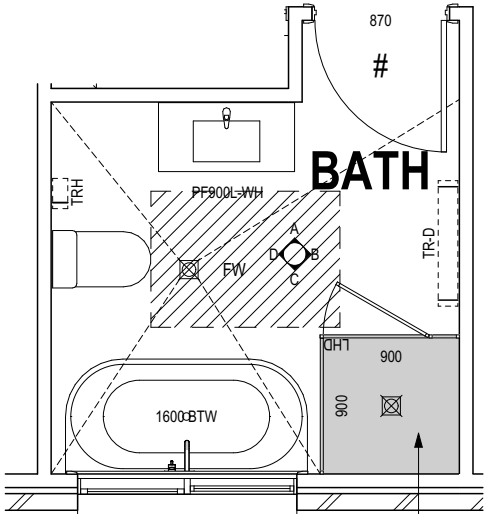
ELEVATION B
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50



AF1215

W09

THRESHOLD OF ACCESSIBLE SHOWER
ENTRY TO BE MAX. 5MM. REFER TO
BATHROOM DETAILS FOR LHA
NOGGING LOCATIONS

BATHROOM PLAN
SCALE: 1:50

REFER TO THE FOLLOWING DETAILS:
VANITY DETAILS G-VANI-001
WINDOW OVER BATH HOB D-WIND-ALU001
STANDARD BATH HOB D-WETA-BATH003
WET AREA TILING LAYOUTS D-WETA-TILE002
SQUARE SET WINDOWS G-WIND-SSET02
FULL HEIGHT TILING D-LINI-WETA

REFER TO SHEET 1 (COVER SHEET) FOR
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- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

DETAILS DEPICTED ON THIS SHEET ARE A
REPRESENTATION ONLY

LEGEND

- RSHR RAIL SHOWER
- ROSE SHOWER ROSE
- ELBW SHOWER ELBOW CONNECTION
- MIX MIXER TAP
- HT HOT TAP
- CT COLD TAP
- HS HOB SPOUT
- WS WALL SPOUT
- SC STOP COCK
- TRH TOILET ROLL HOLDER
- TR-S TOWEL RAIL - SINGLE
- TR-D TOWEL RAIL - DOUBLE
- TL TOWEL LADDER
- TH TOWEL HOLDER
- TR TOWEL RACK
- TMB TUMBLER HOLDER
- RNG TOWEL RING
- RH ROBE HOOK
- SHLF SHELF
- SR SHAMPOO RECESS
- SOAP SOAP HOLDER

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
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							LOT / SECTION / CT: 9 / - / 185626		COUNCIL: SOUTHERN MIDLANDS		SHEET TITLE: BATHROOM DETAILS		SHEET No.: 15 / 20		SCALES: 1:50

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REFER TO THE FOLLOWING DETAILS:

VANITY DETAILS G-VANI-001

WINDOW OVER BATH HOB D-WIND-ALU001

STANDARD BATH HOB D-WETA-BATH003

WET AREA TILING LAYOUTS D-WETA-TILE002

SQUARE SET WINDOWS G-WIND-SSET02

FULL HEIGHT TILING D-LINI-WETA

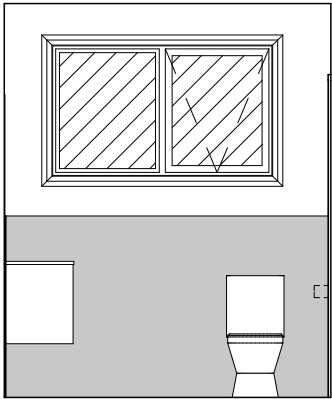
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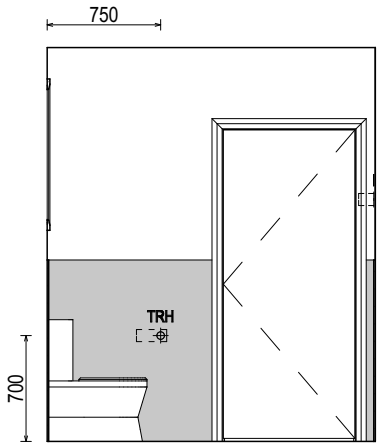
LEGEND

- RSHR RAIL SHOWER
- ROSE SHOWER ROSE
- ELBW SHOWER ELBOW CONNECTION
- MIX MIXER TAP
- HT HOT TAP
- CT COLD TAP
- HS HOB SPOUT
- WS WALL SPOUT
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- TR TOWEL RACK
- TMB TUMBLER HOLDER
- RNG TOWEL RING
- RH ROBE HOOK
- SHLF SHELF
- SR SHAMPOO RECESS
- SOAP SOAP HOLDER



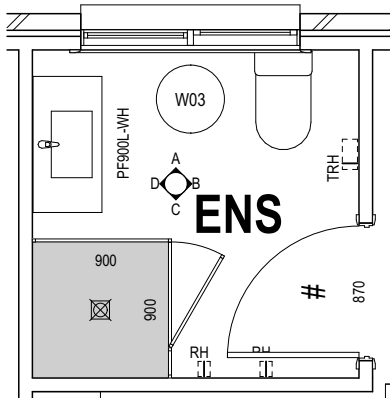
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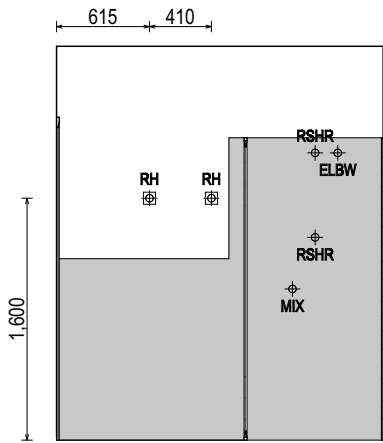
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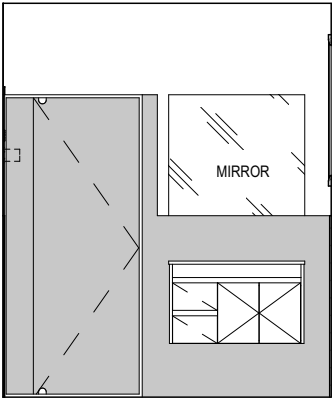
ENSUITE PLAN

SCALE: 1:50



ELEVATION C

SCALE: 1:50



ELEVATION D

SCALE: 1:50

SUBJECT TO NCC 2022

(1 MAY 2023)

WATERPROOFING & PLUMBING

CONDENSATION MANAGEMENT

LIVABLE HOUSING

PLAN ACCEPTANCE BY OWNER

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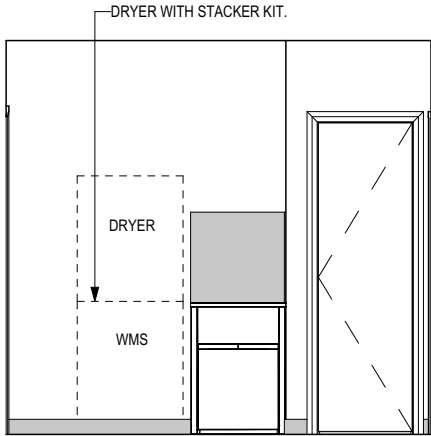
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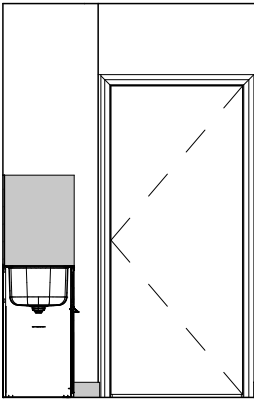
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PROVIDE ADDITIONAL NOGGING TO LAUNDRY FOR FIXING OF WALL MOUNTED CLOTHES DRYER AS PER D-FRAM-ELEC006



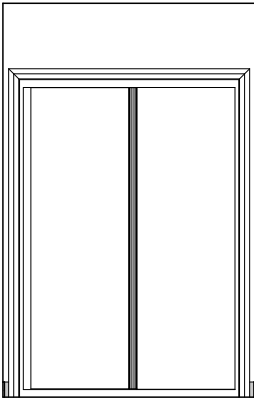
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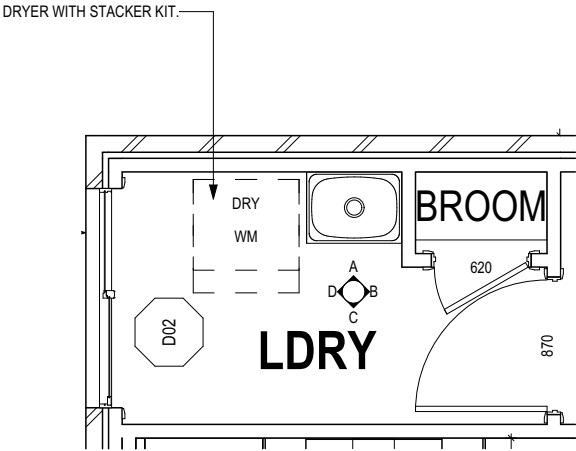
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ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50



LAUNDRY PLAN
SCALE: 1:50

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(1 MAY 2023)**
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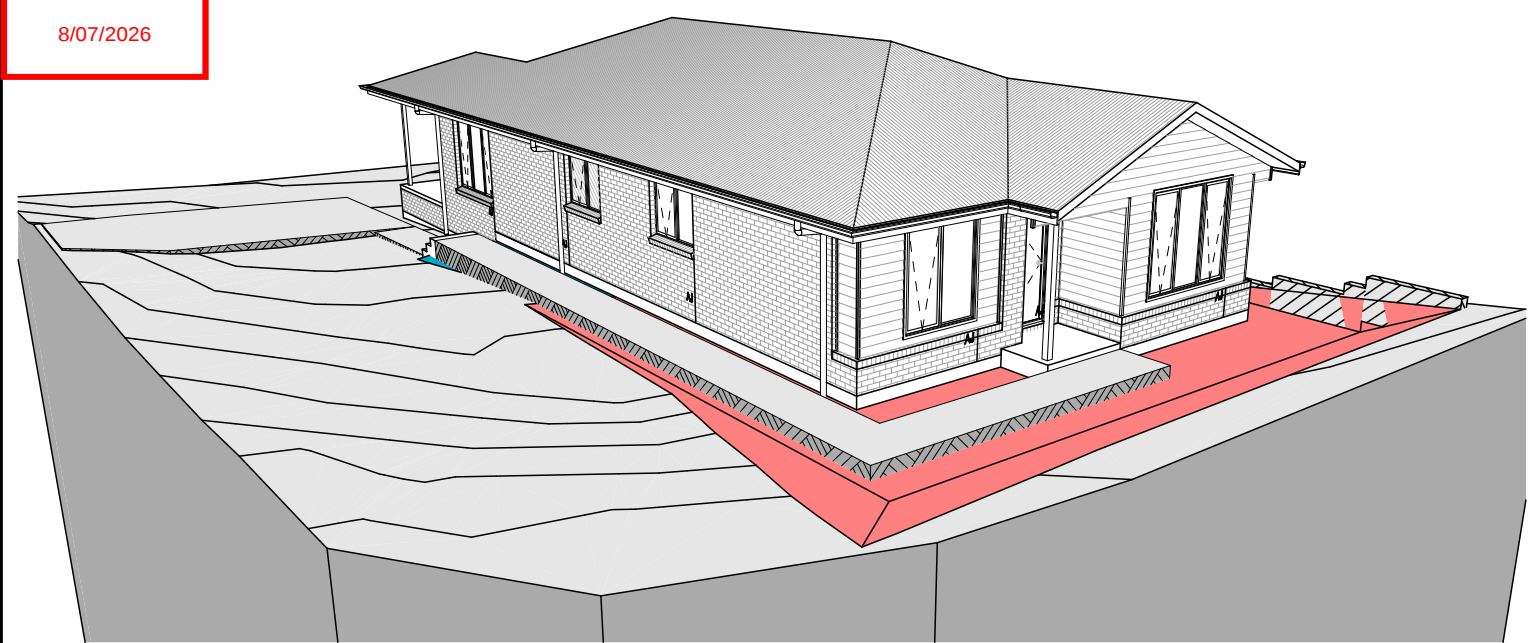
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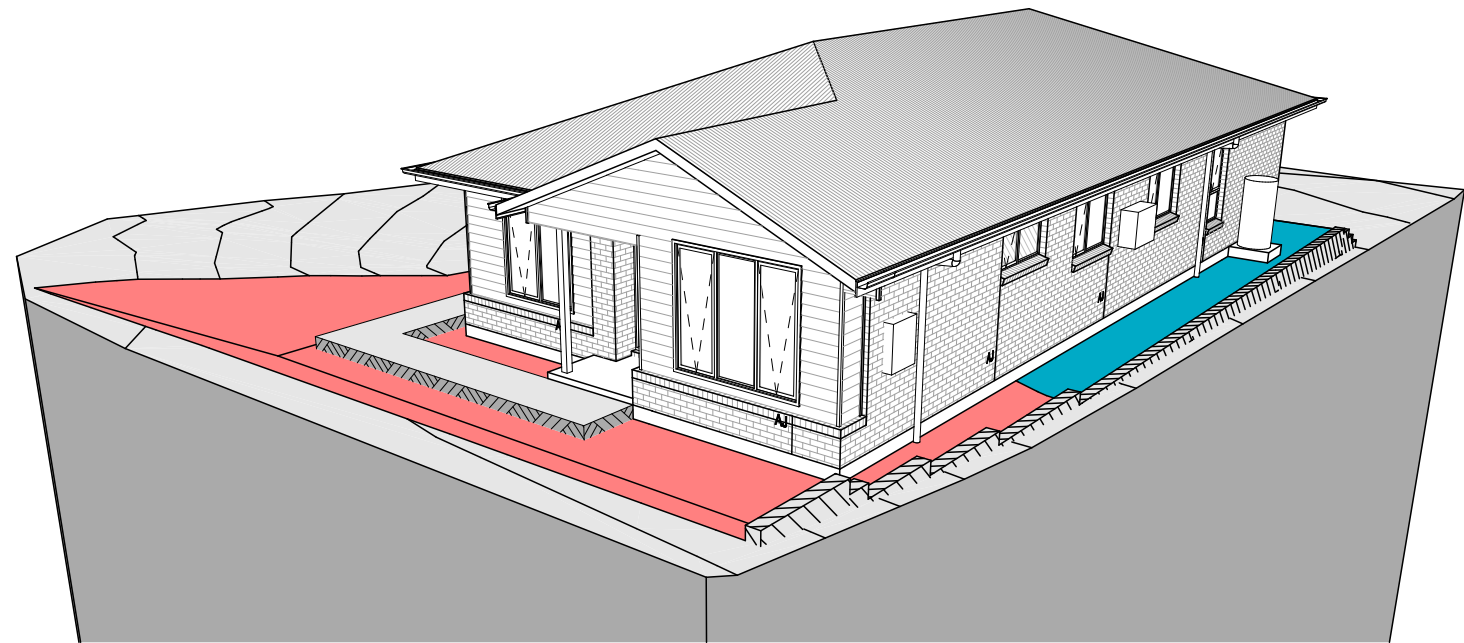
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							LOT / SECTION / CT:	COUNCIL:	SHEET TITLE:	SHEET No.:	SCALES:		
						9 / - / 185626	SOUTHERN MIDLANDS	LAUNDRY DETAILS		17 / 20	1:50		

