



## Public Notice Details

### Application Details

<b>Application No</b>	DA2600048
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### Property Details

<b>Property Location</b>	1478 Colebrook Road Campania
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### Application Information

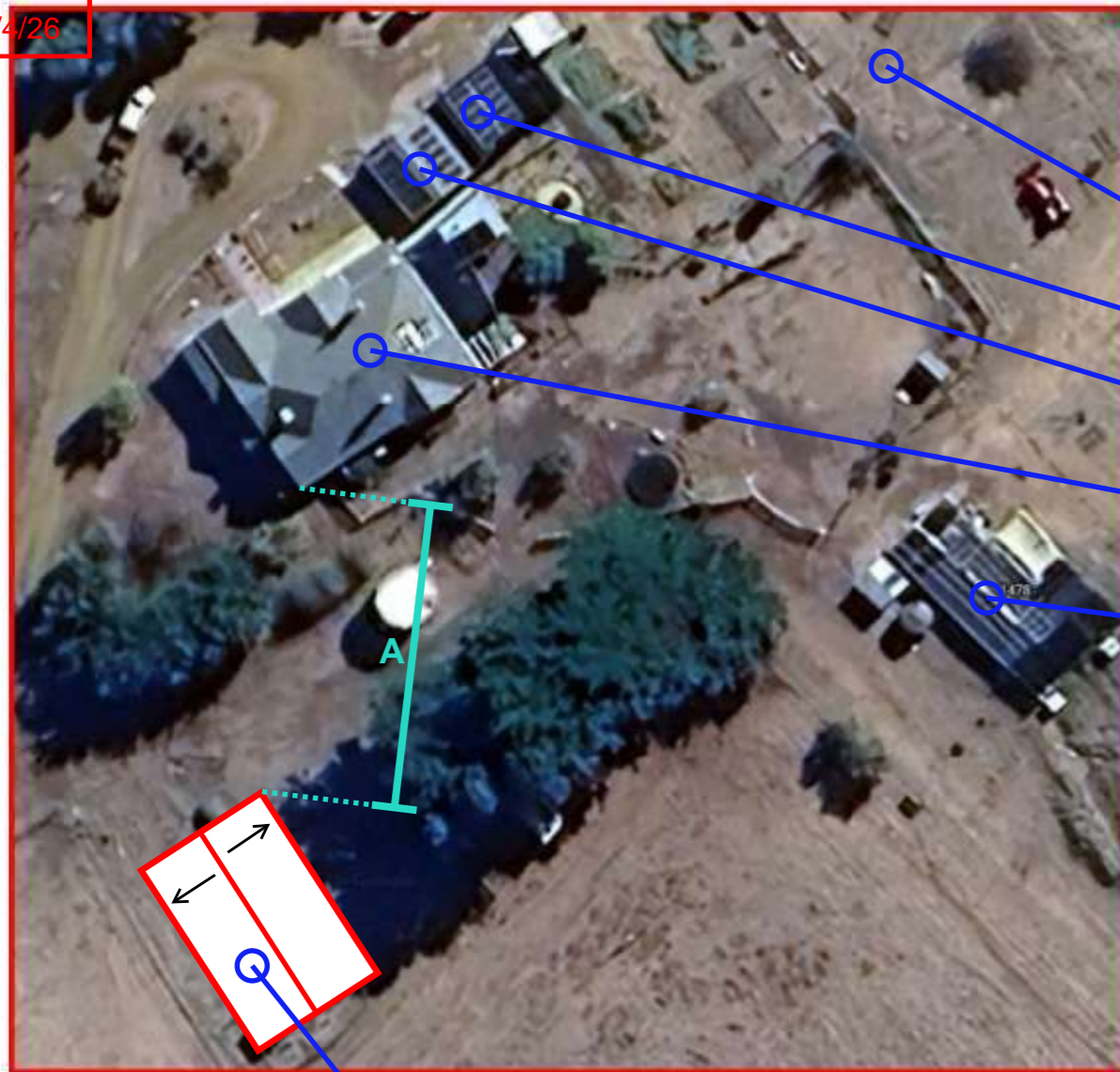
<b>Application Type</b>	Discretionary Development Application
<b>Development Category</b>	Outbuilding
<b>Advertising Commencement Date</b>	29 April 2026
<b>Advertising Closing Period</b>	13 May 2026
<small>If the Council Offices are closed during normal office hours within the above period, the period for making representations is extended.</small>	

If you need any further information, you're welcome to contact the Planning Department. A planner in the Development and Environmental Services section can be reached on 6254 5050 or at [planningenquiries@southernmidlands.tas.gov.au](mailto:planningenquiries@southernmidlands.tas.gov.au).

Representations on this application may be made to the General Manager in writing either by

Post: PO Box 21, Oatlands Tas 7120  
Email: [mail@southernmidlands.tas.gov.au](mailto:mail@southernmidlands.tas.gov.au)  
Fax: 03 6254 5014

All representations must include the authors full name, contact number and postal address and be received by the advertising closing date.



DESCRIPTION OF LAND

Parish of ORMAIG Land District of MONMOUTH  
 Lot 1 on Sealed Plan 155931  
 Derivation : Part of 1600-0-0 Gtd. to William Thomas Parramore  
 Prior CT 108725/1



CONSTRUCTION TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA AND AUSTRALIAN STANDARDS WHERE APPLICABLE

DO NOT SCALE OFF PLAN

BUILDER TO CHECK ALL DIMENSIONS ON SITE BEFORE STARTING WORKS

PLEASE REPORT ANY ERRORS OR INCONSISTENCIES TO TASTECH BUILDING SYSTEMS

ANY CHANGES TO THIS DOCUMENT TO BE CONFIRMED BY TASTECH BUILDING SYSTEMS

PROJECT TITLE:  
Tunks Shed

ADDRESS:  
1478 Colebrook Road,  
Campania, Tas, 7026

DRAWING NUMBER:  
RB1209\_SITE

JOB NUMBER:  
RB1209

CLIENT:  
Haylee Tunks

DATE:  
09/04/2026

SCALE: NTS

DRAWN: HM

Proposed 9.0m x 16.0m x 3.3m (eave)  
 Colorbond Basalt Class 10a  
 freestanding outbuilding built from  
 noncombustible materials.

Note: The proposed outbuilding colour  
 has been chosen to match the existing  
 residence which is painted Colorbond  
 Basalt.

Positioning:

- A - 25.2m
- B - 27.4m
- C - 112.0m

Stormwater from proposed outbuilding  
 to be kept within title boundaries - Low  
 risk works by licensed plumber.

SEE RANBUILD DRAWINGS AND  
 SPECIFICATIONS FOR FULL DETAILS.



65 SOUTH ARM ROAD  
 ROKEBY, TAS, 7019

(03) 6263 5800

ranbuild@tastechsheds.com.au



CONSTRUCTION TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA AND AUSTRALIAN STANDARDS WHERE APPLICABLE

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Parish of ORMAIG Land District of MONMOUTH  
Lot 1 on Sealed Plan 155931  
Derivation : Part of 1600-0-0 Gtd. to William Thomas Parramore  
Prior CT 108725/1



