



Public Notice Details

Application Details

Application No	DA2600046
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Property Details

Property Location	217 Yarlington Road Colebrook
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Application Information

Application Type	Discretionary Development Application
Development Category	Dwelling
Advertising Commencement Date	7/5/26
Advertising Closing Period	21/5/26

If the Council Offices are closed during normal office hours within the above period, the period for making representations is extended.

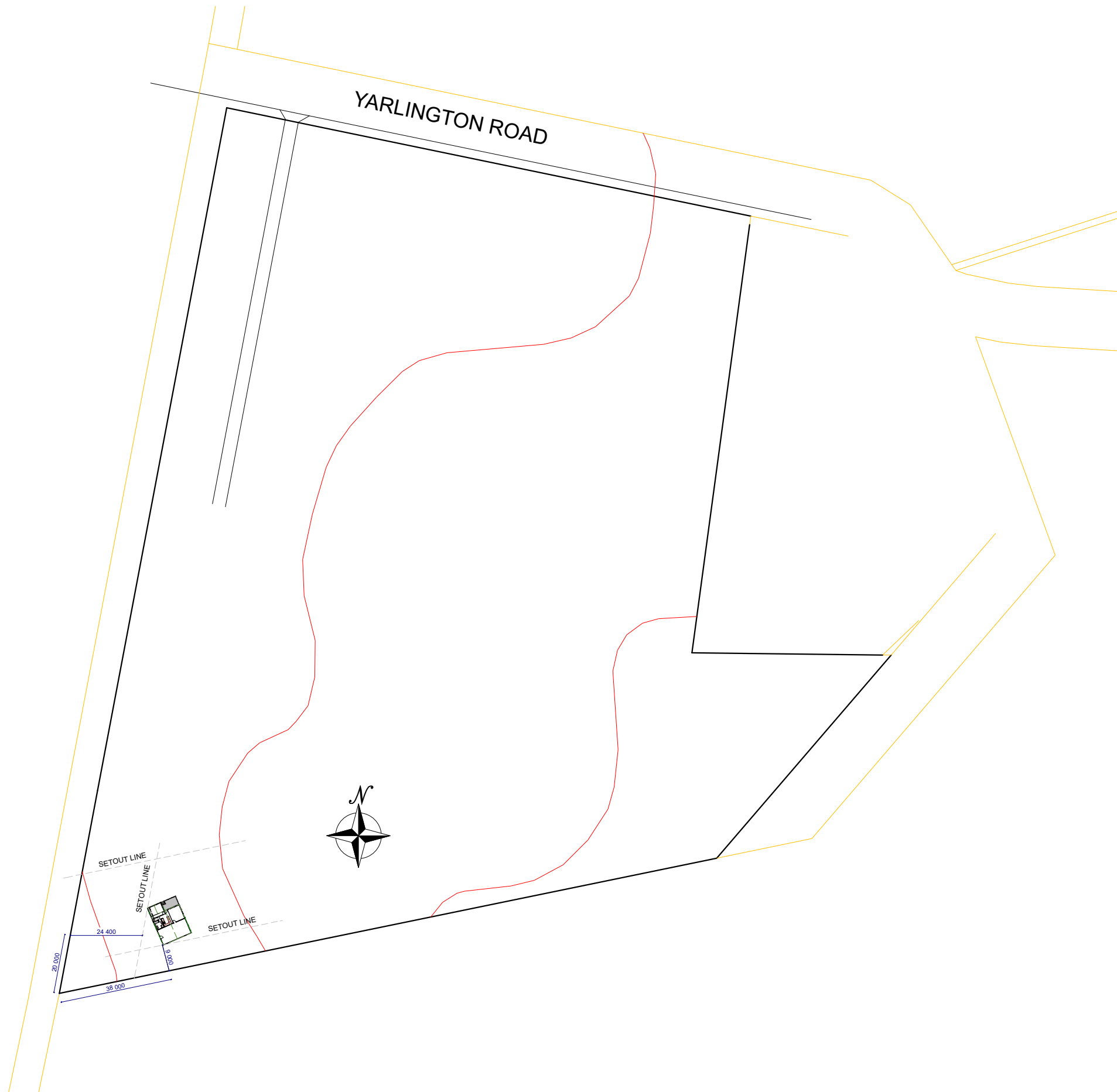
If you need any further information, you're welcome to contact the Planning Department. A planner in the Development and Environmental Services section can be reached on 6254 5050 or at planningenquiries@southernmidlands.tas.gov.au.