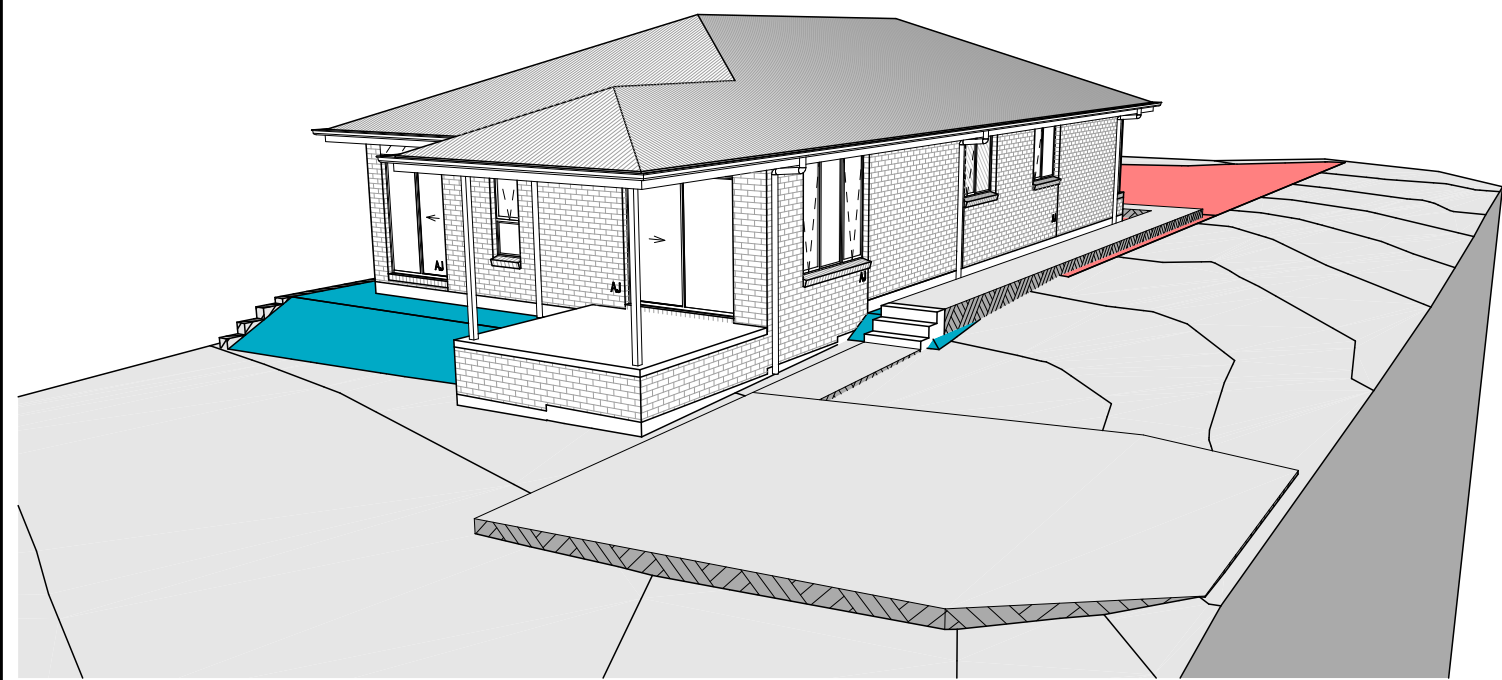
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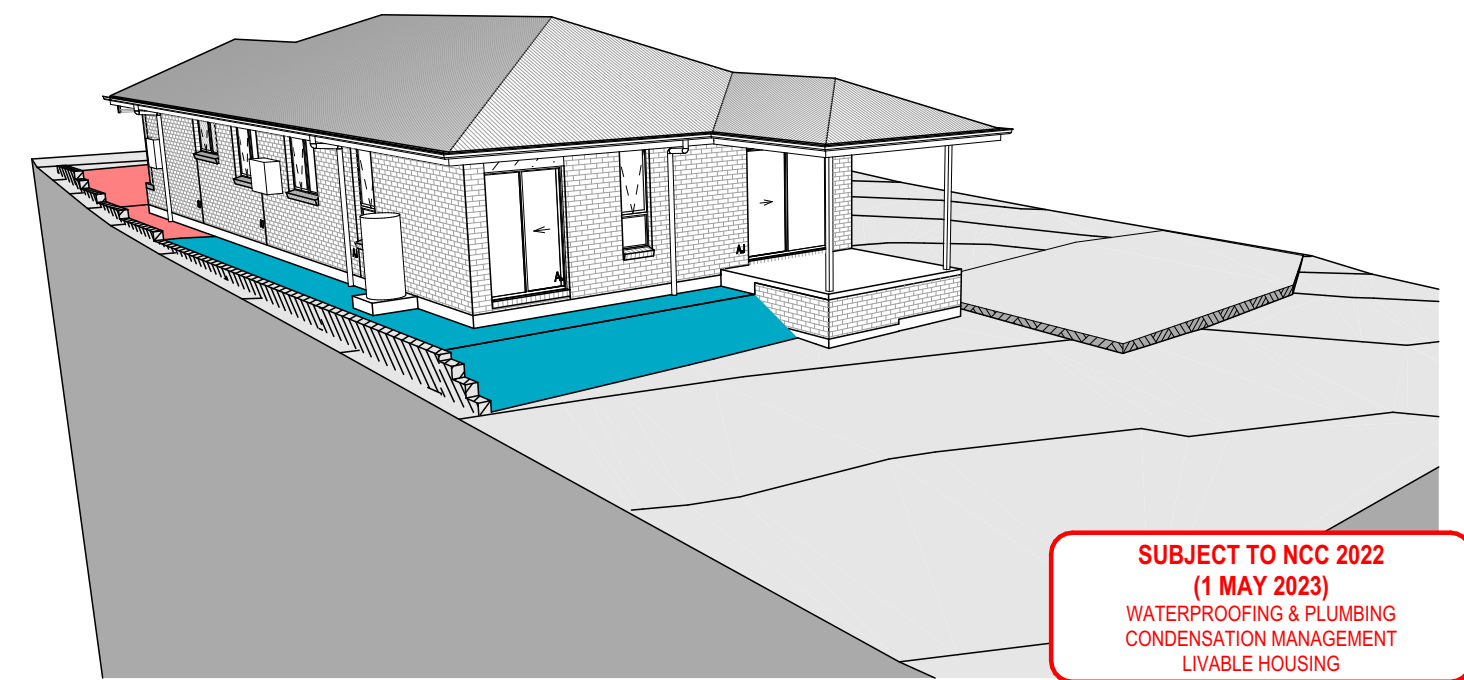
FRONT LEFT



FRONT RIGHT



REAR LEFT



REAR RIGHT

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
LIVABLE HOUSING

PLAN ACCEPTANCE BY OWNER

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SIGNATURE:DATE:

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							LOT / SECTION / CT:		COUNCIL:		SHEET TITLE:		SHEET No.:		SCALES:		
							9 / - / 185626		SOUTHERN MIDLANDS		3D VIEWS		18 / 20		714865		

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- BUILDER TO VERIFY PRIOR TO COMMENT
- ALL WORK TO BE C

- GENERAL**
- BUILDERS TO VERIFY ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO COMMENCEMENT OF WORK
 - ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE (NCC)
 - INTERNAL DIMENSIONS ARE TO WALL FRAMING ONLY AND DO NOT INCLUDE WALL LININGS

SITE WORKS

- CUT AND FILL BATTERS ARE INDICATIVE ONLY. BATTER TO COMPLY WITH THE NCC TABLE 3.2.1
- ALL CUTS AND FFL'S SHOWN (DA DRAWINGS) ARE SUBJECT TO ENGINEERING ADVICE ONCE A SATISFACTORY SOIL TEST HAS BEEN RECEIVED AND REVIEWED
- ALL EMBANKMENTS THAT ARE LEFT EXPOSED MUST BE STABILISED WITH VEGETATION OR SIMILAR TO PREVENT EROSION
- EMBANKMENTS CANNOT EXCEED 2.0m IN HEIGHT WITHOUT THE AID OF RETAINING WALLS OR OTHER APPROVED TYPES OF SOIL RETAINING METHODS
- ALL UNPROTECTED EMBANKMENTS MUST COMPLY WITH THE SLOPE RATIOS FOR SOIL TYPE IN TABLE 3.2.1 OF THE NCC

SOIL TYPE / CLASSIFICATION	EMBANKMENT OF SLOPE	
	COMPACTED FILL	CUT
STABLE ROCK (A)	3 : 3	8 : 1
SAND (A)	1 : 2	1 : 2
SILT (P)	1 : 4	1 : 4
FIRM CLAY	1 : 2	1 : 1
SOFT CLAY	NOT SUITABLE	2 : 3
SOFT SOILS (P)	NOT SUITABLE	NOT SUITABLE

MASONRY

- ALL MASONRY TO BE CONSTRUCTED IN ACCORDANCE WITH AS3700
- EXTERNAL WALLS TO BE 110mm BRICKWORK UNLESS NOTED OTHERWISE
- MORTAR MIXED @ 1:1:6 CEMENT:LIME:SAND UNLESS STATED OTHERWISE BY ENGINEER
- DAMP-PROOF COURSE IN ALL PERIMETER WALLS CUT INTO EXTERNAL WALLS BELOW FLOOR LEVEL WITH WEEP HOLES @ 1200 CTRS IN ACCORDANCE WITH AS2904
- VERTICAL ARTICULATION JOINTS TO BE PROVIDED @ 6m MAX. CTRS FOR UNREINFORCED MASONARY WALLS EXCEPT WHERE BUILT ON CLASS A OR S SOIL AND SPACED AS PER AS3700 SECTION 12.6.4. WILSON HOMES REQUEST THAT @ 5M CTRS.
- WHERE NECESSARY, STEEL LINTELS ARE TO BE PROVIDED IN ACCORDANCE WITH AS4100 AND AS3700a