PROJECT TITLE:  
Tunks Shed

ADDRESS:  
1478 Colebrook Road,  
Campania, Tas, 7026

DRAWING NUMBER:  
RB1209\_DRIVEWAY

JOB NUMBER:  
RB1209

CLIENT:  
Haylee Tunks

DATE:  
22/04/2026

SCALE: NTS

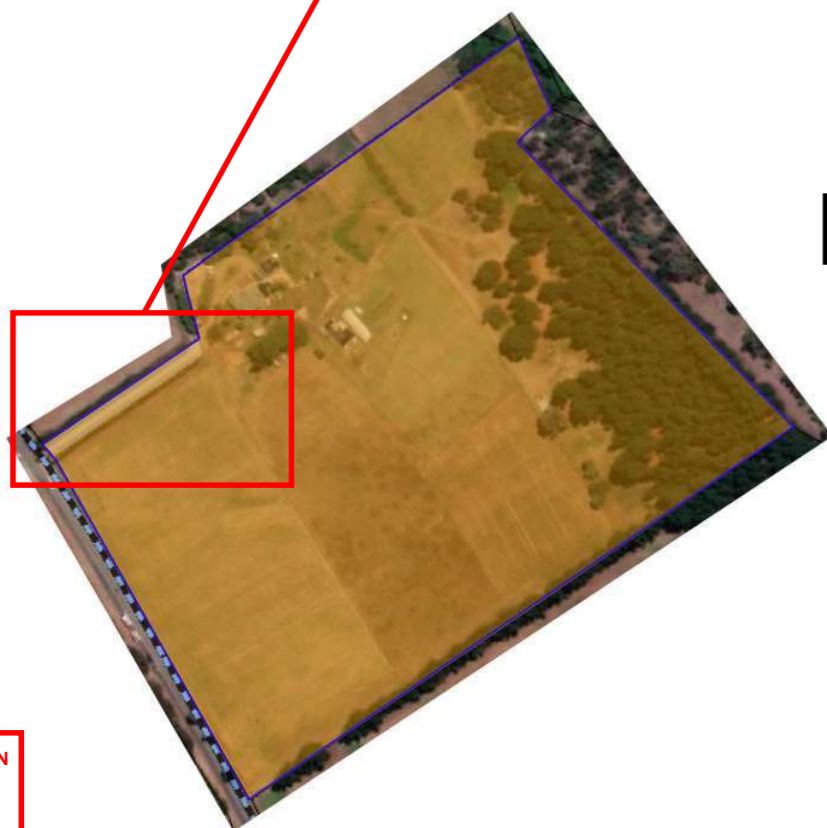
DRAWN: HM



65 SOUTH ARM ROAD  
ROKEBY, TAS, 7019

(03) 6263 5800

ranbuild@tastechsheds.com.au



Existing Driveway

Proposed Outbuilding

Extension of Existing Driveway to Proposed Outbuilding

SMC - KEMPTON  
RECEIVED  
23/4/2026



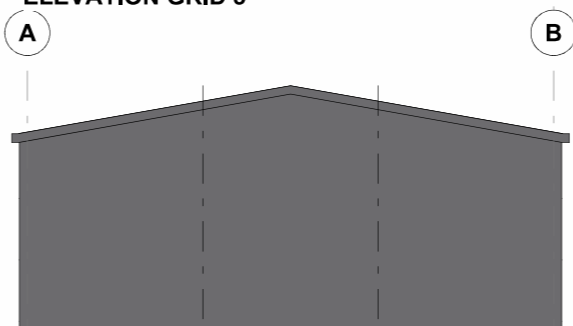
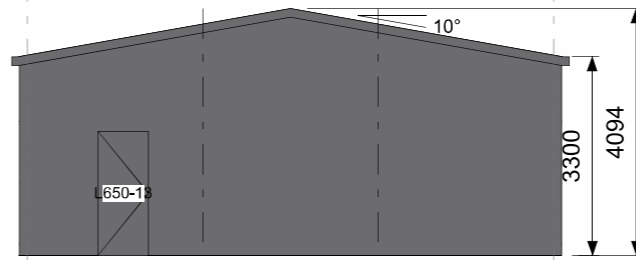
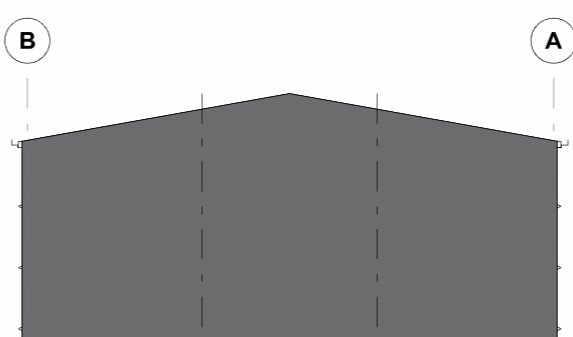
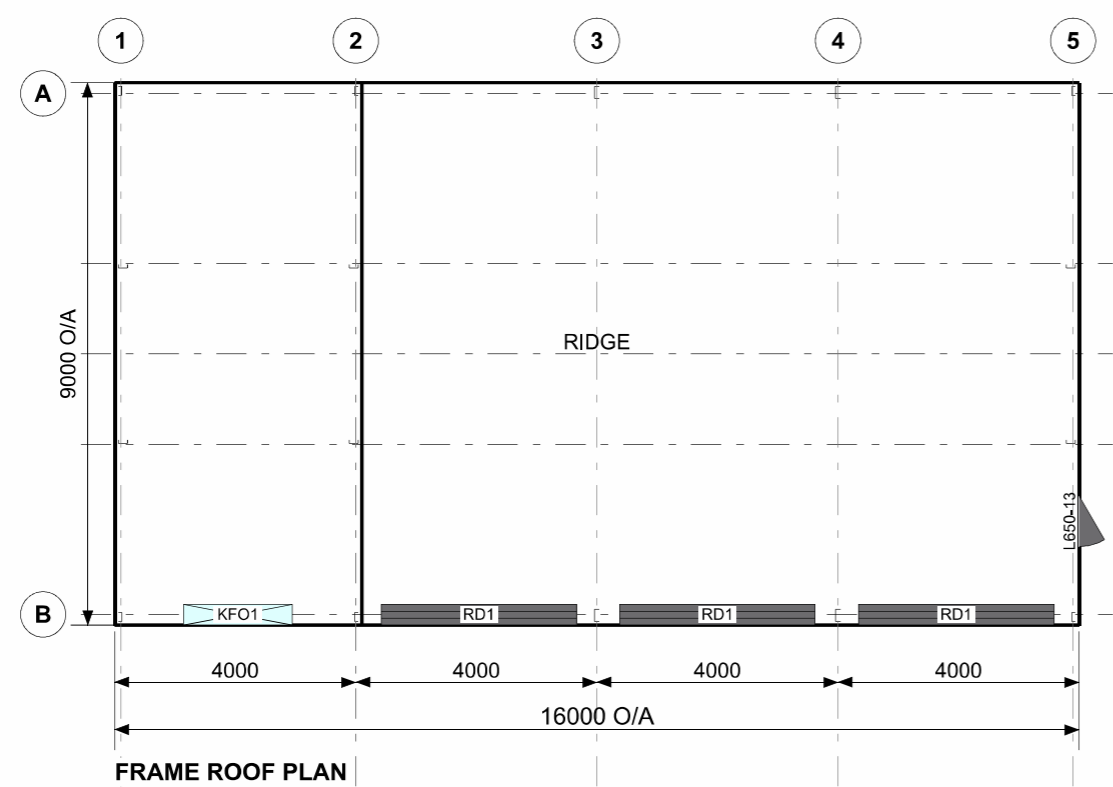
**CLADDING**

ITEM	PROFILE (min)	FINISH	COLOUR
ROOF	TRIMDEK 0.42 BMT	CB	BY
WALLS	TRIMDEK 0.42 BMT	CB	BY
CORNERS	-	CB	BY
BARGE	-	CB	BY
GUTTER	HI-QUAD	CB	BY

0.35bmt=0.40tct; 0.42bmt=0.47tct; 0.48bmt=0.53tct

**ACCESSORY SCHEDULE & LEGEND**

QTY	MARK	DESCRIPTION
3	RD1	Steel-Line R.D, Manual "A", 2900 high x 3241 wide Clear Opening C/B
1	L650-13	Larnec Door & Frame Kit, 650/37, Std. 2040 x 820 C/Bond
1	KFO1	2100H x 1800W Framed Opening. Door must be fitted



250mm fall across shed site between grids 1 & 5  
- Eave height above NGL at grid 5 to be 3,550mm

Site Level across grids A & B

ARCHITECTURAL DRAWING ONLY, NOT FOR CONSTRUCTION USE

CLIENT  
**Dan Lyall**

SITE  
**1478 Colebrook Road  
CAMPANIA TAS 7026**

BUILDING  
**DELUXE  
9000 SPAN x 3300 EAVE x 16000 LONG**

TITLE  
**FLOOR PLAN & ELEVATION**

SCALE A3 SHEET 1:125	DRAWING NUMBER <b>BRWT4-7744</b>	REV <b>A</b>	PAGE <b>1/1</b>
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**CERTIFICATE OF THE RESPONSIBLE DESIGNER**Form **35**

To:  *Owner name*  
 *Address*  
  *Suburb/postcode*

**Designer details:**

Name:  *Category:*   
Business name:  *Phone No:*   
Business address:   
  *Fax No:*   
Licence No:  *Email address:*

**Details of the proposed work:**

**Owner/Applicant**  *Designer's project reference No.*   
**Address:**  *Lot No:*

**Type of work:** Building work  Plumbing work  (*X all applicable*)

**Description of work:**

(*new building / alteration / addition / repair / removal / re-erection water / sewerage / stormwater / on-site wastewater management system / backflow prevention / other*)

**Description of the Design Work (Scope, limitations or exclusions):** (*X all applicable certificates*)

Certificate Type:	Certificate	Responsible Practitioner
	<input checked="" type="checkbox"/> Building design	Architect or Building Designer
	<input checked="" type="checkbox"/> Structural design	Engineer or Civil Designer
	<input type="checkbox"/> Fire Safety design	Fire Engineer
	<input type="checkbox"/> Civil design	Civil Engineer or Civil Designer
	<input type="checkbox"/> Hydraulic design	Building Services Designer
	<input type="checkbox"/> Fire service design	Building Services Designer
	<input type="checkbox"/> Electrical design	Building Services Designer
	<input type="checkbox"/> Mechanical design	Building Service Designer
	<input type="checkbox"/> Plumbing design	Plumber-Certifier; Architect, Building Designer or Engineer
	<input type="checkbox"/> Other (specify)	
Deemed-to-Satisfy: <input checked="" type="checkbox"/>	Performance Solution: <input type="checkbox"/> (X the appropriate box)	
Other details: Structural design of Steel frame Reinforced Concrete Footings for new building		

### Design documents provided:

The following documents are provided with this Certificate –

*Document description:*

Drawing numbers:	Prepared by: Ranbuild RDS	Date: 1/04/2026
<p>- The shed shall be built according to dwg.:</p> <ul style="list-style-type: none"> <li>- 443202 - GA Rev B</li> <li>- ENG1/1 - 443202 Rev B</li> <li>- ENG2/1 - 443202 Rev B</li> <li>- ENG3/1 - 443202 Rev B</li> <li>- ENG4/1 - 443202 Rev B</li> <li>- ENG5/1 - 443202 Rev B</li> <li>- ENG6/1 - 443202 Rev B</li> </ul> <p>All Drawing listed above in this Form 35 are issued for engineering purposes only. Additional Form 35 is required to be issued by a licenced Building Designer to address all other design aspects in accordance to Building Act 2016 - Director's Determination - Director's Specified List</p>		
Attachment 1:	Prepared by: Ranbuild	Date: 1/04/2026
443202 ENG REV B		
Schedules:	Prepared by:	Date:
Specifications:	Prepared by:	Date:
Importance Level: 2 Building Class: 10a		
Computations:	Prepared by:	Date:
Performance solution proposals:	Prepared by:	Date:
Test reports:	Prepared by:	Date:

**Standards, codes or guidelines relied on in design process:**

BCA PLUS Architectural elevations and plan ONLY Alexander Filonov has not been engaged to undertake any geotechnical condition to determine site classification and any inspections of the work to ensure the drawings and specifications with this certificate are complied with.

**Any other relevant documentation:****Attribution as designer:**

I ALEXANDER FILONOV am responsible for the design of that part of the work as described in this certificate; The documentation relating to the design includes sufficient information for the assessment of the work in accordance with the *Building Act 2016* and sufficient detail for the builder or plumber to carry out the work in accordance with the documents and the Act;

This certificate confirms compliance and is evidence of suitability of this design with the requirements of the National Construction Code.

*Name: (print)**Signed**Date*

Designer:

ALEXANDER FILONOV

1/04/2026

Licence No:

CC 4719P

10/4/26

**Assessment of Certifiable Works: (TasWater)**

**Note: single residential dwellings and outbuildings on a lot with an existing sewer connection are not considered to increase demand and are not certifiable.**

**If you cannot check ALL of these boxes, LEAVE THIS SECTION BLANK.**

**TasWater must then be contacted to determine if the proposed works are Certifiable Works.**


**I confirm that the proposed works are not Certifiable Works, in accordance with the Guidelines for TasWater CCW Assessments, by virtue that all of the following are satisfied:**

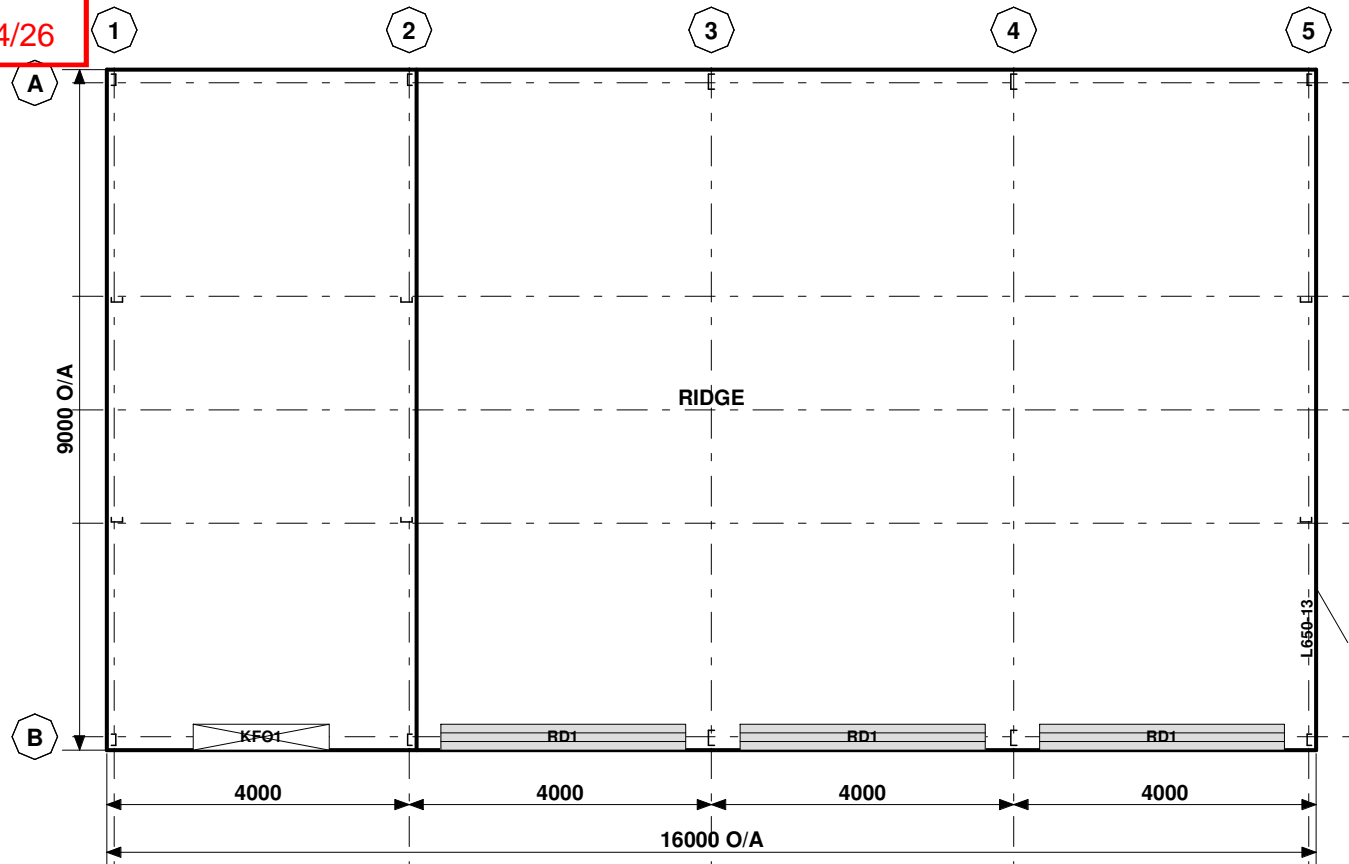
- The works will not increase the demand for water supplied by TasWater
- The works will not increase or decrease the amount of sewage or toxins that is to be removed by, or discharged into, TasWater's sewerage infrastructure
- The works will not require a new connection, or a modification to an existing connection, to be made to TasWater's infrastructure
- The works will not damage or interfere with TasWater's works
- The works will not adversely affect TasWater's operations
- The work are not within 2m of TasWater's infrastructure and are outside any TasWater easement
- I have checked the LISTMap to confirm the location of TasWater infrastructure
- If the property is connected to TasWater's water system, a water meter is in place, or has been applied for to TasWater.