Representations on this application may be made to the General Manager in writing either by

Post: PO Box 21, Oatlands Tas 7120
Email: mail@southernmidlands.tas.gov.au
Fax: 03 6254 5014

All representations must include the authors full name, contact number and postal address and be received by the advertising closing date.

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NOTES & LEGEND

SOIL AND WATER MANAGEMENT STRATEGIES

DOWNPIPES TO BE CONNECTED INTO RAINWATER STORAGE TANK AS SOON AS ROOF IS INSTALLED

INSTALL AG DRAIN TO CUT AREA PRIOR TO FOOTING EXCAVATION.

- DENOTES 100mm SEWER
- DENOTES 90mm STORMWATER

EXCAVATED MATERIAL TO BE PLACES UPSIDE OF AG DRAIN. TO BE REMOVED WHEN BUILDING WORKS ARE COMPLETE AND USED AS FILL ON SITE FOR ANY LOW POINTS. INSTALL A SEDIMENT FENCE ON DOWNSLOPE OF MATERIAL.

CONSTRUCTION VEHICLES TO BE PARKED ON THE STREET OR THE DRIVEWAY ONCE GRAVEL IS COMPACTED, TO PREVENT TRANSFERRING DEBRIS ONT CHAFFEYS DRIVE.

SOIL AND WATER MANAGEMENT STRATEGIES (SECTION 121 OF THE BUILDING ACT)





IF EXCAVATION IS TO A LEVEL BELOW THAT OF THE ADJOINING OWNERS FOOTING, ALONG THE TITLE BOUNDARY OR WITHIN 3 METRES OF A BUILDING BELONGING TO AN ADJOINING OWNER, THE BUILDER MUST (AS A MINIMUM) PROVIDE AND MAINTAIN A GUARD TO SUPERVISE THE EVCAVATION. ADJOINING OWNER TO BE NOTIFIED USING FORM 6(BUILDING AND PROTECTION WORK NOTICE) BY THE BUILDING SURVEYOR