SMC - KEMPTON

- RECEIVED**

 - BUILDER TO VERIFY ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO COMMENCEMENT OF WORK
8/07/2026
 - ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE (NCC)
 - INTERNAL DIMENSIONS ARE TO WALL FRAMING ONLY AND DO NOT INCLUDE WALL LININGS

SITE WORKS

 - CUT AND FILL BATTERS ARE INDICATIVE ONLY. BATTER TO COMPLY WITH THE NCC TABLE 3.2.1
 - ALL CUTS AND FILL SHOWN (ON DRAWINGS) ARE SUBJECT TO ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE CURRENT NCC
 - ALL TIMBER FRAMING TO BE CARRIED OUT IN ACCORDANCE WITH AS1684
 - MGP10 PINE FRAMING OR F17 SOLID AND FINGER JOINED FRAMING TO ALL STRUCTURAL COMPONENTS. 90 x 35mm FRAMING TO INTERNAL AND EXTERNAL WALLS. TIMBER COMPOSITE ENGINEERED ROOF TRUSSES WITH HARDWOOD AND MGP COMPONENTS
 - GALVANISED WALL TIES TO MASONRY @ 450 CTRS HORIZONTALLY AND 600 CTRS VERTICALLY, WITH SPACING REDUCED BY 50% AROUND OPENINGS

ENGINEERING ADVICE ONCE A SATISFACTORY SOIL TEST HAS
BEEN RECEIVED AND REVIEWED

- ALL EMBANKMENTS THAT ARE LEFT EXPOSED MUST BE STABILISED WITH VEGETATION OR SIMILAR TO PREVENT EROSION
 - EMBANKMENTS CANNOT EXCEED 2.0m IN HEIGHT WITHOUT THE AID OF RETAINING WALLS OR OTHER APPROVED TYPES OF SOIL RETAINING METHODS
 - ALL UNPROTECTED EMBANKMENTS MUST COMPLY WITH THE SLOPE RATIOS FOR SOIL TYPE IN TABLE 3.2.1 OF THE NCC

SOIL TYPE / CLASSIFICATION	EMBANKMENT OF SLOPE	
	COMPACTED FILL	CUT

 - WALL BRACING AS PER AS1684-2 2021 AND AS1170 WIND LOADS
 - WALL BRACING AS SHOWN ON PLAN IS A MINIMUM ONLY. BUILDER TO PROVIDE ADDITIONAL BRACING TO SUIT THE CONSTRUCTION OF WALL FRAMES IN ACCORDANCE WITH GOOD BUILDING PRACTICE.
 - PLYWOOD BRACING IN ACCORDANCE WITH AS1684 TABLE 8.18 (H) METHOD B. 900 WIDE SHEET PLY BRACING PANELS (6mm THICK F11 OR 4mm THICK F14) TO BE FIXED TO STUD FRAME WITH 2.8mm DIA x 30mm LONG MIN. FLAT HEAD NAILS.
 - 65 x 19mm HW DIAGONAL TIMBER BRACING CHECKED INTO STUDS AND FIXED IN ACCORDANCE WITH AS1684

STABLE ROCK (A)	3:3	8:1	TIMBER LINTELS FOR SINGLE (OR UPPER STORY) TO BE F17 HARDWOOD AS FOLLOWS:
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SAND (A)	1:2	1:2	0 - 1500	120 x 35
			1500 - 2400	140 x 35
			2400 - 2700	190 x 35

			TIEDOWN AND FIXING CONNECTIONS TO COMPLY WITH AS1684
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SOFT CLAY	NOT SUITABLE	2:3	STEEL LINTELS FOR SINGLE (OR UPPER STOREY) TO BE AS FOLLOWS:

SOFT SOILS (P)	NOT SUITABLE	NOT SUITABLE	0 - 2700	90 x 90 x 6 EA
			2700 - 3200	100 x 100 x 8 EA
			3200 - 4000	150 x 90 x 8 EA

MASONRY **LINTELS REQUIRE 150mm BEARING EITHER SIDE OF OPENING*

ALL LINTEL SIZES SHOWN ARE SUBJECT TO ENGINEERS DETAILS

- EXTERNAL WALLS TO BE 110mm BRICKWORK UNLESS NOTED OTHERWISE

- MORTAR MIXED @ 1:1:6 CEMENT:LIME:SAND UNLESS STATED OTHERWISE BY ENGINEER
 - DAMP-PROOF COURSE IN ALL PERIMETER WALLS CUT INTO EXTERNAL WALLS BELOW FLOOR LEVEL WITH WEEP HOLES @ 1200 CTRS IN ACCORDANCE WITH AS2904
 - VERTICAL ARTICULATION JOINTS TO BE PROVIDED @ 6m MAX. CTRS FOR UNREINFORCED MASONARY WALLS EXCEPT WHERE BUILT ON CLASS A OR S SOIL AND SPACED AS PER AS3700 SECTION 12.6.4. WILSON HOMES REQUEST THAT @ 5M CTRS.
 - WHERE NECESSARY, STEEL LINTELS ARE TO BE PROVIDED IN ACCORDANCE WITH AS4100 AND AS3700a
 - CONCRETE FOOTING AND SLABS TO BE IN ACCORDANCE WITH AS2870
 - CONCRETE TO BE MANUFACTURED TO COMPLY WITH AS3600 AND:
 - HAVE A STRENGTH @ 28 DAYS OF NOT LESS THAN 25MPa (N25 GRADE)
 - HAVE A 20mm NOMINAL AGGREGATE SIZE
 - HAVE A NOMINAL 80mm SLUMP
 - CONCRETE SLAB TO BE LAID OVER 0.2mm POLYTHENE MEMBRANE, 50mm WELL BEDDED SAND AND MINIMUM COMPACTED FCR (20mm)
 - SLAB THICKNESS AND REINFORCEMENT TO BE AS PER ENGINEERS DESIGN

SMC - KEMPTON
TIMBER FRAMING

- | | | |
|---|--|--|
| <p>HIDDEN TO</p> <ul style="list-style-type: none"> - BUILDER TO VERIFY ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO COMMENCEMENT OF WORK - 8/07/2026 - ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE (NCC) - INTERNAL DIMENSIONS ARE TO WALL FRAMING ONLY AND DO NOT INCLUDE WALL LININGS | <ul style="list-style-type: none"> - ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE CURRENT NCC - ALL TIMBER FRAMING TO BE CARRIED OUT IN ACCORDANCE WITH AS1684 - MGP10 PINE FRAMING OR F17 SOLID AND FINGER JOINED FRAMING TO ALL STRUCTURAL COMPONENTS. 90 x 35mm FRAMING TO INTERNAL AND EXTERNAL WALLS. TIMBER COMPOSITE ENGINEERED ROOF TRUSSES WITH HARDWOOD AND MGP COMPONENTS - GALVANISED WALL TIES TO MASONRY @ 450 CTRS HORIZONTALLY AND 600 CTRS VERTICALLY, WITH SPACING REDUCED BY 50% AROUND OPENINGS | <ul style="list-style-type: none"> - WINDOWS TO BE ALUMINIUM FRAMED SLIDING UNLESS NOTED OTHERWISE - ALL WINDOWS TO BE FABRICATED AND INSTALLED IN ACCORDANCE WITH AS1288 AND AS2047 TO SPECIFIC WIND SPEED AS PER ENGINEERS REPORT - ALL OPENING WINDOWS TO COMPLY WITH NCC 8 REQUIREMENTS - AS PER NCC 11.3.6 ALL BEDROOM WINDOWS WHERE THE LOWEST OPENABLE PORTION OF THE WINDOW IS WITHIN 1.7m OF FFL AND THE FFL IS 2m OR MORE ABOVE NGL, REQUIRE A PERMANENTLY FIXED DEVICE RESTRICTING ANY OPENINGS OF THE WINDOW OR SCREEN SO THAT A 125mm SPHERE CANNOT PASS THROUGH; AND RESISTING OUTWARDS HORIZONTAL ACTION OF 250N AGAINST THE WINDOW. WHERE THE DEVICE OR SCREEN CAN BE REMOVED, UNLOCKED OR OVER-RIDDEN, THE DEVICE OR SCREEN MUST HAVE A CHILD RESISTANT RELEASE MECHANISM INSTALLED AND BARRIER BELOW THE WINDOW THAT IS 865mm HIGH ABOVE FFL AND RESTRICTS ANY OPENING WITHIN THE BARRIER SO THAT A 125mm SPHERE CANNOT PASS THROUGH, AND HAS NO HORIZONTAL OR NEAR HORIZONTAL ELEMENTS BETWEEN 150mm AND 760mm FROM FFL. - GLAZING INSTALLED IN AREAS WITH HIGH POTENTIAL FOR HUMAN IMPACT TO COMPLY WITH NCC PART 8.4 |
| <p>SITE WORKS</p> <ul style="list-style-type: none"> - CUT AND FILL BATTERS ARE INDICATIVE ONLY. BATTER TO COMPLY WITH THE NCC TABLE 3.2.1 - ALL CUTS AND FFL'S SHOWN (DA DRAWINGS) ARE SUBJECT TO ENGINEERING ADVICE ONCE A SATISFACTORY SOIL TEST HAS BEEN RECEIVED AND REVIEWED - ALL EMBANKMENTS THAT ARE LEFT EXPOSED MUST BE STABILISED WITH VEGETATION OR SIMILAR TO PREVENT EROSION - EMBANKMENTS CANNOT EXCEED 2.0m IN HEIGHT WITHOUT THE AID OF RETAINING WALLS OR OTHER APPROVED TYPES OF SOIL RETAINING METHODS - ALL UNPROTECTED EMBANKMENTS MUST COMPLY WITH THE SLOPE RATIOS FOR SOIL TYPE IN TABLE 3.3.4 OF THE NCC | <p>BRACING / LINTELS</p> <ul style="list-style-type: none"> - WALL BRACING AS PER AS1684-2 2021 AND AS1170 WIND LOADS - WALL BRACING AS SHOWN ON PLAN IS A MINIMUM ONLY. BUILDER TO PROVIDE ADDITIONAL BRACING TO SUIT THE CONSTRUCTION OF WALL FRAMES IN ACCORDANCE WITH GOOD BUILDING PRACTICE. - PLYWOOD BRACING IN ACCORDANCE WITH AS1684 TABLE 8.18 (H) METHOD B. 900 WIDE SHEET PLY BRACING PANELS (6mm | |

		WITH 2.8mm DIA x 30mm LONG MIN. FLAT HEAD NAILS.
	EMBANKMENT OF SLOPE	

- | SOIL TYPE /
CLASSIFICATION | EMBANKMENT OF SLOPE | |
|-------------------------------|---------------------|--------------|
| | COMPACTED FILL | CUT |
| STABLE ROCK (A) | 3 : 3 | 8 : 1 |
| SAND (A) | 1 : 2 | 1 : 2 |
| SILT (P) | 1 : 4 | 1 : 4 |
| FIRM CLAY | 1 : 2 | 1 : 1 |
| SOFT CLAY | NOT SUITABLE | 2 : 3 |
| SOFT SOILS (P) | NOT SUITABLE | NOT SUITABLE |