**Certification:**

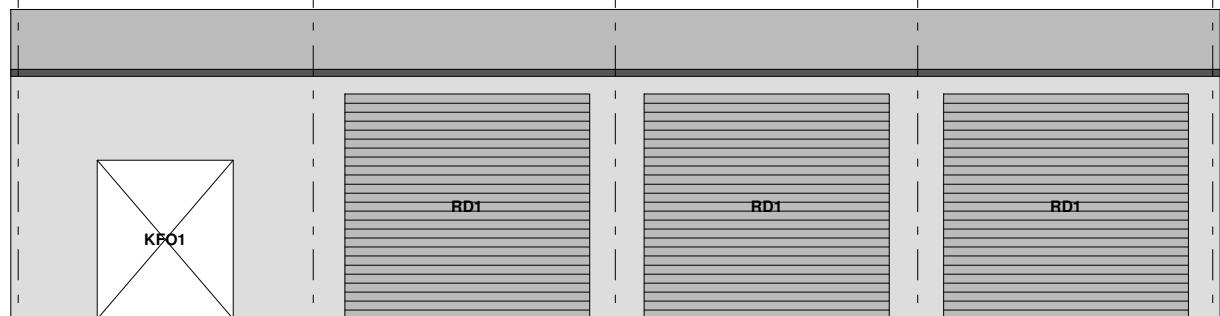
I ALEXANDER FILONOV being responsible for the proposed work, am satisfied that the works described above are not Certifiable Works, as defined within the *Water and Sewerage Industry Act 2008*, that I have answered the above questions with all due diligence and have read and understood the Guidelines for TasWater CCW Assessments.

Note: the Guidelines for TasWater Certification of Certifiable Works Assessments are available at: [www.taswater.com.au](http://www.taswater.com.au)

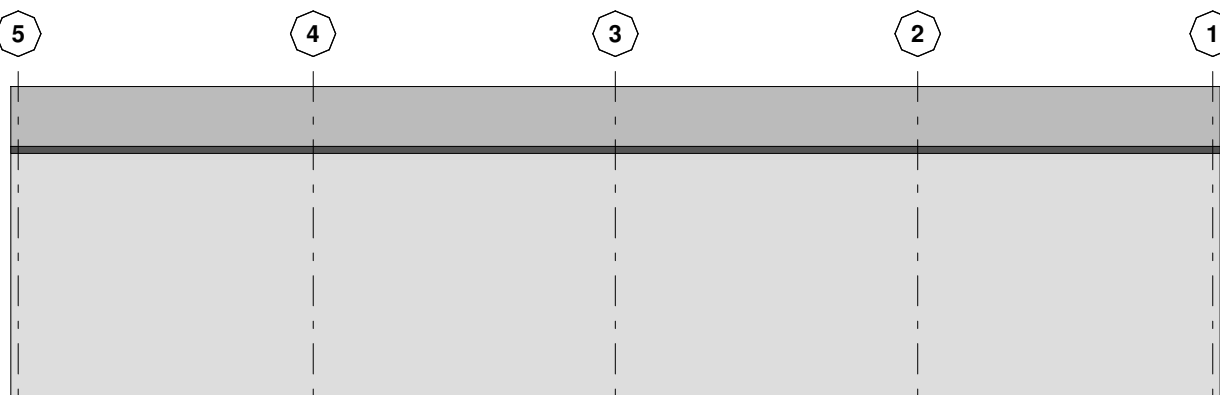
	<i>Name: (print)</i>	<i>Signed</i>	<i>Date</i>
Designer:	ALEXANDER FILONOV		1/04/2026



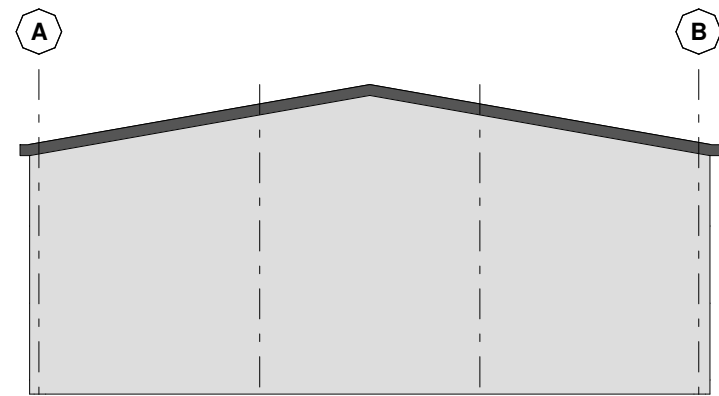
FRAME ROOF PLAN



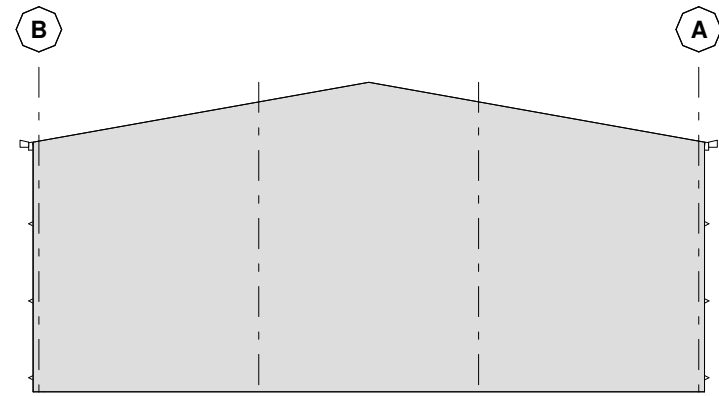
ELEVATION GRID B



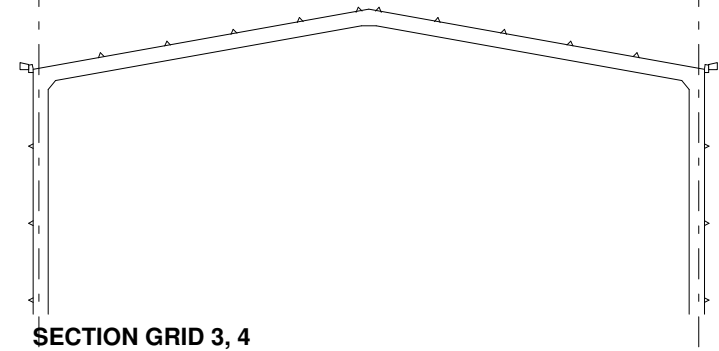
ELEVATION GRID A



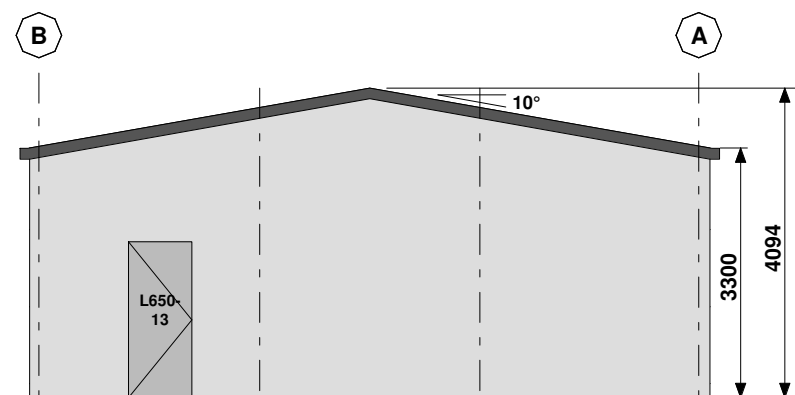
ELEVATION GRID 1



SECTION GRID 2



SECTION GRID 3, 4



ELEVATION GRID 5



CLADDING

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1	KFO1	2100H x 1800W AMI or CAPRIL Glass Slider

Accredited Practitioner

Alexander Filonov  
CC4719P  
LEVEL 1, 12 BEAUMONT ST  
HAMILTON NSW 2303  
+61 2 4962 4311  
01/04/2026

ARCHITECTURAL DRAWING ONLY, FOR BUILDING PERMIT STAGE

CLIENT

Colebrookdale Estate Pty Ltd - Danial & Haylee Lyall

SITE

1478 Colebrook Road  
CAMPANIA TAS 7026

BUILDING

DELUXE  
9000 SPAN x 3300 EAVE x 16000 LONG

TITLE

GENERAL ARRANGEMENT

SCALE	DRAWING NUMBER	REV	PAGE
A3 SHEET 1:100	443202-GA	B	1/7

STRUCTURAL STEELWORK SCHEDULE			CONNECTIONS		
MARK	DESCRIPTION	SECTION	BASE	EAVES	TOP
C1	COLUMN - UNCLAD FRAME	C20019	BC4	KN3	
C2	COLUMN - CLAD FRAME	C15010	BC3	KN2	
C3	COLUMN - END	C15015	EB1		ER1
R1	RAFTER - UNCLAD FRAME	C20019		KN3	AP2
R2	RAFTER - CLAD FRAME	C15012	RA1	KN2	AP1
DM1	MULLION - ROLLER DOOR	C15010	EB2	DM1	MC2
RH1	HEAD - ROLLER DOOR	TS6110 + TS6175	RH1		
RH2	HEAD - ROLLER DOOR	TS6110 + TS6175	RH2		
OM1	OPENING MULLION	63x35x1.0 C-Channel			
OH1	OPENING HEAD	63x35x1.0 C-Channel			
Bw	BRACING - SIDE WALL	35x1.5 STRAP	SB1		
Be	BRACING - END WALL	35x1.5 STRAP	SB1		
Br	BRACING - ROOF	35x1.5 STRAP	SB2		
LB1,2	BRACE - LATERAL FLY	95 x 0.6 STRAP	LB1,2		
F1	FASCIA	C10010	FS2		
P1	PURLINS	TS6110 @ 930	BL1		
G1	GIRTS - SIDE	TS6110 @ 1170	BL1		
G1a		TS6110 @ 1170	BL1		
G2	GIRTS - END	TS6160 @ 1170	BL2		

**GENERAL**

- THIS IS A STANDARDISED DESIGN SUITABLE FOR LIGHT INDUSTRIAL, COMMERCIAL & RURAL BUILDINGS TO STANDARDS & REQUIREMENTS PROVIDED BY RANBUILD.
- THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH RANBUILD ASSEMBLY GUIDE.
- ANY DISCREPANCY SHALL BE REFERRED TO THE ENGINEER BEFORE PROCEEDING WITH WORK.
- ALL MATERIALS & WORKMANSHIP SHALL BE IN ACCORDANCE WITH RELEVANT & CURRENT SAA CODES & WITH BY-LAWS & ORDINANCES OF THE RELEVANT BUILDING AUTHORITIES EXCEPT WHERE VARIED BY THE PROJECT SPECIFICATION.
- ALL DIMENSIONS SHOWN SHOULD BE VERIFIED BY THE BUILDER ON SITE. ENGINEERS DRAWINGS SHALL NOT BE SCALED FOR DIMENSIONS.
- DURING CONSTRUCTION THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION & NO PART SHALL BE OVERSTRESSED. TEMPORARY BRACING SHALL BE PROVIDED BY THE BUILDER TO KEEP THE WORKS & EXCAVATIONS STABLE AT ALL TIMES.
- UNLESS NOTED OTHERWISE ALL LEVELS ARE IN METRES & ALL DIMENSIONS ARE IN MILLIMETRES.
- THE STRUCTURAL COMPONENTS DETAILED ON THESE DRAWINGS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE RELEVANT SAA CODES & NORMAL ENGINEERING PRACTICE.
- ARCHITECTURAL ELEMENTS TO HAVE A MINIMUM OF 20mm CLEARANCE OF THE STRUCTURE & ARE TO BE ARTICULATED.
- IT IS COMMON SENSE TO WORK SAFELY AND TO PROTECT YOURSELF AND OTHERS FROM ACCIDENTS ON SITE. TO DO THIS, YOU MUST ENSURE YOU HAVE IN PLACE SAFE WORK PRACTICES AND APPROPRIATE EQUIPMENT. SAFETY INVOLVES PERSONAL PROTECTION OF EYES, OF SKIN(FROM SUNBURN) AND OF HEARING(FROM NOISE). FALL PROTECTION MUST ALSO BE IN PLACE AS APPLICABLE INCLUDING SAFETY MESH, PERSONAL HARNESSES AND PERIMETER GUARDRAILS. IT IS RECOMMENDED THAT YOU FAMILIARIZE YOURSELF WITH APPLICABLE LAWS, REGULATIONS, RULES, GUIDELINES, CODES OF PRACTICE AND STANDARDS AND THAT YOU ADHERE STRICTLY TO THEM.