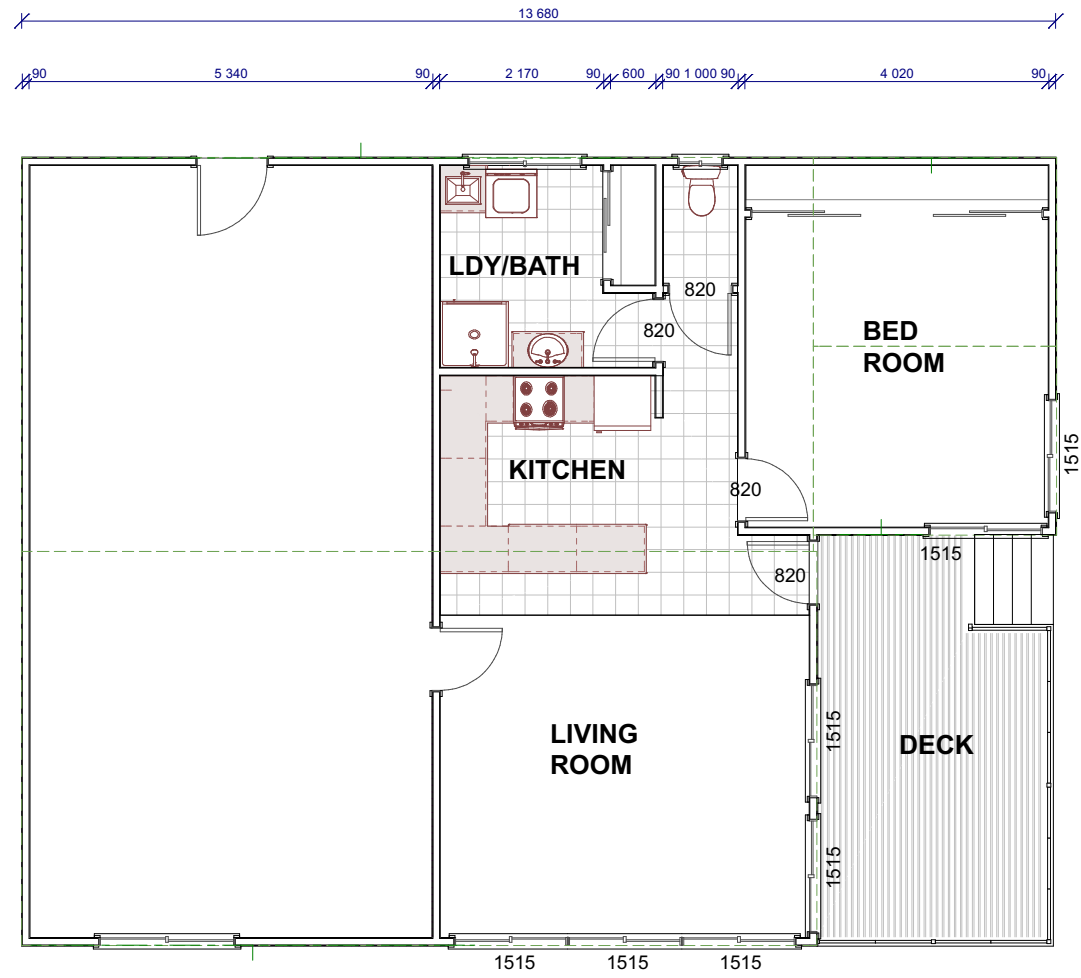
SITE PLAN
 SCALE 1:1500

			BUILDING DESIGNER CHRISTOPHER.G.KEAN CC17176 PH:0417 534 776	CLIENT: MR.P.HOWELL	ADDRESS: 217 YARLINGTON ROAD COLEBROOK	DRAWING TITLE SITE PLAN	Scale: 1:1500 @ A3	Date: 23/02/2026
REV.	AMENDMENT	DATE					Project #	220701 SHEET #A02

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LEGEND AND NOTES

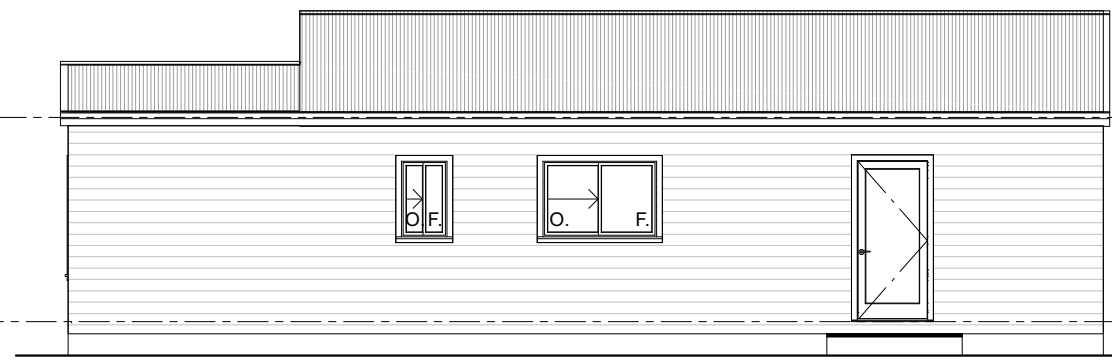
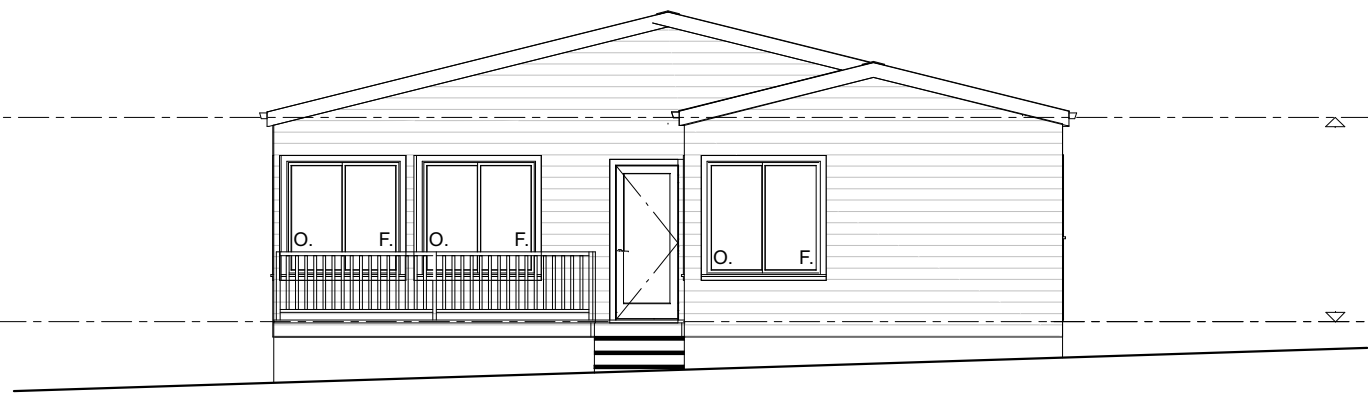
-  BRICK VENEER 110mm BRICK 50mm CAVITY 90mm STUD WAL WITH R2.5HD BATTS, 10mm PLASTERBOARD LINING
-  90mm STUD WALL WITH 10mm PLASTERBOARD LINING EACH SIDE U.N.O
-  TIMBER HANDRAIL WITH STAINLESS STEEL WIRES NOT MORE THAN 125mm APART AS PER NCC REQUIREMENTS
-  BESSER 20-01 BLOCK WALLS
- HWC- HOT WATER CYLINDER
- CONC.- CONCRETE FLOOR FINISH
- CFT. - CERAMIC FLOOR TILES
- C. - CARPET WITH AIRSTEP STEPMAX (OR EQUIVALENT) FOAM UNDERLAY
- Tb. VINYL TIMBER BOARDS COLOUR AND STYLE TO CLIENTS REQUIREMENTS
- Td. TIMBER DECKING BOARDS 136 x 25 SPOTTED GUM OR SIMILAR BUSHFIRE RATED TIMBER
- DP. 100Ø DOWNPIPE
- MB. METER BOX
- B.B BOND BEAM