MASONRY - ALL MASONRY TO BE CONSTRUCTED IN ACCORDANCE WITH AS3700 - EXTERNAL WALLS TO BE 110mm BRICKWORK UNLESS NOTED OTHERWISE - MORTAR MIXED @ 1:1:6 CEMENT:LIME:SAND UNLESS STATED OTHERWISE BY ENGINEER - DAMP-PROOF COURSE IN ALL PERIMETER WALLS CUT INTO EXTERNAL WALLS BELOW FLOOR LEVEL WITH WEEP HOLES @ 1200 CTRS IN ACCORDANCE WITH AS2904 - VERTICAL ARTICULATION JOINTS TO BE PROVIDED @ 6m MAX. CTRS FOR UNREINFORCED MASONARY WALLS EXCEPT WHERE BUILT ON CLASS A OR S SOIL AND SPACED AS PER AS3700 SECTION 12.6.4. WILSON HOMES REQUEST THAT @ 5M CTRS	CONCRETE - CONCRETE FOOTING AND SLABS TO BE IN ACCORDANCE WITH AS2870 - CONCRETE TO BE MANUFACTURED TO COMPLY WITH AS3600 AND: - HAVE A STRENGTH @ 28 DAYS OF NOT LESS THAN 25MPa (N25 GRADE) - HAVE A 20mm NOMINAL AGGREGATE SIZE - HAVE A NOMINAL 80mm SLUMP - CONCRETE SLAB TO BE LAID OVER 0.2mm POLYTHENE MEMBRANE, 50mm WELL BEDDED SAND AND MINIMUM COMPACTED FCR (20mm)
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[SHEATHING](#)
[TIMBER FRAMING](#)
[WINDOWS](#)
[STAIRCASES / BALUSTRADES / HANDRAILS](#)
[CONCRETE](#)

- VERIFY - VERIFY ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO COMMENCEMENT OF WORK	- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE CURRENT NCC	- WINDOWS TO BE ALUMINIUM FRAMED SLIDING UNLESS NOTED OTHERWISE	STAIR TREADS 240mm MIN. - 355mm MAX.	- WH
			STAIR RISERS 115mm MIN. - 190mm MAX.	TH

- | | | | |
|---|---|---|--|
| <ul style="list-style-type: none"> - ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE (NCC) - INTERNAL DIMENSIONS ARE TO WALL FRAMING ONLY AND DO NOT INCLUDE WALL LININGS | <ul style="list-style-type: none"> - ALL TIMBER FRAMING TO BE CARRIED OUT IN ACCORDANCE WITH AS1684 - MGP10 PINE FRAMING OR F17 SOLID AND FINGER JOINED FRAMING TO ALL STRUCTURAL COMPONENTS. 90 x 35mm FRAMING TO INTERNAL AND EXTERNAL WALLS. TIMBER COMPOSITE ENGINEERED ROOF TRUSSES WITH HARDWOOD AND MGP COMPONENTS - GALVANISED WALL TIES TO MASONRY @ 450 CTRS HORIZONTALLY AND 600 CTRS VERTICALLY, WITH SPACING REDUCED BY 50% AROUND OPENINGS | <ul style="list-style-type: none"> - ALL WINDOWS TO BE FABRICATED AND INSTALLED IN ACCORDANCE WITH AS1288 AND AS2047 TO SPECIFIC WIND SPEED AS PER ENGINEERS REPORT - ALL OPENING WINDOWS TO COMPLY WITH NCC 8 REQUIREMENTS - AS PER NCC 11.3.6 ALL BEDROOM WINDOWS WHERE THE LOWEST OPENABLE PORTION OF THE WINDOW IS WITHIN 1.7m OF FFL AND THE FFL IS 2m OR MORE ABOVE NGL, REQUIRE A PERMANANTLY FIXED DEVICE RESTRICTING ANY OPENINGS OF THE WINDOW OR SCREEN SO THAT A 125mm SPHERE CANNOT PASS THROUGH; AND RESISTING OUTWARDS HORIZONTAL ACTION OF 250N AGAINST THE WINDOW. WHERE THE DEVICE OR SCREEN CAN BE REMOVED, UNLOCKED OR OVER-RIDDEN, THE DEVICE OR SCREEN MUST HAVE A CHILD RESISTANT RELEASE MECHANISM INSTALLED AND BARRIER BELOW THE WINDOW THAT IS 865mm HIGH ABOVE FFL AND RESTRICTS ANY OPENING WITHIN THE BARRIER SO THAT A 125mm SPHERE CANNOT PASS THROUGH, AND HAS NO HORIZONTAL OR NEAR HORIZONTAL ELEMENTS BETWEEN 150mm AND 760mm FROM FFL. - GLAZING INSTALLED IN AREAS WITH HIGH POTENTIAL FOR HUMAN IMPACT TO COMPLY WITH NCC PART 8.4 | <ul style="list-style-type: none"> - HANDRAIL REQUIRED WHERE CHANGE OF LEVEL BETWEEN FLOOR / LANDINGS > 1m AS PER CURRENT NCC 11.3.5 - NO GAPS IN STAIRCASES OR BALUSTRADE TO BE GREATER THAN 125mm - BALUSTRADE REQUIRED WHERE LEVEL OF LANDING OR DECK IS GREATER THAN 1000mm ABOVE ADJACENT GROUND LEVEL - BALUSTRADE TO BE MINIMUM 1000mm ABOVE FFL (INCLUDING ANY FLOOR COVERINGS) - DOORS OPENING OUTWARDS EXTERNALLY MUST OPEN TO A LANDING (MIN. 750mm WIDE) WHERE THE DIFFERENCE IN LEVELS IS GREATER THAN 570mm - NON-SLIP TREADS TO ALL TREADS AND TO COMPLY WITH NCC 11.2.4 - WHERE LANDINGS ARE NOT NOMINATED TO EXTERNAL DOORS, OPERATING DOOR LEAFS ARE TO BE SCREWED FIXED SHUT, OR PROVIDED WITH A FORMED FCR LANDING NOMINALLY 180mm BELOW FLOOR LEVEL. - GLAZED BALUSTRADE AND HANDRAILS TO COMPLY WITH NCC PART 8.4, 11.3 AND AS1288 REQUIREMENTS |
| <p>SITE WORKS</p> <ul style="list-style-type: none"> - CUT AND FILL BATTERS ARE INDICATIVE ONLY. BATTER TO COMPLY WITH THE NCC TABLE 3.2.1 - ALL CUTS AND FFL'S SHOWN (DA DRAWINGS) ARE SUBJECT TO ENGINEERING ADVICE ONCE A SATISFACTORY SOIL TEST HAS BEEN RECEIVED AND REVIEWED - ALL EMBANKMENTS THAT ARE LEFT EXPOSED MUST BE STABILISED WITH VEGETATION OR SIMILAR TO PREVENT EROSION - EMBANKMENTS CANNOT EXCEED 2.0m IN HEIGHT WITHOUT THE AID OF RETAINING WALLS OR OTHER APPROVED TYPES OF SOIL RETAINING METHODS - ALL UNPROTECTED EMBANKMENTS MUST COMPLY WITH THE SLOPE RATIOS FOR SOIL TYPE IN TABLE 3.2.1 OF THE NCC | <p>BRACING / LINTELS</p> <ul style="list-style-type: none"> - WALL BRACING AS PER AS1684-2 2021 AND AS1170 WIND LOADS - WALL BRACING AS SHOWN ON PLAN IS A MINIMUM ONLY. BUILDER TO PROVIDE ADDITIONAL BRACING TO SUIT THE CONSTRUCTION OF WALL FRAMES IN ACCORDANCE WITH GOOD BUILDING PRACTICE. - PLYWOOD BRACING IN ACCORDANCE WITH AS1684 TABLE 8.18 (H) METHOD B. 900 WIDE SHEET PLY BRACING PANELS (6mm THICK F11 OR 4mm THICK F14) TO BE FIXED TO STUD FRAME | | |

CONCRETE	EMBANKMENT OF SLOPE	WITH 2.5MM DIA X 30MM LONG MIN. FLAT HEAD NAILS.	DRAINAGE / WATER
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- | SOIL TYPE /
CLASSIFICATION | COMPACTED FILL | | CUT |
|-------------------------------|----------------|--|--------------|
| | | | |
| STABLE ROCK (A) | 3 : 3 | | 8 : 1 |
| SAND (A) | 1 : 2 | | 1 : 2 |
| SILT (P) | 1 : 4 | | 1 : 4 |
| FIRM CLAY | 1 : 2 | | 1 : 1 |
| SOFT CLAY | NOT SUITABLE | | 2 : 3 |
| SOFT SOILS (P) | NOT SUITABLE | | NOT SUITABLE |

MASONRY

 - ALL MASONRY TO BE CONSTRUCTED IN ACCORDANCE WITH AS3700
 - EXTERNAL WALLS TO BE 110mm BRICKWORK UNLESS NOTED OTHERWISE

CONCRETE

 - CONCRETE FOOTING AND SLABS TO BE IN ACCORDANCE WITH

ELECTRICAL

 - EXHAUST FAN TO COMPLY WITH CURRENT NCC PART 10.6.2 SECTION C
 - EXHAUST FANS TO BE SEALED AND DUCTED TO OUTSIDE OF DWELLING IN ACCORDANCE WITH NCC VOLUME 2, PARTS 10.8.2 AND 10.8.3
 - IF VENTING OCCURS DIRECTLY THROUGH WALLS/ROOF ADJACENT TO FAN, THEN UNIT REQUIRES SELF CLOSING BAFFLES TO BE CLASSIFIED AS A SEALED UNIT
 - ELECTRICIAN IS TO ENSURE THAT ALL GPO'S IN WET AREAS MEET ALL STANDARD AND CODE REQUIREMENTS - ALL GPO'S TO BE 300mm FROM FFL UNLESS NOTED OTHERWISE

OTHERWISE BY ENGINEER

CONCRETE TO BE MANUFACTURED TO COMPLY WITH AS2600

- PROVIDE SURFACE DRAINAGE IN ACCORDANCE WITH AS2870

- | | | | |
|--|--|--|--|
| <p>DRAIN 4 ROOF COURSE IN ALL PERIMETER WALLS GOING TO EXTERNAL WALLS BELOW FLOOR LEVEL WITH WEEP HOLES @ 1200 CTRS IN ACCORDANCE WITH AS2904</p> <p>- VERTICAL ARTICULATION JOINTS TO BE PROVIDED @ 6m MAX. CTRS FOR UNREINFORCED MASONARY WALLS EXCEPT WHERE BUILT ON CLASS A OR S SOIL AND SPACED AS PER AS3700 SECTION 12.6.4. WILSON HOMES REQUEST THAT @ 5M CTRS</p> | <p>- HAVE A STRENGTH @ 28 DAYS OF NOT LESS THAN 25MPa (N25 GRADE)</p> <p>- HAVE A 20mm NOMINAL AGGREGATE SIZE</p> <p>- HAVE A NOMINAL 80mm SLUMP</p> <p>- CONCRETE SLAB TO BE LAID OVER 0.2mm POLYTHENE MEMBRANE, 50mm WELL BEDDED SAND AND MINIMUM COMPACTED FCB (20mm)</p> | <p>- PROVIDE FLEXIBLE JOINTS IN ALL DRAINAGE EMERGING FROM UNDERNEATH OR ATTACHED TO BUILDING IN ACCORDANCE WITH AS2870 SECTION 5.6.4 FOR ALL CLASS H AND E SITES. REFER TO GEOTECH FOR FURTHER INFORMATION</p> <p>- DOWNPIPES AND GUTTERS DESIGNED IN ACCORDANCE WITH AS/NZS 3500.3</p> | <p>- WALLS TO WET AREAS TO BE FINISHED WITH WET AREA PLASTERBOARD</p> <p>- COMPLIANCE WITH NCC PART 10.2 AND AS3740</p> <p>- ALL UNENCLOSED SHOWERS ABOVE BATHS TO HAVE MINIMUM 900mm SHOWER SCREEN OR FLOORWASTE WITHIN 1500mm OF SHOWER CONNECTION AS PER AS3740</p> |
|--|--|--|--|

[SHEPHERD & MORTIMER](#)
[TIMBER FRAMING](#)
[WINDOWS](#)
[STAIRCASES / BALUSTRADES / HANDRAILS](#)
[CONDENSATION](#)