**STRUCTURAL STEEL SPECIFICATION**

- ALL STRUCTURAL STEELWORK TO BE CARRIED OUT IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FOLLOWING SAA CODES & SPECIFICATIONS. AS4100 STEEL STRUCTURES CODE AS/NZS 4600 COLD FORMED STEEL STRUCTURES CODE. AS1111 COMMERCIAL BOLTS & SCREWS. AS2887 FARM STRUCTURES (WHERE APPLICABLE).
- PROPRIETARY PRODUCTS ARE TO BE IN ACCORDANCE WITH THE RESPECTIVE MANUFACTURERS INSTRUCTIONS.

**FRAME ASSEMBLY**

- CORRECT FRAME ASSEMBLY IS IMPORTANT TO ACHIEVE OPTIMUM PERFORMANCE OF THE STRUCTURE
- FULLY TENSION BOLTS AT KNEE & APEX JOINTS AS SPECIFIED BEFORE STANDING FRAMES.
- FULLY TENSION BOLTS AT BASE CONNECTIONS AS SPECIFIED IMMEDIATELY AFTER STANDING THE FRAME.
- ROOF & WALL BRACING PROVIDE STRUCTURAL STABILITY WHERE SPECIFIED & MUST BE INSTALLED BEFORE THE CLADDING.

**SELF DRILLING SCREWS**

- QUALITY AND MECHANICAL PROPERTIES OF STRUCTURAL SCREWS MUST COMPLY WITH AS3566.1.
- ALL TEK SCREWS SHALL BE NO. 12 - 14 X 20 U.N.O
- THE MINIMUM DISTANCE OF EDGE/END SCREWS MUST HAVE AN EDGE DISTANCE OF 1.5 X SCREW DIAMETER FROM THE EDGE.
- THE MINIMUM DISTANCE OF SCREW TO SCREW SPACING MUST NOT BE LESS THAN 3 X SCREW DIAMETER BETWEEN ANY SCREWS.

**HIGH TENSILE BOLTS**

- ALL BOLTS SHALL BE M16 / 8.8 / S U.N.O
- CONNECTIONS WITH 8.8S BOLTS SPECIFIED ARE DESIGNED AS FRICTION TYPE JOINTS & BOLTS, NUTS & WASHERS SHALL COMPLY WITH THE RELEVANT REQUIREMENTS OF AS1252.
- 8.8/S BOLTS TO BE INSTALLED IN ACCORDANCE WITH AS4100 & TENSIONED BY AN APPROVED METHOD TO PRODUCE THE FOLLOWING SHANK TENSIONS

BOLT SIZE	SHANK TENSION (kN)
M12	50
M16	90

- FOR THIS DESIGN AN ACCEPTABLE TENSIONING METHOD IS SNUG TIGHT (PODGER SPANNER TIGHT) PLUS HALF A TURN.

**CLADDING**

- ALL ROOF AND WALL CLADDING TO BE INSTALLED IN ACCORDANCE WITH AS1562.1 AND THE MANUFACTURER'S INSTRUCTIONS.
- ROOF AND WALL CLADDING ARE STRUCTURAL DIAPHRAGM BRACINGS. UNDER NO CIRCUMSTANCES SHOULD THE CLADDING BE REMOVED WITHOUT WRITTEN APPROVAL FROM A PRACTICING STRUCTURAL ENGINEER.

**DESIGN LOADING**

- THE STRUCTURAL COMPONENTS SHOWN ON THESE DRAWINGS HAVE BEEN DESIGNED FOR THE FOLLOWING LOAD CONDITIONS COMPLYING WITH RELEVANT AUSTRALIAN STANDARDS INCLUDING AS/NZS 1170.2:2021:-

ROOF DEAD LOAD	SELF WEIGHT ONLY
ROOF LIVE LOAD	(1.8/A+0.12) BUT NOT LESS THAN 0.25kPa AND 1.1kN
WIND LOAD REGION	A1-A5
TERRAIN CATEGORY	2.5
IMPORTANCE LEVEL	2
Ms	1.0
Mt	1.0
INTERNAL PRESSURE COEFFICIENTS	Cpi = -0.65 or +0.7 (OPEN)
SITE CLASS	M (CLAY)
GROUND SNOW LOAD Sg	0.5 kPa
COASTAL DISTANCE	N/A

- ALL DOORS AND WINDOWS SHALL HAVE THE SAME CYCLONIC WIND LOAD RATING AS THE REST OF THE BUILDING ENVELOPE, INCLUDING RESISTANCE TO FLYING DEBRIS AS SPECIFIED IN AS1170.2:2021 AND AS/NZS 4505-2012. DOORS AND WINDOWS SHALL BE CLOSED DURING STORMS. DOORS SHALL BE INSTALLED WITH WIND LOCKS IN CYCLONIC AREAS. SUPPORTING DOCUMENTATION INCLUDING TEST REPORTS SHALL BE AVAILABLE FROM DOORS AND WINDOWS MANUFACTURERS TO CONFIRM LOAD RATING AND ENSURE COMPLIANCE WITH ABOVE MENTIONED STANDARDS AND BCA. DOORS ARE ALSO REQUIRED TO BE SUPPLIED WITH A STICKER THAT SHOWS A RANGE OF INFORMATION INCLUDING THE DESIGN PRESSURE OF THE DOOR ACCORDING TO AS/NZS 4505-2012 REQUIREMENTS.

**COPYRIGHT NOTE**

- THIS DRAWING REMAINS THE INTELLECTUAL PROPERTY OF RANBUILD, AND MUST NOT BE REPRODUCED, COPIED OR MODIFIED WHOLLY OR IN PART WITHOUT THE WRITTEN PERMISSION OF LYSAGHT BUILDING SOLUTIONS PTY LTD trading as RANBUILD

**DRAWING SCHEDULE**

- 443202-GA GENERAL ARRANGEMENT
- ENG1/1-443202 STEEL FRAME SCHEDULE AND NOTES, COVER PAGE
- ENG2/1-443202 STEEL FRAME DIAGRAMS
- ENG3/1-443202 CONNECTION DETAILS
- ENG4/1-443202 RC SLAB PLAN
- ENG5/1-443202 CHEMSET DETAILS
- ENG6/1-443202 RC SLAB DETAILS, CONCRETE SPECIFICATION, SITE NOTES

**Accredited Practitioner**

Alexander Filonov  
CC4719P  
LEVEL 1, 12 BEAUMONT ST  
HAMILTON NSW 2303  
+61 2 4962 4311  
01/04/2026

FOR BUILDING PERMIT STAGE

**CLIENT**

Colebrookdale Estate Pty Ltd - Danial & Haylee Lyall

**SITE**

1478 Colebrook Road  
CAMPANIA TAS 7026

**BUILDING**

DELUXE  
9000 SPAN x 3300 EAVE x 16000 LONG

**TITLE**

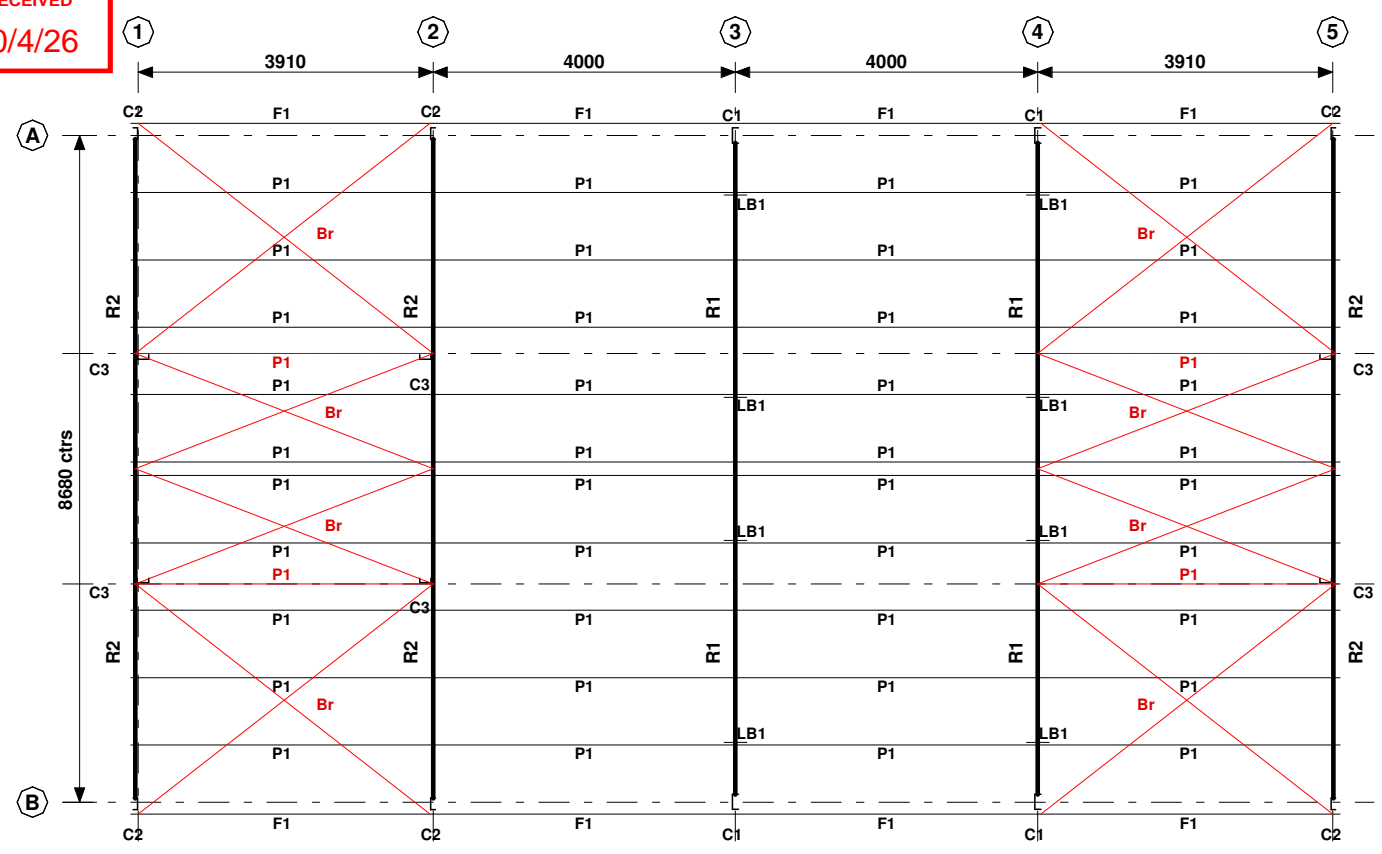
STEEL FRAME SCHEDULE AND NOTES, COVER PAGE