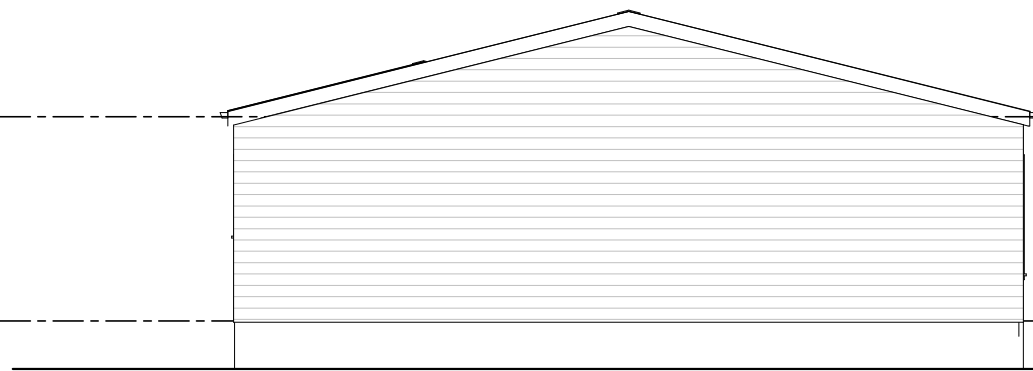
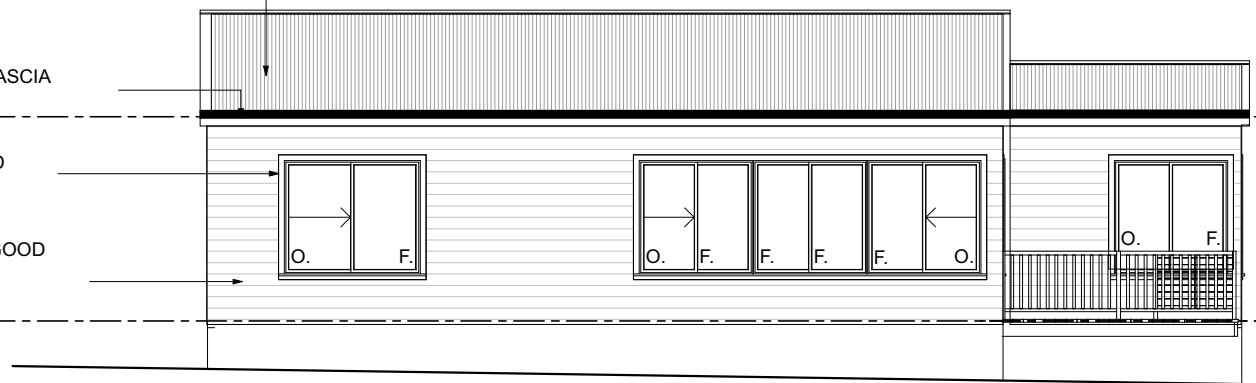
FLOOR PLAN
 SCALE 1:100