- | | | | | |
|--|--|---|--|--|
| <p>BUILDER TO VERIFY ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO COMMENCEMENT OF WORK</p> <p>8/07/2026</p> <p>- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE (NCC)</p> | <p>- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE CURRENT NCC</p> <p>- ALL TIMBER FRAMING TO BE CARRIED OUT IN ACCORDANCE WITH AS1684</p> <p>- MGP10 PINE FRAMING OR F17 SOLID AND FINGER JOINED FRAMING TO ALL STRUCTURAL COMPONENTS. 90 x 35mm FRAMING TO INTERNAL AND EXTERNAL WALLS. TIMBER COMPOSITE ENGINEERED ROOF TRUSSES WITH HARDWOOD AND MGP COMPONENTS</p> <p>- GALVANISED WALL TIES TO MASONRY @ 450 CTRS HORIZONTALLY AND 600 CTRS VERTICALLY, WITH SPACING</p> | <p>- WINDOWS TO BE ALUMINIUM FRAMED SLIDING UNLESS NOTED OTHERWISE</p> <p>- ALL WINDOWS TO BE FABRICATED AND INSTALLED IN ACCORDANCE WITH AS1288 AND AS2047 TO SPECIFIC WIND SPEED AS PER ENGINEERS REPORT</p> <p>- ALL OPENING WINDOWS TO COMPLY WITH NCC 8 REQUIREMENTS</p> <p>- AS PER NCC 11.3.6 ALL BEDROOM WINDOWS WHERE THE LOWEST OPENABLE PORTION OF THE WINDOW IS WITHIN 1.7m OF FFL AND THE FFL IS 2m OR MORE ABOVE NGL, REQUIRE A PERMANENTLY FIXED DEVICE RESTRICTING ANY OPENINGS</p> | <p>STAIR TREADS 240mm MIN. - 355mm MAX.
STAIR RISERS 115mm MIN. - 190mm MAX.</p> <p>- HANDRAIL REQUIRED WHERE CHANGE OF LEVEL BETWEEN FLOOR / LANDINGS > 1m AS PER CURRENT NCC 11.3.5</p> <p>- NO GAPS IN STAIRCASES OR BALUSTRADE TO BE GREATER THAN 125mm</p> <p>- BALUSTRADE REQUIRED WHERE LEVEL OF LANDING OR DECK IS GREATER THAN 1000mm ABOVE ADJACENT GROUND LEVEL</p> <p>- BALUSTRADE TO BE MINIMUM 1000mm ABOVE FFL (INCLUDING ANY FLOOR COVERINGS)</p> | <p>- WHERE RAKED CEILINGS EXIST, IT IS HIGHLY RECOMMENDED THAT SUITABLE SPACING BETWEEN SARKING AND BULK INSULATION EXISTS. (NO CONTACT BETWEEN PRODUCTS). THE BUILDER IS TO ENSURE ADEQUATE SIZED TIMBER IS USED TO ENSURE THIS SEPARATION IS PROVIDED.</p> <p>- IN STANDARD ROOF SPACES, IT IS HIGHLY RECOMMENDED TO PROVIDE SEPARATION BETWEEN SARKING AND CEILING INSULATION AROUND THE BUILDING PERIMETER, TO ENSURE AIRFLOW FROM EAVE VENTS IS MAINTAINED</p> <p>- IT IS HIGHLY RECOMMENDED THAT ALL LIGHTWEIGHT CLADDING IS BATTENED OUT FROM STUDS (METAL / FC SHEET / TIMBER)</p> |
| <p>SITE WORKS</p> <p>- CUT AND FILL BATTERS ARE INDICATIVE ONLY. BATTER TO COMPLY WITH THE NCC TABLE 3.2.1</p> | | | | |

ENGINEERING ADVICE ONCE A SATISFACTORY SOIL TEST HAS BEEN OBTAINED FROM A REGISTERED

- | | | | | |
|---|---|---|--|--|
| <p>ALL EMBANKMENTS THAT ARE LEFT EXPOSED MUST BE STABILISED WITH VEGETATION OR SIMILAR TO PREVENT EROSION</p> <p>EMBANKMENTS CANNOT EXCEED 2.0m IN HEIGHT WITHOUT THE AID OF RETAINING WALLS OR OTHER APPROVED TYPES OF SOIL RETAINING METHODS</p> <p>ALL UNPROTECTED EMBANKMENTS MUST COMPLY WITH THE SLOPE RATIOS FOR SOIL TYPE IN TABLE 3.2.1 OF THE NCC</p> | <p>WALL BRACING AS PER AS1684-2 2021 AND AS1170 WIND LOADS</p> <p>WALL BRACING AS SHOWN ON PLAN IS A MINIMUM ONLY. BUILDER TO PROVIDE ADDITIONAL BRACING TO SUIT THE CONSTRUCTION OF WALL FRAMES IN ACCORDANCE WITH GOOD BUILDING PRACTICE.</p> <p>PLYWOOD BRACING IN ACCORDANCE WITH AS1684 TABLE 8.18 (H) METHOD B. 900 WIDE SHEET PLY BRACING PANELS (6mm THICK F11 OR 4mm THICK F14) TO BE FIXED TO STUD FRAME WITH 2.8mm DIA x 30mm LONG MIN. FLAT HEAD NAILS.</p> | <p>THE DEVICE OR SCREEN CAN BE REMOVED, UNLOCKED OR OVER-RIDDEN, THE DEVICE OR SCREEN MUST HAVE A CHILD RESISTANT RELEASE MECHANISM INSTALLED AND BARRIER BELOW THE WINDOW THAT IS 865mm HIGH ABOVE FFL AND RESTRICTS ANY OPENING WITHIN THE BARRIER SO THAT A 125mm SPHERE CANNOT PASS THROUGH, AND HAS NO HORIZONTAL OR NEAR HORIZONTAL ELEMENTS BETWEEN 150mm AND 760mm FROM FFL.</p> <p>GLAZING INSTALLED IN AREAS WITH HIGH POTENTIAL FOR HUMAN IMPACT TO COMPLY WITH NCC PART 8.4</p> | <p>LEVELS IS GREATER THAN 570mm</p> <p>NON-SLIP TREADS TO ALL TREADS AND TO COMPLY WITH NCC 11.2.4</p> <p>WHERE LANDINGS ARE NOT NOMINATED TO EXTERNAL DOORS, OPERATING DOOR LEAFS ARE TO BE SCREWED FIXED SHUT, OR PROVIDED WITH A FORMED FCR LANDING NOMINALLY 180mm BELOW FLOOR LEVEL.</p> <p>GLAZED BALUSTRADE AND HANDRAILS TO COMPLY WITH NCC PART 8.4, 11.3 AND AS1288 REQUIREMENTS</p> | <p>ALL WOOD HEATERS ARE TO COMPLY WITH MANUFACTURERS SPECIFICATION AND NCC PART 12.4</p> |
| <p>SOIL TYPE /</p> | <p>EMBANKMENT OF SLOPE</p> | <p>WALL BRACING AS SHOWN ON PLAN IS A MINIMUM ONLY. BUILDER TO PROVIDE ADDITIONAL BRACING TO SUIT THE CONSTRUCTION OF WALL FRAMES IN ACCORDANCE WITH GOOD BUILDING PRACTICE.</p> | <p>NON-SLIP TREADS TO ALL TREADS AND TO COMPLY WITH NCC 11.2.4</p> | <p>ALL WOOD HEATERS ARE TO COMPLY WITH MANUFACTURERS SPECIFICATION AND NCC PART 12.4</p> |

**SUBJECT TO NCC 2022
(1 MAY 2023)**
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
LIVABLE HOUSING

PLAN ACCEPTANCE BY OWNER	
SIGNATURE: _____	DATE: _____

SIGNATURE: _____	DATE: _____

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED	

SIGNATURE: _____ DATE: _____

SIGNATURE: _____ DATE: _____

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED

USE CODE: -WNWCYP10SA	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE
GRADE CODE: -WNWCYP10RVSDA	COMMENCEMENT OF ANY WORK. A DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
SALES:	714865

SPECIFICATION: NOW BY WILSON HOMES		REVISION	DRAWN	CLIENT: GILBERT RUSSELL WILLIAMS & ELIZABETH JEAN SEVILLE	HOUSE DESIGN: CYPRESS 15	HOUSE CODE: H-WNWCYP10SA	DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
COPYRIGHT: © 2026	1	CONSOLIDATED PROPOSAL - CP1	NVO/JH 18/06/2026	ADDRESS: 2 ALMA LODGE ROAD, CAMPANIA TAS 7026	FACADE DESIGN: RIVERSIDE	FACADE CODE: F-WNWCYP10RVSDA	
	2	PRELIM PLANS - INITIAL ISSUE	TNG 24/06/2026	LOT / SECTION / CT: 9 / - / 185626	SHEET TITLE: GENERAL NOTES	SHEET No.: 19 / 20	
				COUNCIL TITLE: SOUTHERN MIDLANDS		SCALES:	
							714865

RECEIVED

8/07/2026

WET AREA NOTES

VESSELS OR AREA WHERE THE FIXTURE IS INSTALLED	FLOORS AND HORIZONTAL SURFACES	WALLS	WALL JUNCTIONS AND JOINTS	PENETRATIONS
ENCLOSED SHOWER WITH HOB	WATERPROOF ENTIRE ENCLOSED SHOWER AREA INCLUDING HOB.	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25mm ABOVE THE MAXIMUM RETAINED WATER LEVEL WHICH EVER IS THE GREATER WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
ENCLOSED SHOWER WITHOUT HOB	WATERPROOF ENTIRE ENCLOSED SHOWER AREA, INCLUDING WATERSTOP.	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
ENCLOSED SHOWER WITH STEPDOWN	WATERPROOF ENTIRE ENCLOSED SHOWER AREA INCLUDING THE STEPDOWN.	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25mm ABOVE THE MAXIMUM RETAINED WATER LEVEL WHICHEVER IS THE GREATER WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
ENCLOSED SHOWER WITH PRE-FORMED SHOWER BASE	N/A	WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
UNENCLOSED SHOWERS	WATERPROOF ENTIRE UNCLOSED SHOWER AREA.	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25mm ABOVE THE MAXIMUM RETAINED WATER LEVEL WHICH EVER IS THE GREATER WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
AREAS OUTSIDE THE SHOWER AREA FOR CONCRETE AND COMPRESSED FIBRE CEMENT SHEET FLOORING	WATER RESISTANT TO ENTIRE FLOOR.	N/A	WATERPROOF ALL WALL/FLOOR JUNCTIONS. WHERE A FLASHING IS USED THE HORIZONTAL LEG MUST BE NOT LESS THAN 40mm.	N/A
AREAS OUTSIDE THE SHOWER AREA FOR TIMBER FLOORS INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER BASED FLOORING MATERIALS	WATERPROOF ENTIRE FLOOR.	N/A	WATERPROOF ALL WALL/FLOOR JUNCTIONS. WHERE A FLASHING IS USED THE HORIZONTAL LEG MUST BE NOT LESS THAN 40mm.	N/A
AREAS ADJACENT TO BATHS AND SPAS FOR CONCRETE AND COMPRESSED FIBRE CEMENT SHEET FLOORING.	WATER RESISTANT TO ENTIRE FLOOR.	WATERPROOF TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL AND EXPOSED SURFACES BELOW THE VESSEL LIP TO FLOOR LEVEL.	WATERPROOF EDGES OF THE VESSEL AND JUNCTION OF BATH ENCLOSURE WITH FLOOR. WHERE THE LIP OF THE BATH IS SUPPORTED BY A HORIZONTAL SURFACE, THIS MUST BE WATERPROOF FOR SHOWERS OVER BATH AND WATER RESISTANT FOR ALL OTHER CASES.	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
AREAS ADJACENT TO BATHS AND SPAS (SEE NOTE 1) FOR TIMBER FLOORS INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER BASED FLOORING MATERIALS.	WATERPROOF ENTIRE FLOOR.	WATERPROOF TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL AND EXPOSED SURFACES BELOW THE VESSEL LIP TO FLOOR LEVEL.	WATERPROOF EDGES OF THE VESSEL AND JUNCTION OF BATH ENCLOSURE WITH FLOOR. WHERE THE LIP OF THE BATH IS SUPPORTED BY A HORIZONTAL SURFACE, THIS MUST BE WATERPROOF FOR SHOWERS OVER BATH AND WATER RESISTANT FOR ALL OTHER CASES.	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
INSERTED BATHS	N/A FOR FLOOR UNDER BATH. ANY SHELF AREA ADJOINING THE BATH OR SPA MUST BE WATERPROOF AND INCLUDE A WATERSTOP UNDER THE VESSEL LIP.	N/A FOR WALL UNDER BATH. WATERPROOF TO NOT LESS THAN 150mm ABOVE THE LIP OF THE BATH.	N/A FOR WALL UNDER BATH. WATERPRROF TO NOT LESS THAN 150 mm ABOVE THE LIP OF A BATH OR SPA.	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
WALLS ADJOINING OTHER VESSELS (EG. SINKS, LAUNDRY TUBS AND BASINS)	N/A	WATERPROOF TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL IF THE VESSEL IS WITHIN 75mm OF THE WALL.	WHERE THE VESSEL IS FIXED TO A WALL, WATERPROOF EDGES FOR EXTENT OF VESSEL.	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
LAUNDRIES AND WCS	WATER RESISTANT TO ENTIRE FLOOR.	WATERPROOF ALL WALL/FLOOR JUNCTIONS TO NOT LESS THAN 25mm ABOVE THE FINISHED FLOOR LEVEL, SEALED TO FLOOR.	WATERPROOF ALL WALL/FLOOR JUNCTIONS. WHERE A FLASHING IS USED THE HORIZONTAL LEG MUST BE NOT LESS THAN 40mm.	N/A

THE ABOVE INFORMATION IS FOR GENERAL GUIDANCE AND IS INDICATIVE ONLY. WATERPROOFING INSTALLERS TO COMPLY WITH ALL CURRENT CODES OF LEGISLATION WHICH TAKE PRECEDENCE OVER THIS SPECIFICATION.