SCALE	DRAWING NUMBER	REV	PAGE
N/A	ENG1/1-443202	B	2/7

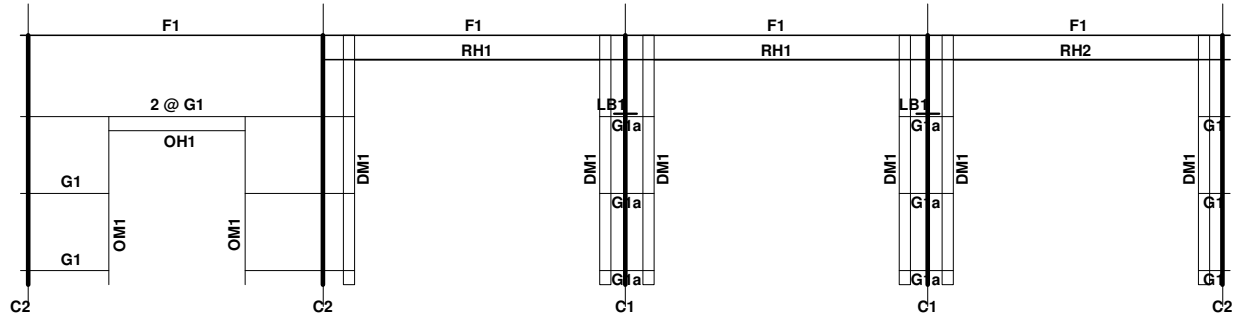
SMC - KEMPTON  
RECEIVED  
10/4/26



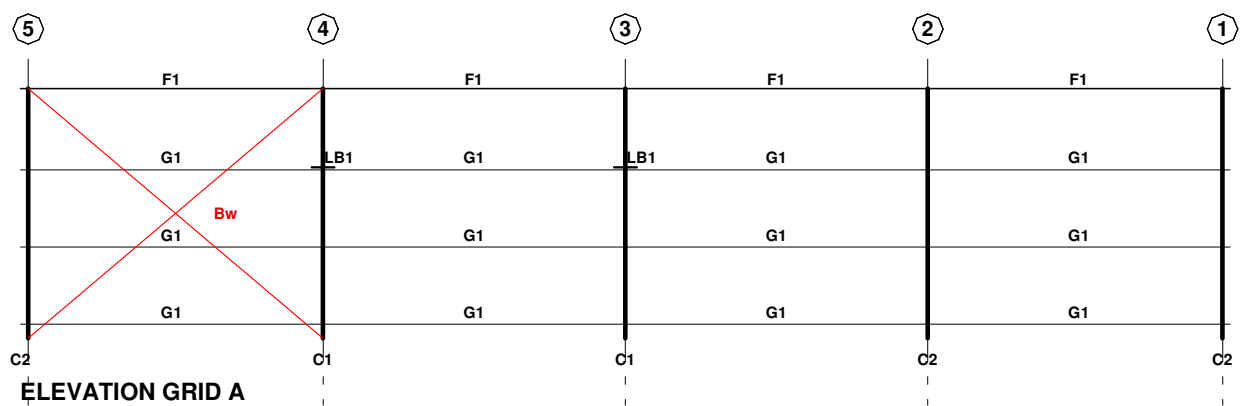
Copyright 2026  
Lysaght Building  
Solutions Pty Ltd  
trading as RANBUILD



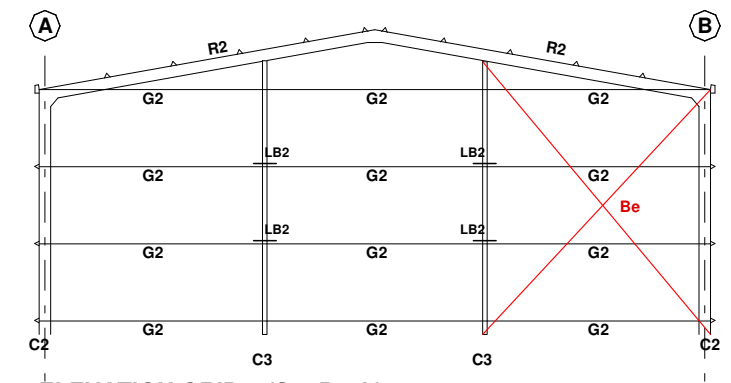
FRAME ROOF PLAN



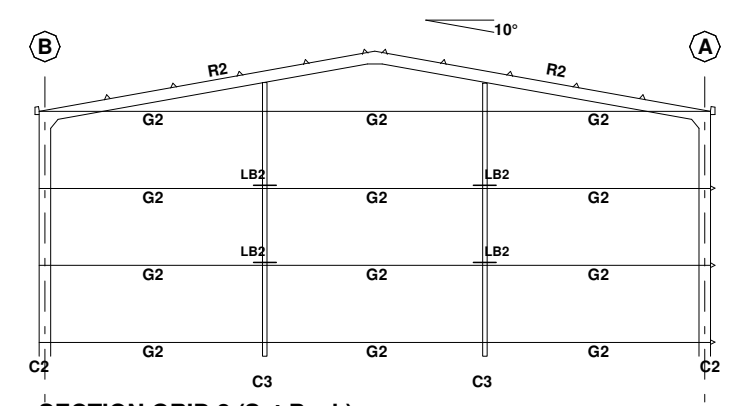
ELEVATION GRID B



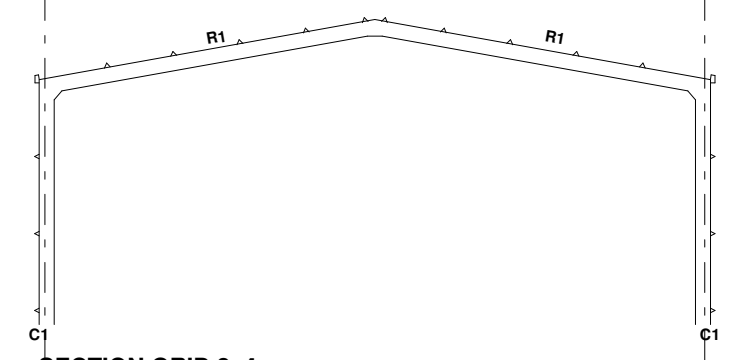
ELEVATION GRID A



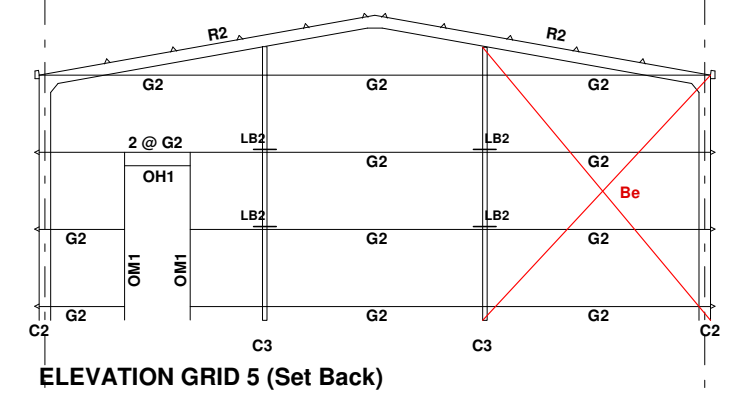
ELEVATION GRID 1 (Set Back)



SECTION GRID 2 (Set Back)



SECTION GRID 3, 4



ELEVATION GRID 5 (Set Back)

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01/04/2026

FOR BUILDING PERMIT STAGE

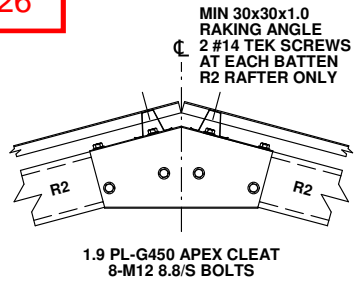
CLIENT  
Colebrookdale Estate Pty Ltd - Danial & Haylee Lyall

SITE  
1478 Colebrook Road  
CAMPANIA TAS 7026

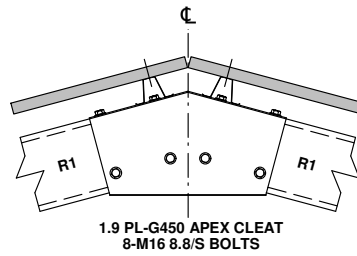
BUILDING  
DELUXE  
9000 SPAN x 3300 EAVE x 16000 LONG

TITLE  
STEEL FRAME DIAGRAMS

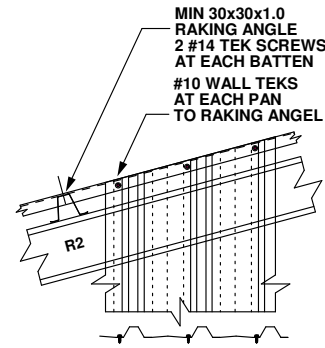
SCALE A3 SHEET 1:100	DRAWING NUMBER ENG2/1-443202	REV B	PAGE 3/7
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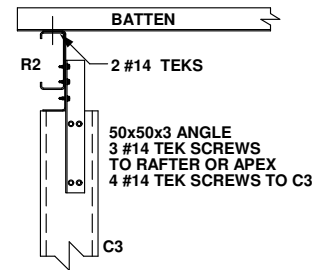
APEX CONNECTION - AP1