		BUILDING DESIGNER CHRISTOPHER.G.KEAN CC17176 PH:0417 534 776	CLIENT: MR.P.HOWELL	ADDRESS: 217 YARLINGTON ROAD COLEBROOK	DRAWING TITLE SITE PLAN	<i>Scale:</i> 1:100 @ A3	<i>Date:</i> 23/02/2026
REV.	AMENDMENT	DATE				<i>Project #</i>	220701 SHEET #A03

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CUSTOM ORB ROOF SHEET MADE GOOD
 COLORBOND GUTTER ON TIMBER FASCIA
 MADE GOOD
 ALUMINIUM WINDOWS RE-USED AND
 MADE GOOD
 PAINTED WEATHERBOARDS MADE GOOD
 AND PAINTED TO CLIENTS
 REQUIREMENTS



			BUILDING DESIGNER CHRISTOPHER.G.KEAN CC17176 PH:0417 534 776	CLIENT: MR.P.HOWELL	ADDRESS: 217 YARLINGTON ROAD COLEBROOK	DRAWING TITLE DWELLING ELEVATIONS	Scale: 1:100 Date: 23/02/2026
REV.	AMENDMENT	DATE					Project # 220701 SHEET #A04

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AGRICULTURAL ASSESSMENT AND COMPLIANCE REPORT

217 Yarlington Road, Colebrook

February 2026





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Version 1

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12 January 2026	1	DRAFT	JL	JL
26 February 2026	2	FINAL	JL	JL
Select date				

DISCLAIMER

This report has been prepared in accordance with the scope of services described in the contract or agreement between Pinion Advisory and the Client. Any findings, conclusions or recommendations only apply to the aforementioned circumstances and no greater reliance should be assumed or drawn by the Client. Furthermore, the report has been prepared solely for use by the Client and Pinion Advisory accepts no responsibility for its use by other parties.

Executive Summary

This agricultural assessment report has been prepared on behalf of the proponent, Peter Howell (the proponent) to support an application for a residential dwelling to be built on the property at 217 Yarlington Road, Colebrook.

The proposed residential dwelling development would be built on the far south western area of the subject property.

The subject property is incapable of supporting meaningful and sustainable agricultural land use activity, due to a combination of the small area of available land, prevailing low rainfall climate, low land capability of the ground, lack of access to irrigation water, and low carrying capacity.

The subject property is best considered as a lifestyle block, and the severely limited scale of agricultural land use activity is consistent with similar sized properties in the locale and more broadly throughout the Southern Midlands within the Agriculture zone.

By living on the property the proponent would be able to enjoy the rural bucolic amenity of the property and wider Yarlington Road/Colebrook locale.

The proposed residential dwelling development itself would cover approximately 200m², which represents less than 0.4% of the total area of the property and thereby result on negligible loss of agricultural land.

Due to a combination of setback distances, existing vegetation, nature of the agricultural land use activity conducted on that of adjacent properties, in conjunction with the nature of the development and associated use it is reasonable to consider that there would be a negligible expectation for the potential to have a negative impact on the operation and management of agricultural land use activity on the adjacent and nearby properties.

The proposed development is considered to be compliant with the relevant clauses associated with the Tasmanian Planning Scheme, as per 21.1, 21.3.1P4(b), 21.4.1, 21.4.2A1 and P2 and 21.4.3.

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1 Purpose

This report has been undertaken on behalf of Peter Howell (the proponent) to support an application a residential dwelling on the property at 217 Yarlinton Road, Colebrook.

The document provides an agricultural assessment of the property in question and reports on how the proposal complies with provisions of the Tasmanian Planning Scheme. This report reviews the current agricultural usage of the property and the surrounding area in relation to the land capability and land classification. This includes soils, aspect, topography, water resource, economic feasibility, and impact of the development in relation to agricultural activities.

2 General overview

2.1 LAND CAPABILITY

The currently recognised reference for identifying land capability is based on the class definitions and methodology described in the Land Classification Handbook, Second Edition, C.J Grose, 1999, Department of Primary Industries, Water and Environment, Tasmania.

Most agricultural land in Tasmania has been classified by the Department of Primary Industries and Water at a scale of 1:100,000, according to its ability to withstand degradation. A scale of 1 to 7 has been developed with class 1 being the most productive for agriculture and resilient to degradation and class 7 the least suitable to agriculture. Class 1, 2 and 3 are collectively termed "prime agricultural land". For planning purposes, a scale of 1:100,000 is often unsuitable and a re-assessment is required at a scale of 1:25,000 or 1:10,000. Factors influencing capability include elevation, slope, climate, soil type, rooting depth, salinity, rockiness and susceptibility to wind, water erosion, and flooding.