WET AREA WAERPROOFING BY LICENSED AND ACCREDITED INSTALLER. CERTIFICATION TO BE PROVIDED TO BUILDING SURVEYOR. CONTRACTOR OR BUILDER TO DETERMINE THE APPROPRIATE WATERPROOFING IN ACCORDANCE WITH AS3740 PART 10.2 OF N.C.C AND TO NOTIFY THE BUILDING SURVEYOR FOR INSPECTION ARRANGEMENTS DURING INSTALLATION.

ENERGY EFFICIENCY - GENERAL

STATED R VALUES ARE FOR ADDITIONAL INSULATION REQUIRED AND ARE NOT RT VALUES (TOTAL SYSTEM VALUE)

INSULATION TO BE INSTALLED TO MANUFACTURERS SPECIFICATIONS AND ANY RELEVANT STANDARDS

BULK INSULATION IS NOT TO BE COMPRESSED AS THIS REDUCES THE EFFECTIVE R RATING

N.C.C 2022 TAS PART H6

IN TASMANIA, FOR NCC PART H6 REFER TO NCC 2019 AMENDMENT 1 PART 2.6; FOR NCC PART 13.1 REFER TO NCC 2019 PART 3.12

N.C.C 2019 3.12.0 (A)

PERFORMANCE REQUIREMENT P2.6.1 FOR THE THERMAL PERFORMANCE OF THE BUILDING IS SATISFIED BY COMPLYING WITH:

3.12.0.1 - FOR REDUCING THE HEATING AND COOLING LOADS

TO REDUCE HEATING AND COOLING LOADS MUST ACHIEVE AN ENERGY RATING USING HOUSING ENERGY RATING SOFTWARE OF NOT LESS THAN 6 STARS.

3.12.1.1 - FOR BUILDING FABRIC THERMAL INSULATION

BUILDER TO ENSURE THAT ALL INSULATION COMPLIES WITH AS/NZS 4859.1 AND BE INSTALLED TO N.C.C 3.12.1.1.

3.12.1.2(e) - FOR COMPENSATING FOR A LOSS OF CEILING INSULATION

REFER TO ATTACHED THERMAL PERFORMANCE CERTIFICATE

(i) IF ALLOWANCE HAS BEEN MADE FOR CEILING PENERATIONS IN NATHERS (FIRST RATE 5) CERTIFICATION PROCESS THEN NO FURTHER ACTION REQUIRED.

(ii) IF NO ALLOWANCE HAS BEEN MADE FOR CEILING PENETRATIONS IN NATHERS (FIRST RATE 5) CERTIFICATION PROCESS THEN CEILING PENETRATION AREA MUST BE CALCULATED AND THE NECESSARY ADJUSTMENT MADE TO THE SPECIFIED INSULATION AS PER TABLE 3.12.1.1B OF NCC

3.12.1.5(c) AND 3.12.1.5(d) - FOR FLOOR EDGE INSULATION

FOR CONCRETE SLAB ON GROUND WITH IN SLAB HEATING OR COOLING.

3.12.3 - FOR BUILDING SEALING

3.12.3.1 - CHIMNEYS AND FLUES

THE CHIMNEY OR FLUE OF AN OPEN SOLID FUEL BURNING APPLIANCE MUST BE PROVIDED WITH A DAMPER OR FLAP THAT CAN BE CLOSED TO SEAL THE CHIMNEY OR FLUE.

3.12.3.2 - ROOF LIGHTS

(a) A ROOF LIGHT MUST BE SEALED, OR CAPABLE OF BEING SEALED WHEN SERVING:

(i) A CONDITIONED SPACE; OR

(ii) A HABITABLE ROOM IN CLIMATE ZONES 4, 5, 6, 7 OR 8

(b) A ROOF LIGHT REQUIRED BY (a) TO BE SEALED, OR CAPABLE OF BEING SEALED MUST BE CONSTRUCTED WITH:

(i) AN IMPERFORATE CEILING DIFFUSER OR THE LIKE INSTALLED AT A CEILING OR INTERNAL LINING LEVEL; OR

(ii) A WATERPROOF SEAL; OR

(iii) A SHUTTER SYSTEM READILY OPERATED MANUALLY, MECHANICALLY OR ELECTRONICALLY BY THE OCCUPANT.

3.12.3.5 - CONSTRUCTION OF ROOF, WALLS AND FLOORS

(a) ROOFS, EXTERNAL WALLS, EXTERNAL FLOORS AND AN OPENING SUCH AS A WINDOW FRAME, DOOR FRAME, ROOF LIGHT FRAME OR THE LIKE MUST BE CONSTRUCTED TO MINIMISE AIR LEAKAGE IN ACCORDANCE WITH (b) WHEN FORMING PART OF THE EXTERNAL FABRIC OF:

(i) A CONDITIONED SPACE; OR

(ii) A HABITABLE ROOM IN CLIMATE ZONE 4, 5, 6, 7 OR 8.

(b) CONSTRUCTION REQUIRED BY (a) MUST BE:

(i) ENCLOSED BY AN INTERNAL LINING SYSTEM THAT ARE CLOSE FITTING AT CEILING, WALL AND FLOOR JUNCTIONS; OR

(ii) SEALED BY CAULKING, SKIRTING, ARCHITRAVES, CORNICES OR THE LIKE.

3.12.3.6 - EVAPORATIVE COOLERS

AN EVAPORATIVE COOLER MUST BE FITTED WITH A SELF CLOSING DAMPER OR THE LIKE WHEN SERVING:

(a) A HEATED SPACE; OR

(b) A HABITABLE ROOM IN CLIMATE ZONES 4, 5, 6, 7 OR 8.

3.12.5.5 - ARTIFICIAL LIGHTING

(a) LAMP POWER DENSITY OR ILLUMINATION POWER DENSITY OF AN ARTIFICIAL LIGHT, EXCLUDING HEATING THAT EMITS LIGHT, MUST NOT EXCEED THE ALLOWANCE OF:

(i) 5W/m² IN A CLASS 1 BUILDING

(ii) 4W/m² ON A VERANDAH, BALCONY OR THE LIKE ATTACHED TO A CLASS 1 BUILDING (NOT EXCLUDING EAVE PERIMETER LIGHTS);

(iii) 3W/m² IN A CLASS 10A BUILDING ASSOCIATED WITH A CLASS 1 BUILDING.

(b) THE ILLUMINATION POWER DENSITY ALLOWANCE IN (a) MAY BE INCREASED BY DIVIDING IT BY THE ILLUMINATION POWER DENSITY ADJUSTMENT FACTOR FOR A CONTROL DEVICE AS PER N.C.C TABLE 3.12.5.3.

WAFFLE POD ALLOWANCES:

- R0.6 - 175mm DEEP

- R0.7 - 225mm DEEP

- R0.8 - 300mm DEEP

- R0.9 - 375mm DEEP

SUBJECT TO NCC 2022 (1 MAY 2023)

WATERPROOFING & PLUMBING CONDENSATION MANAGEMENT LIVABLE HOUSING

PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

SIGNATURE: DATE:

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

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	© 2026					2 ALMA LODGE ROAD, CAMPANIA TAS 7026		RIVERSIDE		F-WNWCYP10RVSDA
					LOT / SECTION / CT:	COUNCIL:	SHEET TITLE:	SHEET No.:	SCALES:	
					9 / - / 185626	SOUTHERN MIDLANDS	WET AREA & ENERGY EFFICIENCY NOTES	20 / 20		

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8/07/2026

SITE INVESTIGATION REPORT

**AS 2870 SITE CLASSIFICATION &
AS 4055 WIND LOADS FOR HOUSING**

**CLIENT:
WILSON HOMES – 714863**

**PROJECT ADDRESS:
LOT 9, 2 ALMA LODGE ROAD
CAMPANIA 7026**

**PROPOSED DEVELOPMENT:
SINGLE RESIDENTIAL DWELLING**

**FILE NUMBER:
H3482**

**DATE:
15 JUNE 2026**

**HED CONSULTING
UNIT 2, 1 LIVERPOOL ST, HOBART 7000
P 03 6146 0334 E info@hed-consulting.com.au**



**HED
CONSULTING**

1. Executive Summary

The subject land is located at Lot 9, 2 Alma Lodge Road, Campania. The development proposal includes the construction of a new residential dwelling. The site investigation has been conducted in accordance with AS2870:2011 *Residential slabs and footings* and AS4055-2021 *Wind Load for housing*. A summary of the report is detailed within the table below.

Analysis	Observations / Results
Site classification	H1
Estimated surface movement (y_s) range:	40-60mm
Geology:	Tertiary undifferentiated sediments and Tholeiite basalt
Refusal depth:	BH01 - 0.9m (XW rock) BH02 - >2m
Estimated soil bearing capacity:	>100 kPa at depth of natural clay
Modified Emerson Crumb test:	Slightly dispersive
Wind classification:	N3

2. Site Location

	Information
Client:	Wilson Homes
Site address:	Lot 9, Alma Lodge Road Campania
Property ID:	9844045
Title Reference:	185626/9

3. Site information

Site information	Results
Size of development:	Single residential dwelling
Services available:	Power, telecommunications, water, sewer & stormwater
Zoning:	Village
Tenure:	Private Freehold
Permit Authority:	Southern Midlands Council
Planning Overlays:	None

4. Site visit

Site investigation	Observations / Results
Date of site investigation:	5/6/2026
Slope:	3-6%
Aspect:	North
Rainfall:	82mm (preceding two weeks) ¹
Drainage:	Poor
Vegetation:	Grass
Erosion:	No erosion was observed

¹ Bureau of Meteorology, <http://www.bom.gov.au>, Daily Rainfall Campania (Kincora)

5. Soil profile

The land has a gentle slope towards the north.

Borehole (BH01) revealed sandy clay fill material overlying medium plasticity yellow – brown sandy clay at 0.4m. Bore refused at 0.9m depth on extremely weathered (XW) rock.

Borehole (BH02) revealed similar soil profile however sandy clay transitions into high plasticity silty clay at 1.5m depth. Bore terminated at 2m depth.

9kg Dynamic Cone Penetrometer (DCP) test was also conducted to establish the estimated bearing capacity of the soil.

The soil profile and location of the bore holes is shown in the appendix of this report.

6. Site Stability

The site exhibits no signs of significant erosion or land instability.

Earthworks shall comply with AS3798-2007 Guidelines on earthworks for commercial and residential developments.

7. AS2870 Site Classification

The site is classified as: **H1**

The estimated surface movement (ys) is between 40-60mm.

Footings to be bedded / piered to competent natural material as per clause 2.4.5 of AS2870:2011.
Footings to be poured as soon as possible after excavation to avoid pooling.

The site classification reflects the subsurface conditions observed at the time of the investigation. Should any bulk cut, filling, or other site modifications occur, a reassessment of the Site Classification is required.

Plumbing, fixtures, and fittings shall be installed in accordance with Appendix G of AS/NZS 3500.2:2021, using requirements for Class H1 soils as defined in AS 2870.

8. AS4055 Wind Classification

The site is classified as per AS4055 – 2021 Wind loads for housing.

Site information	Results
Geographic region:	A
Terrain Category:	1
Topographic classification:	T0
Shielding:	NS
Wind Classification:	N3
Wind Speed ($V_{h,u}$):	50m/s

9. General notes and limitations

Site Investigation:

Site investigation conducted in accordance with the requirements of clause 2.4 of AS2870:2011. The aim of a site investigation is to obtain information about the soil at the location of the intended building(s). The location of bore holes is based on information supplied by the client. The investigation has been undertaken for the proposed dwelling footprint only. Soil conditions may vary significantly across the remainder of the lot and this report must not be relied upon for other structures, earthworks, retaining walls, driveways, services or adjacent lots without further investigation.