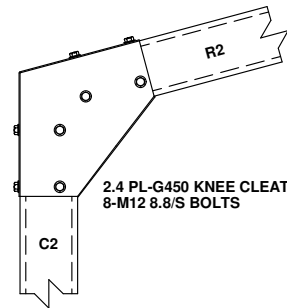
APEX CONNECTION - AP2



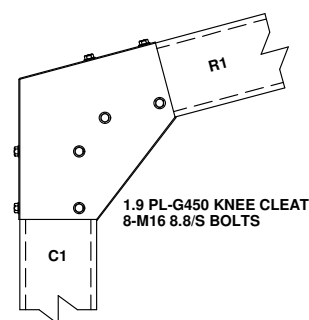
RAKING ANGLE - RA1



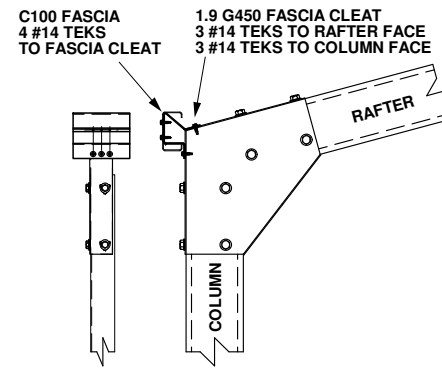
E/W COLUMN TO RAFTER CONNECTION - ER1



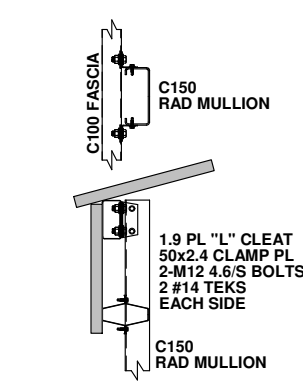
KNEE CONNECTION - KN2



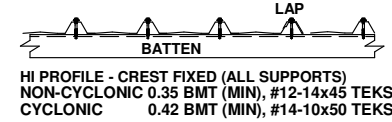
KNEE CONNECTION - KN3



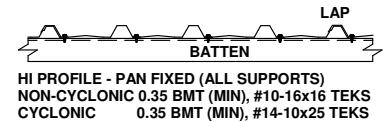
FASCIA CONNECTION - FS2



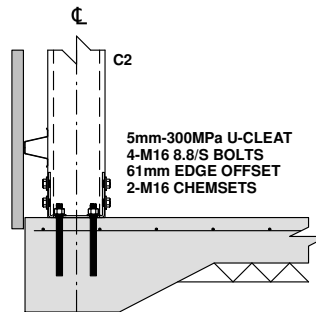
RD MULLION CAP - MC2



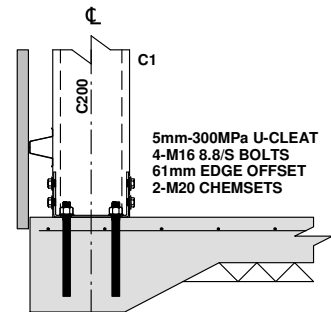
ROOF CLADDING SHEAR DIAPHRAGM - RC1



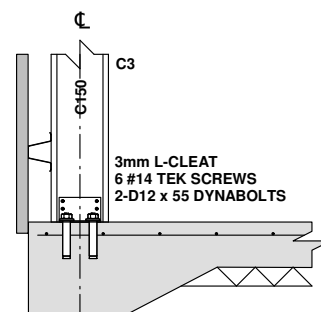
WALL CLADDING SHEAR DIAPHRAGM - WC1



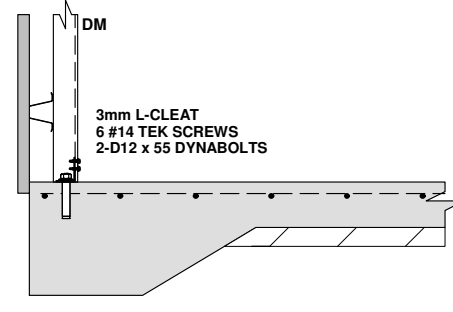
BASE CONNECTION - BC3



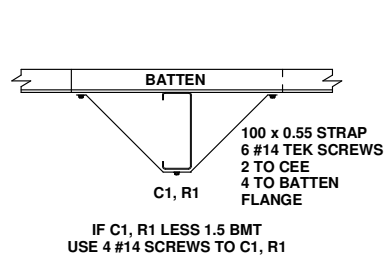
BASE CONNECTION - BC4



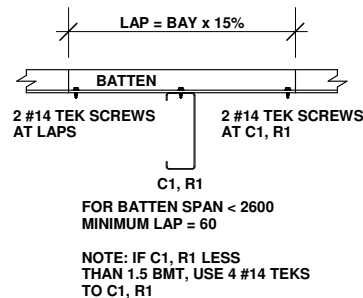
E/W COLUMN BASE - EB1



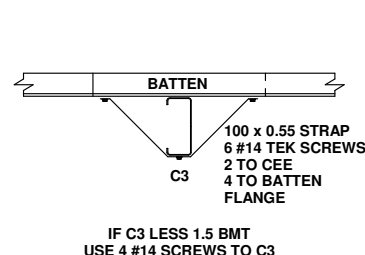
RD MULLION BASE - EB2



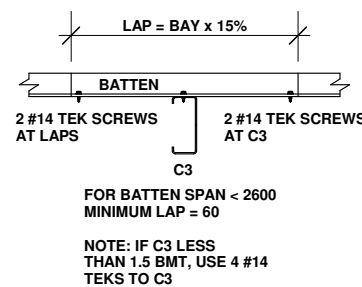
LATERAL BRACE - LB1



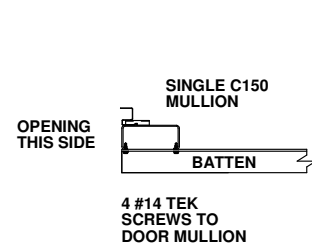
BATTEN LAP - BL1



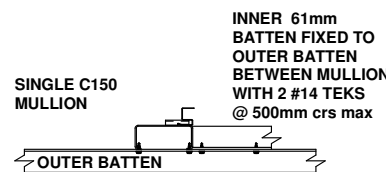
LATERAL BRACE - LB2



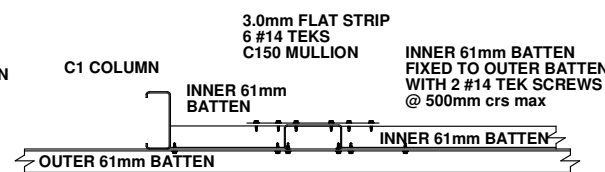
BATTEN LAP - BL2



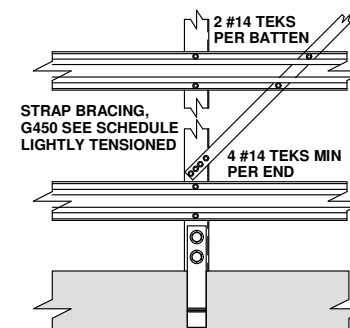
RD MULLION - DM1



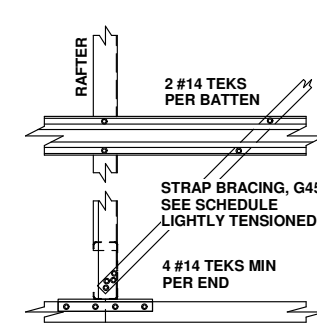
RD HEAD - RH1



RD HEAD - RH2



STRAP BRACING - SB1



STRAP BRACING - SB2

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FOR BUILDING PERMIT STAGE

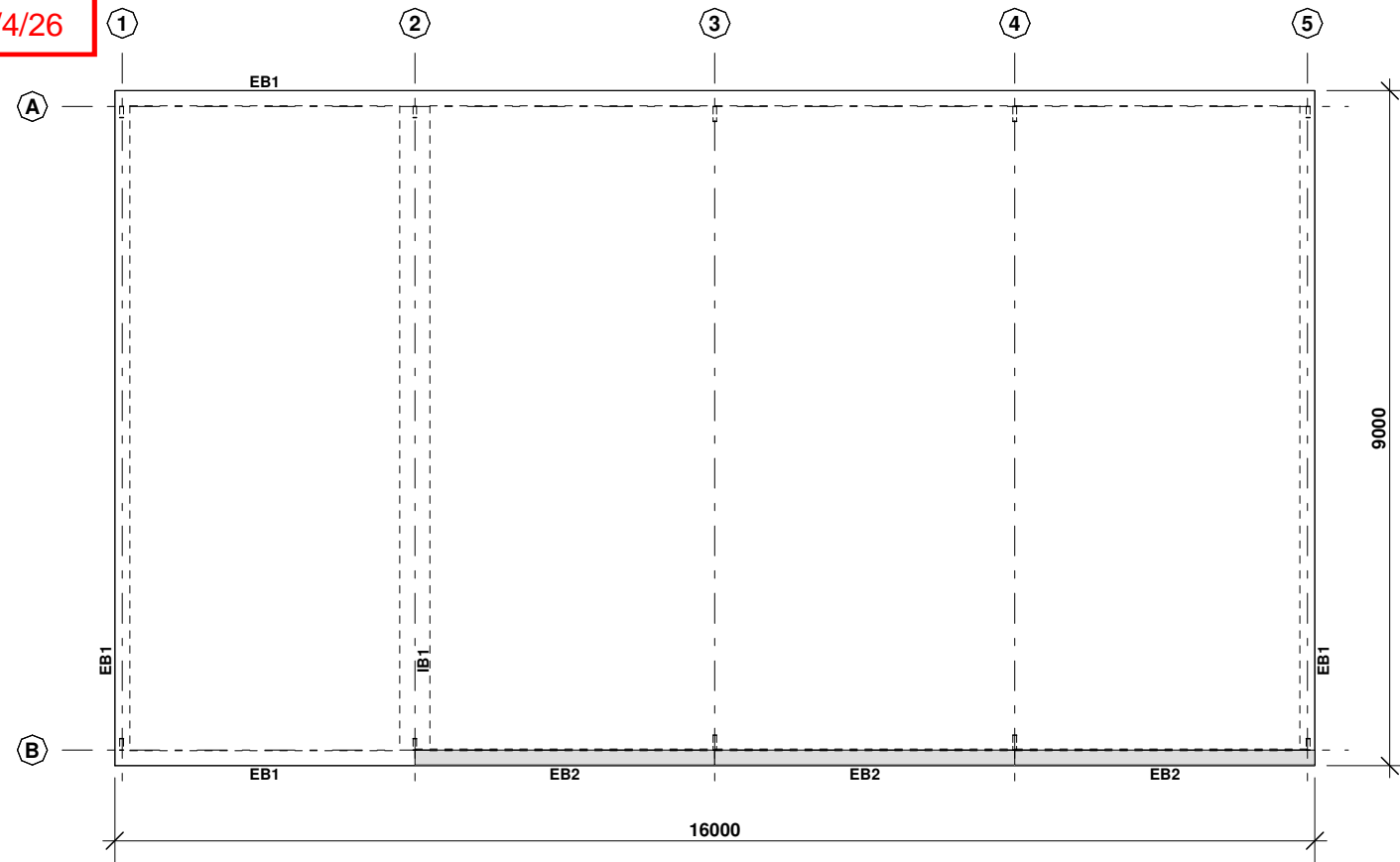
CLIENT  
Colebrookdale Estate Pty Ltd - Danial & Haylee Lyall

SITE  
1478 Colebrook Road  
CAMPANIA TAS 7026

BUILDING  
DELUXE  
9000 SPAN x 3300 EAVE x 16000 LONG

TITLE  
CONNECTION DETAILS

SCALE A3 SHEET 1:20	DRAWING NUMBER ENG3/1-443202	REV B	PAGE 4/7
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## RC SLAB

THIS GENERAL PURPOSE RC FLOOR DESIGN IS SUITABLE FOR STRUCTURES USED FOR DOMESTIC, FARM AND COMMERCIAL NON-HABITABLE BUILDINGS SUCH AS GARAGES, STORAGE SHEDS, BARNs, STABLES ETC. THE DESIGN IS NOT SUITABLE FOR STRUCTURES CONVERTED FOR USE AS A DWELLING. ALL DIMENSIONS SHOULD BE CHECKED AND VERIFIED PRIOR TO COMMENCEMENT OF ANY WORKS. IF SLIDING DOORS ARE INCLUDED ON THIS PROJECT, A STRIP FOOTING OR PAD FOOTINGS WILL BE NECESSARY, AND MUST BE POURED IN CONJUNCTION WITH THIS GARAGE'S SLAB OR FOOTINGS.

SEE ERECTION INSTRUCTIONS FOR ADDITIONAL NOTES.

## REFERENCE

SEE SLAB DETAIL DRAWING FOR:-

- SITE FOUNDATION CLASSIFICATION NOTES
- MINIMUM SITE PREPARATION NOTES
- CONCRETE SPECIFICATION NOTES
- CONCRETE REINFORCEMENT NOTES
- SLAB ON GRADE NOTES
- DETAIL S1/EB1 - SLAB EDGE TYPE 1
- DETAIL S1/EB2 - SLAB EDGE TYPE 2
- DETAIL S1/A - SLAB CONTROL JOINT
- DETAIL S1/C - SLAB CONSTRUCTION JOINT

### Accredited Practitioner

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 01/04/2026

FOR BUILDING PERMIT STAGE

### CLIENT

Colebrookdale Estate Pty Ltd - Danial & Haylee Lyall

### SITE

1478 Colebrook Road  
 CAMPANIA TAS 7026

### BUILDING

DELUXE  
 9000 SPAN x 3300 EAVE x 16000 LONG

### TITLE

RC SLAB PLAN

SCALE  
 A3 SHEET 1:100  
 1:20

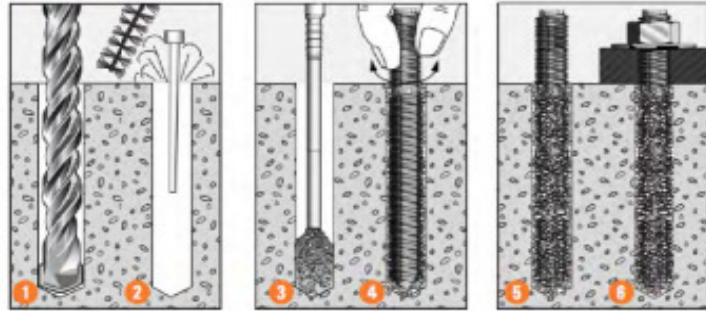
DRAWING NUMBER  
 ENG4/1-443202

REV  
 B

PAGE  
 5/7

# CHEMICAL ANCHOR INSTALLATION (CHEMSET)

## Installation



1. Drill recommended diameter and depth hole.
2. Clean hole with hole cleaning brush.  
Remove all debris using hole blower.
3. Insert mixing nozzle to bottom of hole.  
Fill hole to 3/4 the hole depth slowly,  
ensuring no air pockets form.
4. Insert **Ramset™ ChemSet™ Anchor Stud/rebar** to  
bottom of hole while turning.
5. Allow **ChemSet™ Reo 502™** to cure as per setting times.
6. Attach fixture.