2.2 REPORT AUTHOR

This report has been co-authored and reviewed by senior consultant, Jason Lynch. Jason Lynch possesses a Bachelor of Applied Science (horticulture) and is a certified practising agriculturalist (CPAg) with over 25 years' experience in the agricultural industry in Tasmania. He has previously been engaged by property owners, independent planners, and surveyors to undertake evaluations and studies across various municipalities to comply with the Tasmanian Planning Scheme and council based interim planning schemes. This work involves the assessment of land for development purposes and potential conflict.

2.3 TASMANIAN PLANNING SCHEME – SOUTHERN MIDLANDS

The Tasmanian Planning Scheme¹ establishes the requirements for use and development of land in the Southern Midlands municipality in accordance with the *Land Use Planning and Approvals Act 1993*.

¹ Tasmanian Planning Scheme V14, effective date 11th September 2025.

3 Property details

3.1 LOCATION

The subject property is owned by Peter Howell and is located at 217 Yarlington Road, Colebrook which is approximately 1.8km west of Colebrook. (Image 1 and Image 2).

Table 1 Property identification details.

Address	Property ID	Title reference	Hectares (approx.)
217 Yarlington Road, Colebrook, 7027	7432367	31703/1	5.3

The subject property is characterised by gently sloping with an easterly aspect. (Image 3)

The entire property is covered by open pastureland, with a shelter belts present on the sections of the southern, northern and eastern boundaries².

No threatened native vegetation communities are present on the property.³

Land tenure of the subject property and all adjacent and nearby land is Private Freehold and nearby to the east are parcels of land owned by TasWater (dark blue), Local Government and Crownland and Casement land associated with the roads in this locale.⁴ (Image 4).

Under the Tasmanian Planning Scheme, the subject property and all adjacent land is zoned Agriculture, land nearby to west is Rural zoned land, with Village (orange shaded) and Utilities zoned land associated with Colebrook nearby to the east.⁵ (Figure 5).

Infrastructure present on the subject property includes internal paddock and boundary fencing, five sheds, horse stables and a set of stockyards.

² TasVeg 5.0.

³ The LIST map dataset.

⁴ The LIST map dataset.

⁵ The LIST map dataset.