This report has been prepared solely for the use of the Client and for the specific purpose described herein. It may not be relied upon by any other person or entity, and may not be reproduced, distributed, or transferred to third parties without the prior written consent of the author. No responsibility or liability is accepted to any party other than the Client. This report is valid only for the conditions observed at the time of investigation. If construction does not commence within 12 months of the investigation date, HED Consulting should be contacted to confirm the continued applicability of this report.

HED Consulting aims to provide an accurate report at the time of the investigation however natural variations in soil characteristics and depth can occur over short distances. The presence, extent, thickness and compaction of fill materials across the site is unknown and may vary across the lot. The investigation identifies fill within the borehole locations only and conditions between investigation points may differ.

Soil conditions can also vary over time due to climatic events or earthworks. For example, the bearing capacity of clay soils can vary due to the seasonal climatic events. HED Consulting accepts no responsibility for soil conditions that are different to what was inspected at the time of the investigation. If the soil conditions

encountered vary to the results of this report HED Consulting should be contacted for advice. If earthworks expose different soil conditions, or if the depth of cut exceeds 500mm or additional fill is placed, the site classification may require reassessment.

Subsurface conditions are interpreted from discrete investigation points only. Soil and rock conditions may change over short distances and conditions encountered during construction may differ from those described in this report.

Soil testing:

Soil samples (when collected) are tested in accordance with the AS1289 suite. Soil testing is not required for all sites due to previous testing of similar material and/or using professional opinion. Bearing capacity of soil is based on field testing with accordance to clause 6.1.7 of AS1726:2017 and / or pocket penetrometer and / or DCP method. Bearing capacity of clays can vary seasonally. Clay can lose strength with high moisture content and increase in strength when clay dries. Bearing capacity results are estimated and are valid for the time of the investigation only. Estimated bearing capacities are based on field testing and engineering judgement at the time of investigation and are provided for preliminary design purposes only.

Emersion testing is conducted in accordance with Dispersive Soils and their Management, Technical Reference Manual, Marcus Hardie – 2009. This test reveals whether a clay is dispersive or not.

Construction inspection:

Foundation excavations should be inspected by a suitably qualified engineer to confirm that the conditions encountered are consistent with those described in this report prior to pouring of concrete.

Building maintenance notes:

The building foundations shall be designed by an engineer. The builder must ensure that good site drainage is provided during the construction phase. Soil drains shall be constructed before excavation of the footings. Roof water should be diverted away from the footing as soon as the roof is constructed by using temporary pipes if necessary.

Surface drainage and site moisture management during and after construction are the responsibility of the builder and owner. Poor drainage, leaking services or uncontrolled site water may adversely affect foundation performance.

The long-term performance of the building is dependent upon satisfactory ongoing maintenance by the owner. The builder and owner should obtain a copy of the notes contained within the CSIRO – Building Technology Services, Foundation Maintenance and Footing Performance. A copy of this manual can be purchased from CSIRO Publishing, <http://www.publish.csiro.au>. Earthworks shall comply with AS3798-2007 Guidelines on Earthworks for commercial and residential developments.

Appendix

9.1 Bore hole logs

See attached.

9.2 Site plan

See attached.

9.3 Form 55

See attached.

Engineering Log - Bore hole

Project Number : H3482

Client: Wilson Homes

Date: 5/06/2026

Project Address: Lot 9, 2 Alma Lodge Road, Campania

Borehole Location: See site plan

Logged By: HN

Drilling Method: Christie Soil Sampler / 50mm sampling tube

Drilling Information				Observation / Notes			
Method	DCP Blows/100mm	Water	Depth (mm)	Group Symbol	Material Description: Colour, Structural, Fraction, Plasticity, Bedding, Additional	Moisture Condition	Consistency / Relative Density
			100	CI, CL	FILL: Sandy CLAY, brown	D - M	S - F
			200				
			300				
			400				
			500	CI	Sandy CLAY, yellow - brown, medium plasticity.	M	F - St
			600				
			700				
			800				
			900	CI	As above, trace gravel (XW rock)	D	St
			1000		Bore refusal on XW rock		
			1100				
			1200				
			1300				
			1400				
			1500				
			1600				
			1700				
			1800				
			1900				
			2000				
			2100				
			2200				

Drilling Method

HA - Hand Auger

E - Excavator

WB - Wash Boring

Support

C- Casing

Sample and Tests

U - Undisturbed Sample

D - Disturbed Sample

PP - Pocket Penetrometer

DCP - Dynamic Cone Penetration Test

SPT - Standard Penetration Test

SV - Shear Vane Test

Classification Symbols and Soil Description

Based on Unified Soil Classification System and in accordance with AS1726

Moisture Condition

W - Wet

M - Moist

D - Dry

Consistency / Relative Density

VS - Very Soft

S - Soft

F - Firm

St - Stiff

Vst - Very Stiff

H - Hard

Fr - Friable

L - Loose

MD - Medium Dense

D - Dense

VD - Very Dense

Water

Level

Inflow

Partial Loss

Engineering Log - Bore hole

Project Number : H3482

Client: Wilson Homes

Date: 5/06/2026

Project Address: Lot 9, 2 Alma Lodge Road, Campania

Borehole Location: See site plan

Logged By: HN

Drilling Method: Christie Soil Sampler / 50mm sampling tube

Drilling Information				Observation / Notes		
Method	DCP Blows/100mm	Water	Depth (mm)	Group Symbol	Material Description: Colour, Structural, Fraction, Plasticity, Bedding, Additional	Moisture Condition Consistency / Relative Density Insitu testing (Est. kPa)
	4		100	CI, CL	FILL: Sandy CLAY, brown, low - medium plasticity.	M F - St
	5		200			
	3		300			
	7		400			
	10		500	CI	Sandy CLAY, yellow - brown mottled orange, medium plasticity.	M VSt - H 300
	22		600			660
	20		700			600
	17		800			540
	15		900	CI	As above, yellow - brown mottled orange	M VSt 450
	12		1000			360
	14		1100			420
	9		1200			270
	7		1300			210
	11		1400			330
	12		1500			360
	9		1600	CH	Silty CLAY, yellow - brown, high plasticity.	270
			1700			
			1800			
			1900			
			2000			
			2100		Bore terminated at target depth.	
			2200			

Drilling Method

HA - Hand Auger

E - Excavator

WB - Wash Boring

Support

C- Casing

Sample and Tests

U - Undisturbed Sample

D - Disturbed Sample

PP - Pocket Penetrometer

DCP - Dynamic Cone Penetration Test

SPT - Standard Penetration Test

SV - Shear Vane Test

Classification Symbols and Soil Description

Based on Unified Soil Classification System and in accordance with AS1726

Moisture Condition

W - Wet

M - Moist

D - Dry

Consistency / Relative Density

VS - Very Soft

S - Soft

F - Firm

St - Stiff

Vst - Very Stiff

H - Hard

Fr - Friable

L - Loose

MD - Medium Dense

D - Dense

VD - Very Dense

Water

Level

Inflow

Partial Loss



**CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE
ITEM****Section 321**Form **55**

To: Owner /Agent
 Address
 Suburb/postcode

Qualified person details:

Qualified person:
 Address: Phone No:
 Fax No:
 Licence No: Email address:

Qualifications and Insurance details: (description from Column 3 of the
Director's Determination - Certificates
by Qualified Persons for Assessable
Items)

Speciality area of expertise: (description from Column 4 of the
Director's Determination - Certificates
by Qualified Persons for Assessable
Items)

Details of work:

Address: Lot No:
 Certificate of title No:
 The assessable item related to this certificate: (description of the assessable item being
certified)
 Assessable item includes –
 - a material;
 - a design
 - a form of construction
 - a document
 - testing of a component, building
 system or plumbing system
 - an inspection, or assessment,
 performed

Certificate details:

Certificate type: (description from Column 1 of
Schedule 1 of the Director's
Determination - Certificates by
Qualified Persons for Assessable
Items n)

This certificate is in relation to the above assessable item, at any stage, as part of - (tick one)

building work, plumbing work or plumbing installation or demolition work: ☒

or

a building, temporary structure or plumbing installation: ☐

In issuing this certificate the following matters are relevant –

Documents:

AS2870 Site Classification and AS4055 Wind Classification dated 15 June 2026.

Relevant
calculations:

References:

AS2870 – 2011, AS4055 – 2021

Substance of Certificate: (what it is that is being certified)

Foundation and wind classification

Scope and/or Limitations

Footings to be bedded / piered to competent natural material as per clause 2.4.5 of AS2870:2011. Footings shall not be founded within fill material.

The site classification reflects the subsurface conditions observed at the time of the investigation. Should any bulk cut, filling, or other site modifications occur, a reassessment of the Site Classification is required.

Footings to inspected by engineer prior to pour.

Limitations as per section 9.0 of site investigation report dated 15/6/2026.

I certify the matters described in this certificate.

Qualified person:

Signed:

JOE HEPPER

Certificate No:

H3482

Date:

15/6/2026

SEARCH OF TORRENS TITLE

VOLUME 185626	FOLIO 9
EDITION 1	DATE OF ISSUE 18-Dec-2023

SEARCH DATE : 01-June-2026

SEARCH TIME : 10.45 am

DESCRIPTION OF LAND

Town of CAMPANIA

Lot 9 on Sealed Plan [185626](#)

Derivation : Part of Lot 25553 (5A-0R-39P) Henry William Gregg
pur.

Prior CT [168424/2](#)

SCHEDULE 1

[E30255](#) TRANSFER to MAYFAIR GROUP HOLDINGS PTY LTD
Registered 10-Aug-2017 at noon

SCHEDULE 2

[E30255](#) & [M489559](#) Land is limited in depth to 15 metres,
excludes minerals and is subject to reservations
relating to drains sewers and waterways in favour of
the Crown

[SP185626](#) EASEMENTS in Schedule of Easements

[SP185626](#) COVENANTS in Schedule of Easements

[SP185626](#) FENCING COVENANT in Schedule of Easements

[E30255](#) FENCING PROVISION in Transfer

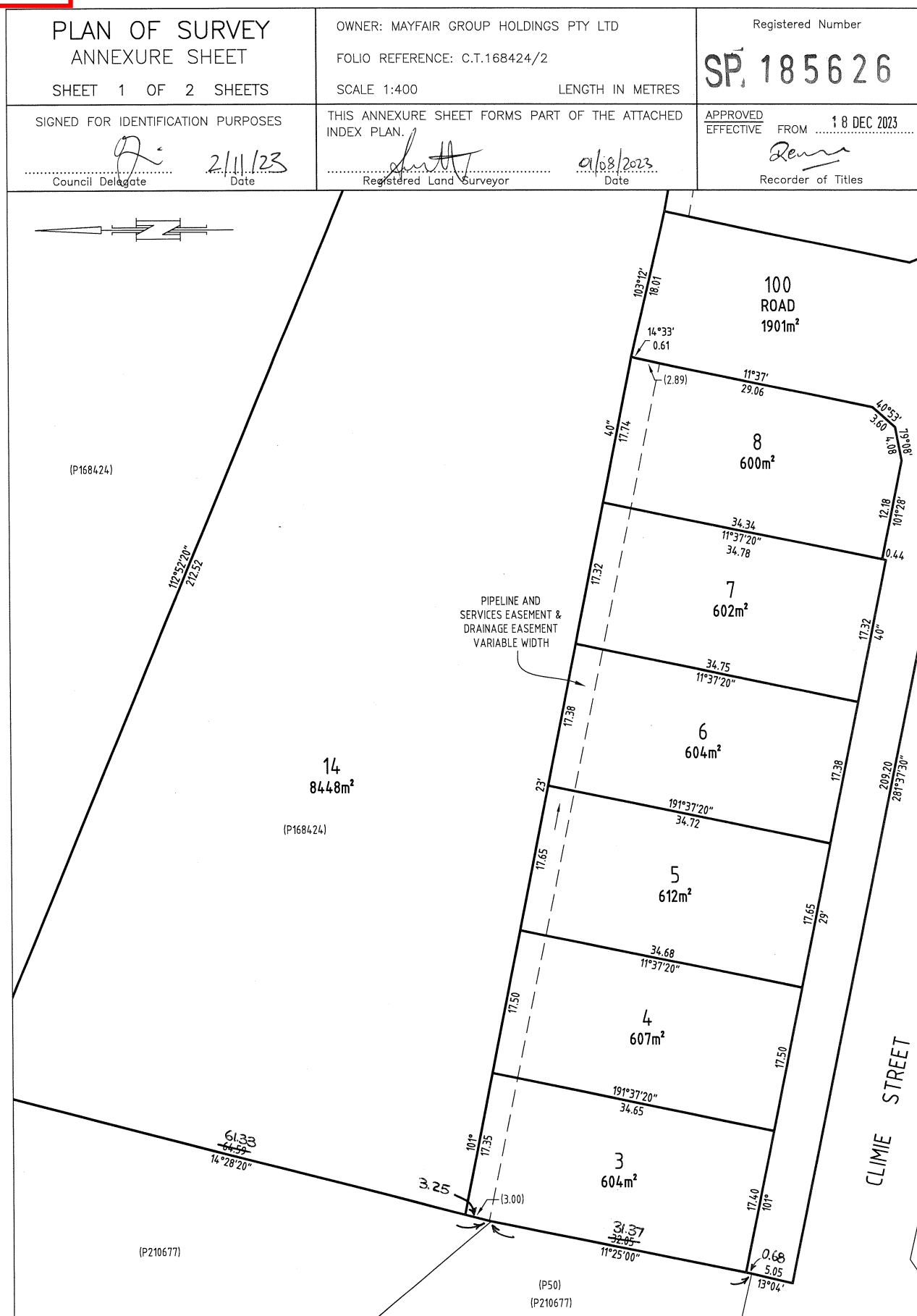
[M899953](#) MORTGAGE to Butler McIntyre Investments Ltd
Registered 16-July-2021 at noon