## Installation temperature limits:

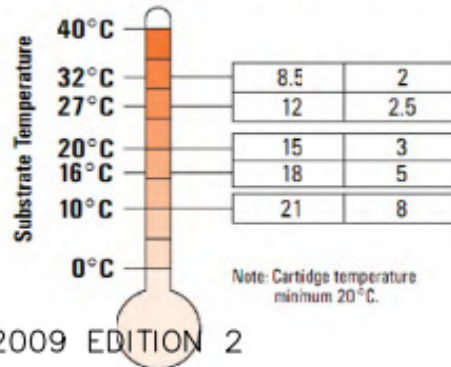
- Substrate: 5°C to 40°C.
  - Adhesive: 20°C to 32°C.
- Load should not be applied to anchor until the chemical has sufficiently cured as specified.

## Service temperature limits:

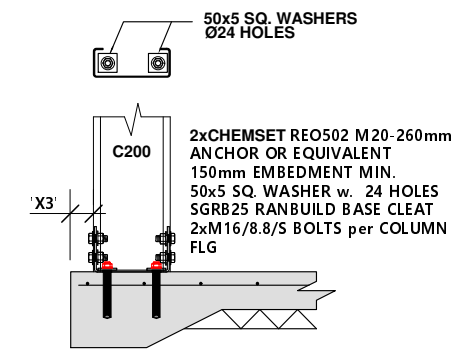
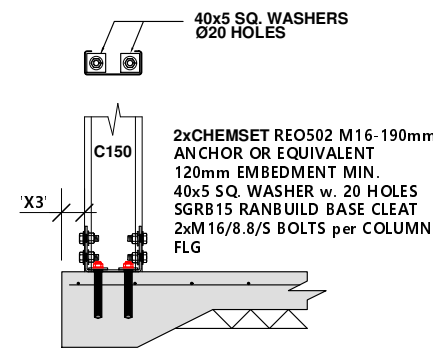
-10°C to 80°C.

## Setting Times

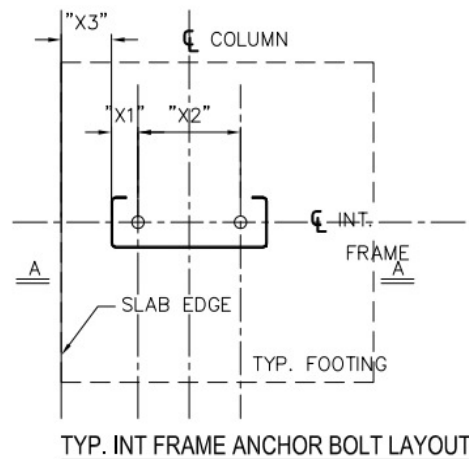
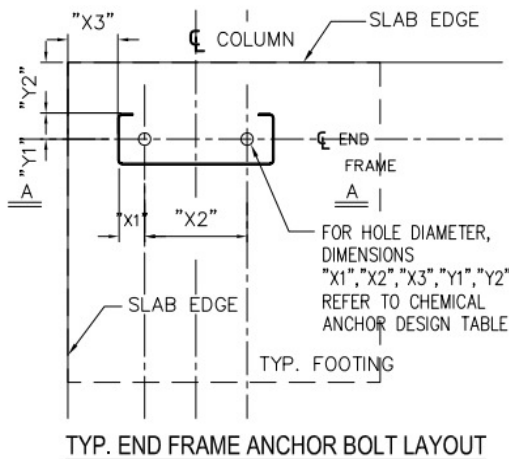
Feo 502™		
Working Time (min)	Cure Time (hrs)	
8.5	2	
12	2.5	
15	3	
18	5	
21	8	



REF: RAMSET SPECIFIERS RESOURCE BOOK 2009 EDITION 2



GIRT TYPE	DISTANCE "X3"	DISTANCE "Y2"
TS61	61mm	61mm



COLUMN SIZE	HOLE DIAMETER	MIN ANCHOR EMBEDMENT	ANCHOR SIZE	ANCHOR TORQUE	DISTANCE "X1"	DISTANCE "X2"	DISTANCE "Y1"	SINGLE ANCHOR STRENGTH LIMIT STATE DESIGN CAPACITY	
								TENSION @ Nur	SHEAR @ Vur
C150	20mm	120mm	M16 - 190mm	95Nm	31mm	90mm	32mm	45KN	13.5KN
C200	24mm	150mm	M20 - 260mm	180Nm	36mm	130mm	38mm	64.5KN	18.5KN

NOTE: ANCHOR DESIGN CAPACITIES ARE STRICTLY BASED UPON THE ANCHOR SIZES, EMBEDMENT LENGTHS, TORQUE REQUIREMENTS, GEOMETRICAL DIMENSIONS PRESENTED IN THIS DRAWING AND 28 DAYS CONCRETE COMPRESSIVE STRENGTH OF 25MPa ONLY. NO ALTERATION IS ALLOWED WITHOUT OFFICIAL WRITTEN CONFIRMATION FROM BLUESCOPE LYSAGHT TECHNOLOGY.

**Accredited Practitioner**  
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01/04/2026

FOR BUILDING PERMIT STAGE

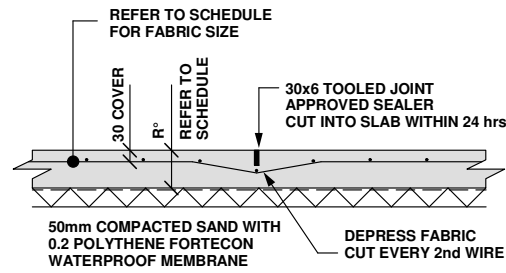
CLIENT  
**Colebrookdale Estate Pty Ltd - Danial & Haylee Lyall**

SITE  
1478 Colebrook Road  
CAMPANIA TAS 7026

BUILDING  
**DELUXE**  
9000 SPAN x 3300 EAVE x 16000 LONG

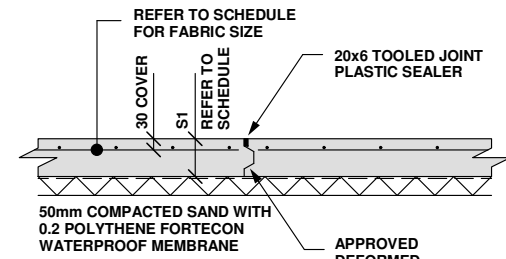
TITLE  
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SCALE A3 SHEET 1:100 1:20	DRAWING NUMBER ENG5/1-443202	REV B	PAGE 6/7
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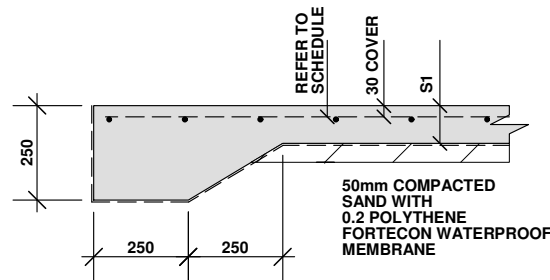
**S1/A**

CONTROL JOINTS MUST BE SUPPLIED AT NOT GREATER THAN 4.5M OR CONCRETE POUR AT A RATIO OF NOT MORE THAN 1:1.2 IN ANY DIRECTION.



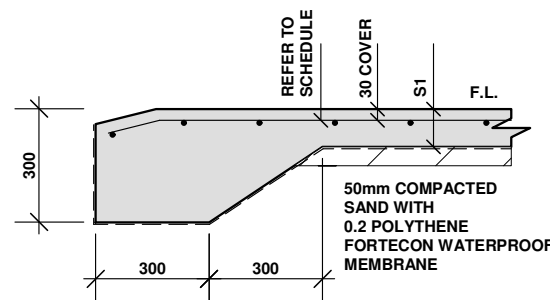
**S1/C**

CONSTRUCTION JOINTS MUST BE SUPPLIED WHERE AN UNBROKEN RUN OF CONCRETE POUR EXCEEDS 30M IN ANY DIRECTION.



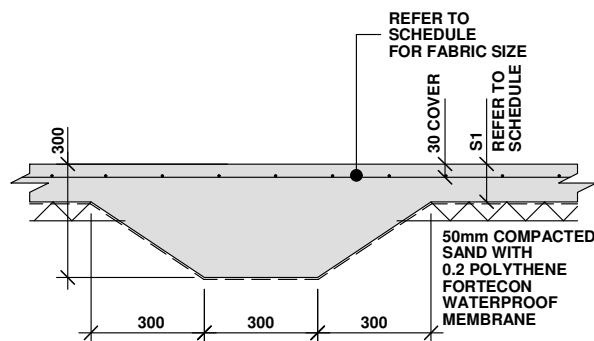
**DET S1/EB1 FOR RC SLAB**

NOT SUITABLE AT OPENINGS SUBJECT TO VEHICLE TRAFFIC



**DET S1/EB2**

REQUIRED AT OPENINGS SUBJECT TO VEHICLE TRAFFIC



**DET S1/IB1**

**SITE FOUNDATION CLASSIFICATION**

TWO COMMON FOUNDATION CONDITIONS & SITE CLASSIFICATIONS IN ACCORDANCE WITH AS2870 ARE USED FOR THE STANDARDISED FOOTING DESIGNS AS FOLLOWS:-

- STIFF CLAY CONFORMING TO AS2870 CLASS M. MINIMUM SAFE BEARING CAPACITY - 100 kPa. SHAFT ADHESION - 20 kPa
- DENSE SAND CONFORMING TO AS2870 CLASS A/S. MINIMUM SAFE BEARING CAPACITY - 100 kPa.
- A SITE SPECIFIC GEOTECHNICAL INVESTIGATION IS RECOMMENDED & IF CONDITIONS OTHER THAN ASSUMED ARE ENCOUNTERED A DIFFERENT FOOTING DESIGN MAY BE REQUIRED & SHOULD BE REFERRED TO A QUALIFIED LOCAL ENGINEER.
- ALL FOOTINGS TO BE FOUNDED IN NATURAL GROUND.
- NO FOOTING TO BE FOUNDED ON FILL MATERIAL.
- REFERENCE SHOULD BE MADE TO CSIRO PUBLICATION 10.91 GUIDE TO HOME OWNERS ON FOUNDATION MAINTENANCE & FOOTING PERFORMANCE

**MINIMUM SITE PREPARATION**

- STRIP SITE OF ALL TOP SOIL & DISCARD TO SPOIL. THE EXPOSED SURFACE TO BE PROOF ROLLED & AREAS REMAINING SOFT OR SPONGY ARE TO BE EXCAVATED TO SPOIL.
- PLACE APPROVED GRANULAR FILL MATERIAL TO THE REQUIRED BUILDING PLATFORM LEVEL IN LAYERS NOT EXCEEDING 200mm AND COMPACT BY ROLLING WITH SUITABLE EQUIPMENT TO ACHIEVE A DRY DENSITY RATIO OF 98% STANDARD COMPACTION TO AS1289 - E1.1 AT OPTIMUM MOISTURE CONTENT. THE TOP 200mm TO BE COMPACTED TO 100% STANDARD DRY DENSITY.
- THE COMPACTION OF ALL FILL MATERIAL TO BE INSPECTED AND APPROVED BY A RESPONSIBLE GEOTECHNICAL CONSULTANT.

**CONCRETE REINFORCEMENT**

- REINFORCEMENT IS REPRESENTED DIAGRAMATICALLY & NOT NECESSARILY IN TRUE PROJECTION.
- REINFORCEMENT NOTATION:-  
N DENOTES HOT ROLLED DEFORMED BAR.  
SL DENOTES HARD DRAWN WELDED WIRE FABRIC. THE NUMBER IMMEDIATELY FOLLOWING BAR NOTATION IS THE NOMINAL DIAMETER IN mm.
- PROVIDE BAR SUPPORTS OR SPACERS TO GIVE THE FOLLOWING COVER TO ALL REINFORCEMENT UNLESS NOTED OTHERWISE.  
FOOTINGS 80 BOTTOM, 65 TOP & SIDES  
SLABS 30 BOTTOM, 20 TOP  
BEAMS 40 BOTTOM & SIDES TO STIRRUPS. TOP COVER AS DETAILED
- PROVIDE 2N12 DIAGONAL CORNER BARS 900 LONG AT ALL RE-ENTRANT CORNERS OF OPENINGS IN SLABS AND THESE BARS TO BE POSITIONED 30mm FROM THE CORNER.