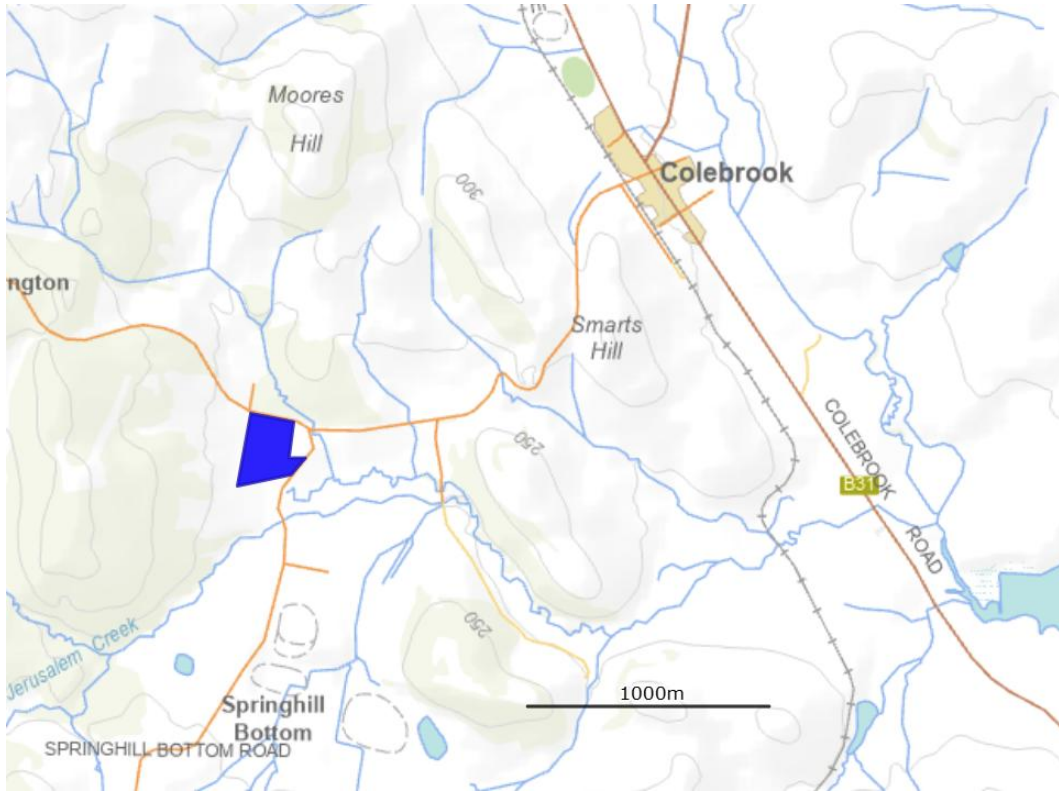


Image 1 Subject property location (blue). (Source: The LISTMap).



Image 2 Aerial overall view imagery of the subject property (blue outline). (Source: The LISTMap).

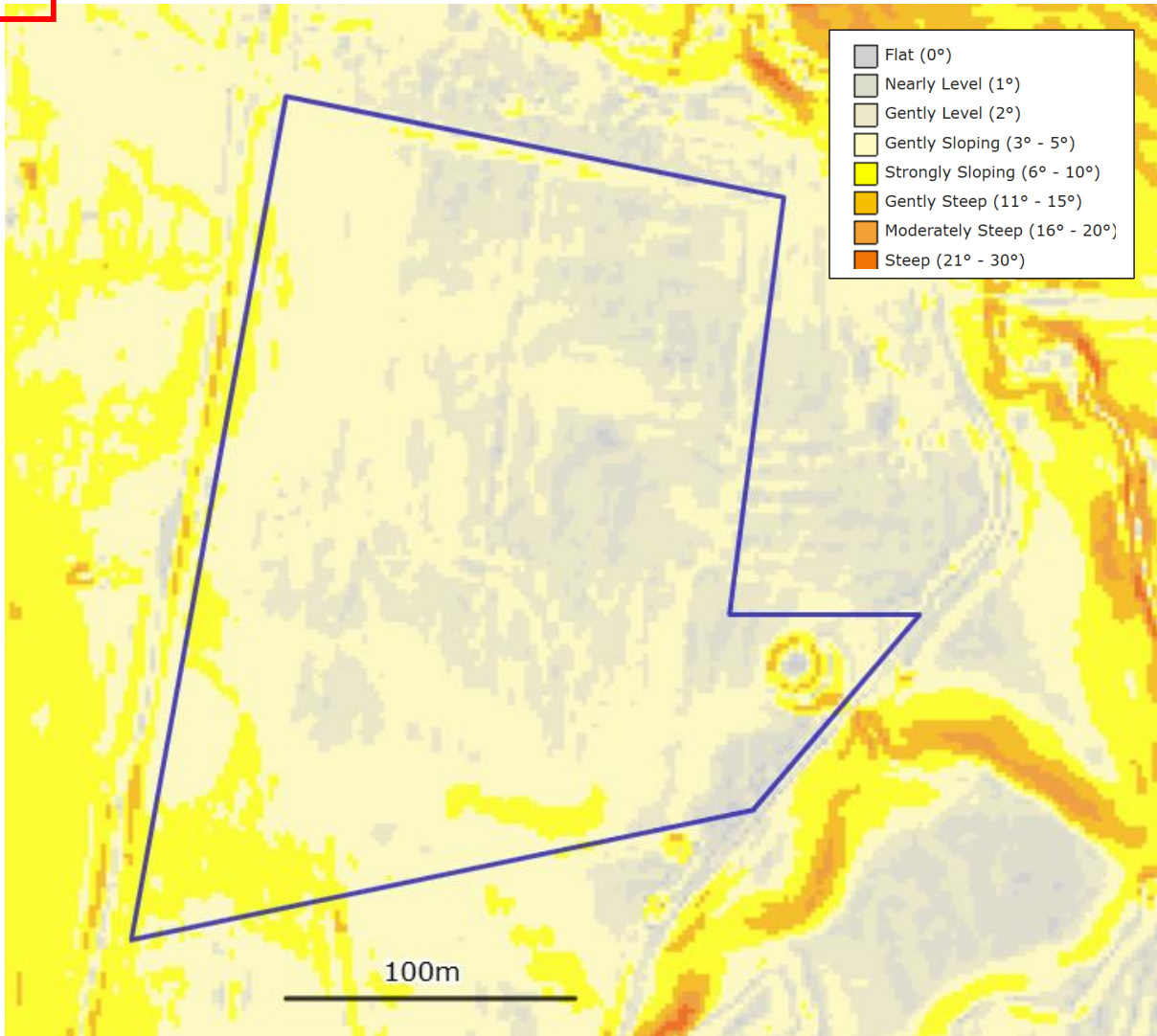


Image 3 Topographic map of the subject property (blue outline). (Source: The LISTMap).