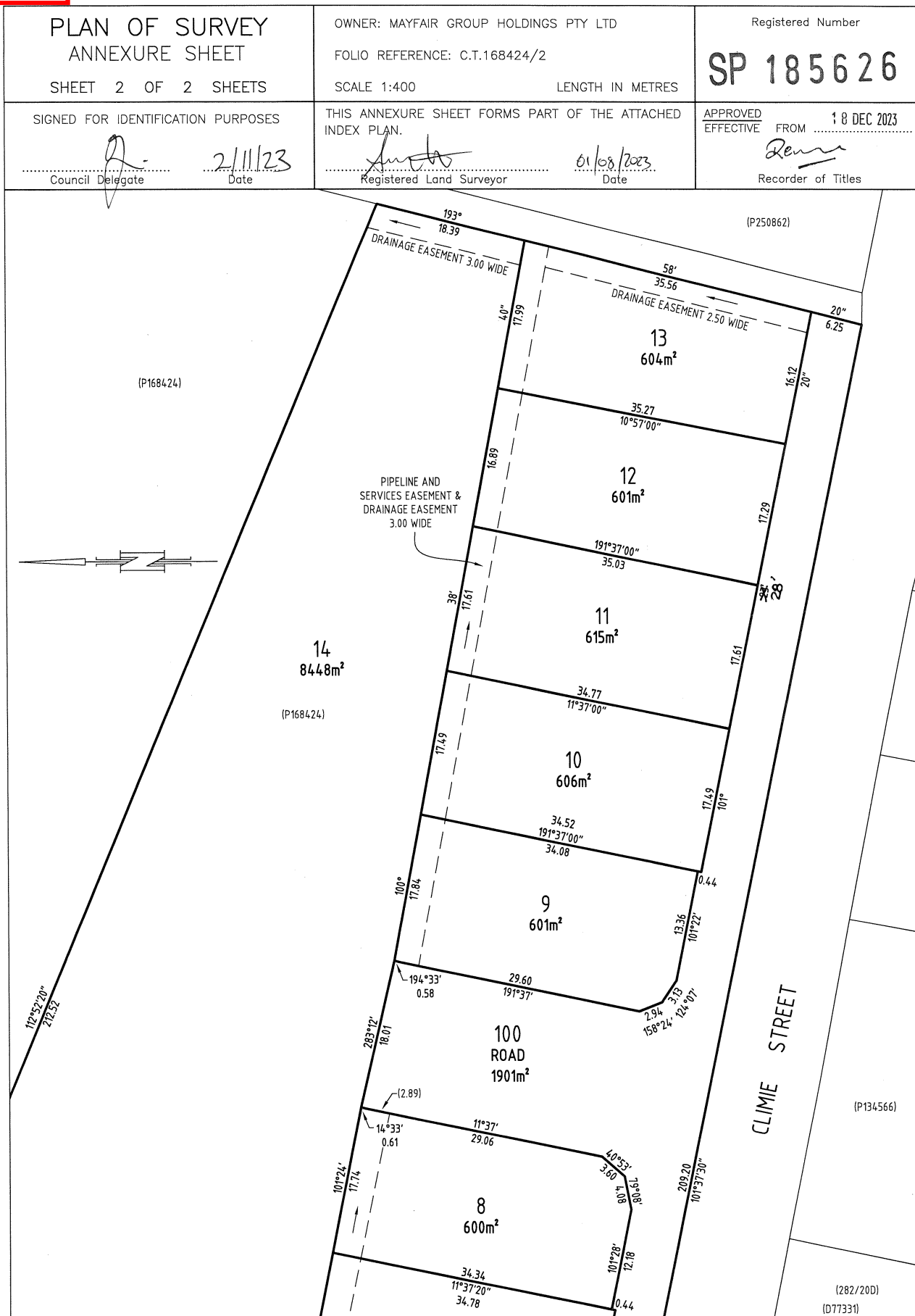
UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

OWNER MAYFAIR GROUP HOLDINGS PTY LTD	PLAN OF SURVEY BY SURVEYOR SAMUEL FRANKLIN HARVEY ROGERSON AND BIRCH SURVEYORS UNIT 1 - 2 KENNEDY DRIVE, CAMBRIDGE PARK PH 6248-5898 MOB. 0402-476-360	REGISTERED NUMBER SP185626
FOLIO REFERENCE C.T.168424/2		APPROVED EFFECTIVE FROM 18 DEC 2023
GRANTEE PART OF LOT 25553 (5A-OR-39P) HENRY WILLIAM GREGG PUR.	TOWN OF CAMPANIA	 Recorder of Titles
SCALE 1: 800 LENGTHS IN METRES		







SCHEDULE OF EASEMENTS

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 185626

PAGE 1 OF 4 PAGES

EASEMENTS AND PROFITS:

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

Easements

Lot 14 on the Plan is subject to a right of drainage over the land marked "DRAINAGE EASEMENT 3.00 WIDE" shown on the Plan in gross in favour of the Southern Midlands Council.

Lot 13 on the Plan is subject to a right of drainage over the land marked "DRAINAGE EASEMENT 2.50 WIDE" shown on the Plan in gross in favour of the Southern Midlands Council.

Lots 9, 10, 11, 12 & 13 on the Plan are each subject to a right of drainage over the land marked "PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE" shown on the Plan in gross in favour of the Southern Midlands Council.

Lots 3, 4, 5, 6, 7 & 8 on the Plan are each subject to a right of drainage over the land marked "PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT VARIABLE WIDTH" shown on the Plan in gross in favour of the Southern Midlands Council.

Lots 3, 4, 5, 6, 7 & 8 on the Plan are each subject to a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the area marked "PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT VARIABLE WIDTH" as shown on the Plan.

Lots 9, 10, 11, 12 & 13 on the Plan are each subject to a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the area marked "PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE" as shown on the Plan.

Covenants

The owner of each lot on the plan covenants with the Vendors and the owners for the time being of every other lot shown on the plan to the intent that the burden of this covenant may run with and bind the Covenantor's lot and every part thereof and that the benefit shall be annexed to and devolve with each and every part of every other lot shown on the plan to observe the following stipulations:

(USE ANNEXURE PAGES FOR CONTINUATION)	
SUBDIVIDER: Mayfair Group Holdings Pty Ltd	PLAN SEALED BY: Southern Midlands Council
FOLIO REF: C/T 168424/2	DATE: 21/11/2023
SOLICITOR & REFERENCE: Butler McIntyre & Butler 231411	SA1600014
	REF NO. Council Delegate
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 4 PAGES	Registered Number SP 185626
SUBDIVIDER: Mayfair Group Holdings Pty Ltd FOLIO REFERENCE: C/T 168424/2	

1. Not without the prior written consent of the Vendor to construct or allow to be constructed, any kit home or relocatable dwelling on such lot.
2. Not without the prior written consent of the Vendor to construct any walls of any residential building on such lot from any material except weatherboard, brick, finished rendered surface or masonry without the prior written consent of the Vendor, PROVIDED THAT the use of timber, non-brick or non-masonry materials not exceeding thirty percent (30%) of the total external wall area is permitted.
3. Not without the prior written consent of the Vendor to construct on any such lot, a dwelling with a liveable floor area of less than 140 square metres, (which area shall not include patios, verandas and carports) except if the dwelling is one of a greater number of multiple dwellings on that lot.
4. Not to use galvanised iron or other reflective materials in the construction of any dwelling nor any shed or outbuilding on a lot.
5. Not to erect or permit to be erected or remain on a lot any hoarding or advertising sign whatsoever except for a "for sale" sign during the period the lot is for sale.

Fencing ~~Provision~~ Covenant

The owner of each lot on the Plan covenants with Mayfair Group Holdings Pty Ltd (ACN 609 879 941) ("the Vendor") that the Vendor shall not be required to fence.

Definitions

"Pipeline and Services Easement" means:-

FIRSTLY, THE FULL AND FREE RIGHT AND LIBERTY for TasWater and its employees, contractors, agents and all other persons duly authorised by it, at all times to:

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure;
- (4) run and pass sewage, water and electricity through and along the Infrastructure;
- (5) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (a) without doing unnecessary damage to the Easement Land; and
 - (b) leaving the Easement Land in a clean and tidy condition;

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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SCHEDULE OF EASEMENTS

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 4 PAGES	Registered Number SP 185626
SUBDIVIDER: Mayfair Group Holdings Pty Ltd FOLIO REFERENCE: C/T 168424/2	

- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land; and
- (7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

SECONDLY, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described.

Interpretation:

"Infrastructure" means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) electricity assets and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure;
- (f) anything reasonably required to support, protect or cover any other Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

"TasWater" means Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653), its successors and assigns.

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 4 OF 4 PAGES	Registered Number SP 185626
SUBDIVIDER: Mayfair Group Holdings Pty Ltd FOLIO REFERENCE: C/T 168424/2	

Executed by **MAYFAIR GROUP HOLDINGS PTY LTD** (ACN 609
879 941) pursuant to section 127(1) of the *Corporations Act 2001*
(Cth)

By:

NICHOLAS LAMBRAKIS
Name of Director

[Signature]
Signature of Director

ZACHARIAS LAMBRAKIS
Name of Director/Secretary
(strike out which is inapplicable)

[Signature]
Signature of Director/Secretary
(strike out which is inapplicable)

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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**Direction to submit a Development Application**

This document confirms the direction from Gilbert Russell Williams and Elizabeth Jean Seville, owners of 2 Alma Lodge Road, Campania Tas 7026 to Wilson Homes Tasmania Pty Limited to act as their agent within the meaning of the *Land Use Planning and Approvals Act 1993* (Tasmania).

A handwritten signature in black ink, appearing to be "G. Williams", written over a dotted line.

Signature

6/7/2026

Date of signature

A handwritten signature in black ink, appearing to be "E. Seville", written over a dotted line.

Signature

6/7/2026

Date of signature

Important Owner Confirmation

The owners acknowledge that Wilson Homes will incur non-refundable fees to third parties that are likely to exceed the proposal acceptance fee already paid, including but not limited to:

Structural engineering fees

Hydraulic engineering fees

Development application fees

Overlay reports

Arborist reports

Bushfire reports

Farm management reports; and

Dispersive soil reports

depending on the requirements of your council.

The owners acknowledge that in the unlikely event that they do not proceed to a contract, these fees will be payable by the owners to Wilson Homes.

A handwritten signature in black ink, appearing to be "G. Williams", written over a dotted line.

Signature

6/7/2026

Date of signature

A handwritten signature in black ink, appearing to be "E. Seville", written over a dotted line.

Signature

08/07/2026

Date of signature



1300 595 050
wilsonhomes.com.au

Southern Head Office 250 Murray Street, Hobart Tasmania

Northern Head Office Level 1, 78-96 Wellington Street, Launceston Tasmania