**CONCRETE SPECIFICATION**

- CARRY OUT ALL WORK IN ACCORDANCE WITH THE CURRENT ISSUE OF AS3600 & THE SPECIFICATION.
- CONCRETE SIZES SHOWN DO NOT INCLUDE FINISH & MUST NOT BE REDUCED OR HOLED IN ANY WAY WITHOUT THE ENGINEERS APPROVAL. DEPTH OF BEAMS INCLUDE SLAB THICKNESS.
- SLABS & BEAMS ARE TO BE POURED TOGETHER.
- CONSOLIDATE BY VIBRATION.
- SLAB CONCRETE TO BE AS SHOWN IN SLAB ON GRADE CRITERIA.
- BORED PIER CONCRETE SHALL HAVE  $F_c = 20$  MPa, MAXIMUM AGGREGATE SIZE = 20 mm, SLUMP = 100 mm, EXCEPT FOR BCA CLASSES 2 TO 9 BUILDINGS CONCRETE SHALL HAVE  $F_c = 32$ MPa.
- PROVIDE 0.2 POLYTHENE FORTICON WATERPROOF MEMBRANE UNDER ALL SLABS WITH LAPPED & TAPED JOINTS.
- PLACE PUMP MIX CONCRETE AS SPECIFIED BELOW TO ACCURATE LEVELS AS PER ARCHITECTS SPECIFICATION.
- PROVIDE CONTROL JOINTS AS INDICATED BY NEATLY SAW CUTTING 40 x 6 GROOVES WITHIN 12 HOURS OF THE FINAL FLOAT OF THE CONCRETE.
- CURE SLAB FOR 7 DAYS AFTER PLACEMENT BY MAINTAINING A CONTINUOUSLY WET SURFACE BY APPROVED METHODS. FLOODING & COVERING WITH POLYTHENE IMMEDIATELY AFTER FINISHING IS AN APPROVED METHOD.
- SEALING OF JOINTS TO BE CARRIED OUT ONE MONTH MINIMUM AFTER CURING IS COMPLETE.
- PROVIDE PROPER STORMWATER DRAINAGE AWAY FROM THE BUILDING.

SLAB ON GRADE CRITERIA	
CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS (MPa)	20
FLEXURAL STRENGTH AT 90 DAYS (MPa)	5
SLUMP (mm)	100
AGGREGATE MAXIMUM SIZE (MM)	20
CEMENT TYPE	SL
CEMENT CONTENT (kg/cubic metre) MIN	320
FLY ASH CONTENT (kg/cubic metre) MAX	70
WATER / CEMENT RATIO (MAX)	0.45
MICROSTRAIN AT 56 DAYS	600
FLOOR FINISH - BURNISHED STEEL TROWEL	NON SLIP
FLOOR TOLERANCE	CLASS B

- FOR OTHER LOAD CONDITIONS A DESIGN VARIATION IS REQUIRED & SHOULD BE REFERRED TO A QUALIFIED LOCAL ENGINEER.

**DIMENSION SCHEDULE**

S1	100RC SLAB
FABRIC	SL62T mesh

**Accredited Practitioner**

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CC4719P  
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HAMILTON NSW 2303  
+61 2 4962 4311  
01/04/2026

FOR BUILDING PERMIT STAGE

**CLIENT**

Colebrookdale Estate Pty Ltd - Danial & Haylee Lyall

**SITE**

1478 Colebrook Road  
CAMPANIA TAS 7026

**BUILDING**

DELUXE  
9000 SPAN x 3300 EAVE x 16000 LONG

**TITLE RC SLAB DETAILS, CONCRETE SPECIFICATION, SITE NOTES**

SCALE A3 SHEET 1:20	DRAWING NUMBER ENG6/1-443202	REV B	PAGE 7/7
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### Agent Authorisation

Project Address:	1478 COLEBROOK RD CAMPANIA TAS 7026
------------------	-------------------------------------

I/we

Owner Name/s:	HAYLEE PETA TUNKS
Postal Address:	1478 COLEBROOK RD CAMPANIA TAS 7026
Phone Number:	0409 035 459
Email Address:	colebrookdale@outlook.com

hereby appoint the following person/company representative

Agent Name:	TasTech Sheds (Ranbuild Hobart)
Postal Address:	65 South Arm Road, Rokeby, 7019
Phone Number:	(03) 6263 5800
Email Address:	<a href="mailto:ranbuild@tastechsheds.com.au">ranbuild@tastechsheds.com.au</a>

Act as my/our authorized agent to apply for any required certificates and permits, and to provide any necessary information to, or communication with the relevant council as required in accordance with the Building Act 2016.

Owner Name:	Haylee Tunks	Owner Signature:	<i>Haylee Tunks</i>	Date:	25.3.2026
Owner Name:		Owner Signature:		Date:	

## SEARCH OF TORRENS TITLE

VOLUME 155931	FOLIO 1
EDITION 5	DATE OF ISSUE 19-May-2023

SEARCH DATE : 02-Apr-2026

SEARCH TIME : 05.53 pm

### DESCRIPTION OF LAND

Parish of ORMAIG Land District of MONMOUTH

Lot 1 on Sealed Plan [155931](#)

Derivation : Part of 1600-0-0 Gtd. to William Thomas Parramore

Prior CT [108725/1](#)

### SCHEDULE 1

[N125098](#) TRANSFER to HAYLEE PETA TUNKS Registered  
19-May-2023 at 12.01 pm

### SCHEDULE 2

Reservations and conditions in the Crown Grant if any

[SP155931](#) EASEMENTS in Schedule of Easements

[SP155931](#) FENCING COVENANT in Schedule of Easements

[SP155931](#) WATER SUPPLY RESTRICTION

[SP155931](#) SEWERAGE AND/OR DRAINAGE RESTRICTION

[SP108725](#) FENCING PROVISION in Schedule of Easements

[E345803](#) MORTGAGE to National Australia Bank Limited

Registered 19-May-2023 at 12.02 pm

### UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



<b>SCHEDULE OF EASEMENTS</b>	Registered Number <b>SP 155931</b>
<b>NOTE:</b> THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	

PAGE 1 OF 3 PAGE/S

**EASEMENTS AND PROFITS**

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

**Fencing Covenants**

The owner(s) of each lot on the Plan covenants with the Vendor (Robert Damien Sloane and Elizabeth Anne Sloane) that the Vendor shall not be required to fence.

~~Lots 1 and 2 on the Plan are subject to the fencing provision more fully set forth in the schedule of easements and covenants to sealed plan SP 108725.~~

**Easements**

(appurtenant to Lot 5 on SP108725)


Lot 2 on the Plan is subject to the Pipeline, Pumphouse and Powerline Easements over that part of the said Lot 2 marked "PIPELINE, PUMPHOUSE & POWERLINE EASEMENT 3.00 WIDE" on the Plan and being more particularly set forth on the schedule of easements ~~and covenants~~ to sealed plan SP 108725.

Lots 1 and 2 on the Plan are subject to a right to pass and repass in favour of Joseph Hodgson, Mary Rumney and John Johnstone over a certain road leading from the Main Road from Colebrook to Richmond and extending to the Coal River as is more fully set forth in Indenture of Conveyance registered number 8/3211.

Lot 1 on the Plan is subject to a Right of carriage way appurtenant to Lot 2 on the Plan over that part of the said Lot 1 marked "RIGHT OF WAY (PRIVATE) 10.00 WIDE" on the Plan.

Lot 2 on the Plan is together with a Right of carriage way over that part of Lot 1 on the Plan marked "RIGHT OF WAY (PRIVATE) 10.00 WIDE" on the Plan.

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: ROBERT DAMIEN SLOANE & ELIZABETH ANNE SLOANE FOLIO REF: Volume 108725 Folio 1 SOLICITOR & REFERENCE: MURDOCH CLARKE (DMW) S0871513	PLAN SEALED BY: Southern Midlands Council DATE: <u>5-11-08</u> <u>5893311</u> REF NO. <span style="float: right;"> Council Delegate</span>
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**NOTE:** The Council Delegate must sign the Certificate for the purposes of identification.

<b>ANNEXURE TO SCHEDULE OF EASEMENTS</b> PAGE 2 OF 3 PAGES	Registered Number  <b>SP 155931</b>
SUBDIVIDER: ROBERT DAMIEN SLOANE & ELIZABETH ANNE SLOANE FOLIO REFERENCE: Volume 108725 Folio 1	

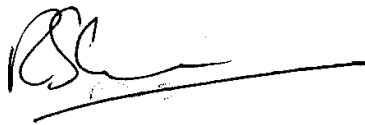

Lot 2 on the Plan is subject to an Electricity Infrastructure easement (as hereinafter defined) in favour of Lot 1 on the Plan over that part of the said Lot 2 marked "ELECTRICITY INFRASTRUCTURE EASEMENT 12.00 WIDE" on the Plan.

"Electricity Infrastructure Easement" means the full and free right and liberty for the owner(s) for the time being of Lot 1 on the Plan and its or their successors and assigns and its or their servants, agents and contractors at all times hereafter:

- (a) To clear the said strip of land marked "ELECTRICITY INFRASTRUCTURE EASEMENT 12.00 WIDE" on the Plan (in this definition called "the servient land") and to erect, construct, place, inspect, alter, repair, renew, maintain and use in upon over and along and remove from the servient land towers, poles, wires, cables, apparatus, appliances and other ancillary material and structures (all of which are in this definition collectively referred to as "the Lines") for the transmission and distribution of electrical energy and for all purposes incidental thereto;
- (b) To cause or permit electrical energy to flow or be transmitted through and long the Lines;
- (c) To cut away remove and clear of the Lines all trees and other obstructions and/or erections of any nature whatsoever which may at any time overhang encroach or be in or on the servient land and which may in any way endanger or interfere with the proper operation of the Lines **provided that** all damage occasioned thereby shall be made good; and
- (d) To enter into and upon the servient land for the purpose of access to and egress from the servient land for all or any of the abovementioned purposes with or without all necessary plant, equipment, machinery and vehicles of every kind **provided that** all damage occasioned thereby shall be made good.

Lot 1 on the plan is together with a Electricity Infrastructure Easement over the Electricity Infrastructure Easement 12.00 wide on the plan.

Signed by **ROBERT DAMIEN SLOANE**  
and **ELIZABETH ANNE SLOANE**  
as the registered proprietor of the land  
comprised in folio of the register Volume  
108725 Folio 1 in the presence of:

*Witness*  
 IAN ROBERT AINSLIE  
 30 ACTON DR. ACTON PARK 7110  
 CONSULTANT

**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

<p align="center"><b>ANNEXURE TO SCHEDULE OF EASEMENTS</b></p> <p align="center">PAGE 3 OF 3 PAGES</p>	<p align="center">Registered Number</p> <p align="center"><b>SP 155931</b></p>
<p>SUBDIVIDER: ROBERT DAMIEN SLOANE &amp; ELIZABETH ANNE SLOANE FOLIO REFERENCE: Volume 108725 Folio 1</p>	

Executed by **COMMONWEALTH BANK OF AUSTRALIA** as  
Mortgagee pursuant to memorandum of mortgage C827100  
who hereby consents to the schedule of easements within:

SIGNED SEALED and DELIVERED  
for and on behalf of COMMONWEALTH BANK  
OF AUSTRALIA by its Attorney  
*Sherrin Keenan*  
under Registration Power of Attorney No. 72/6177  
who certifies that he/she is  
*Conveyancing Officer*  
of the COMMONWEALTH BANK OF AUSTRALIA and  
declares that he/she has received no notice  
of revocation of the said Power of Attorney and  
in the presence of:

.....  
Bank Officer Melbourne  
*Jolanta Martin*  
385 Bourke St.  
Melbourne 3000

*d.k.g.*

**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.