Image 4 Land tenure of the subject property (blue outline) and all adjacent and nearby land is Private Freehold (yellow shaded) and nearby to the east are parcels of land owned by TasWater (dark blue), Local Government (light blue shaded) and Crownland (white shaded) and Casement (grey shaded) land associated with the roads in this locale. (Source: The LISTMap).

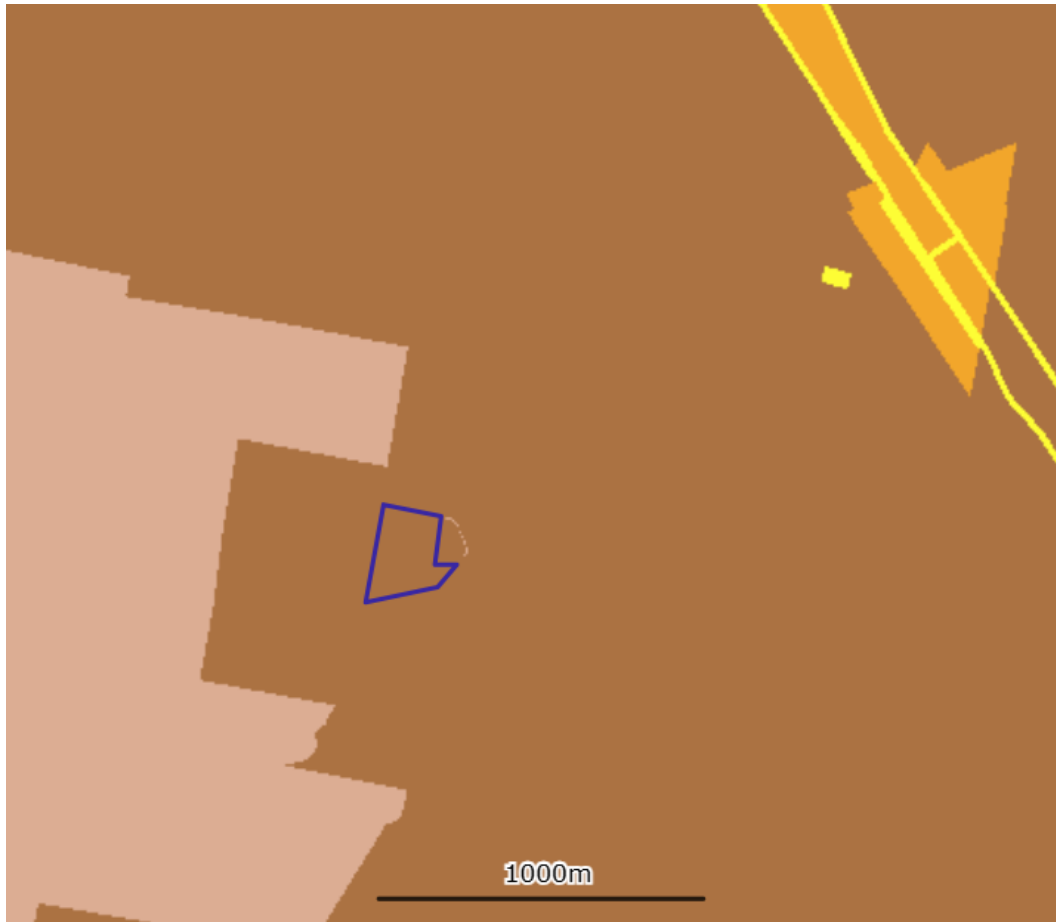


Image 5 Under the Tasmanian Planning Scheme, the subject property (blue outline) and all adjacent land is zoned Agriculture (brown shaded), land nearby to west is Rural (beige shaded) zoned land, with Village (orange shaded) and Utilities (yellow shaded) zoned land associated with Colebrook nearby to the east. (Source: The LISTMap).

4 Land capability

Land capability of the property was assessed according to the Tasmanian land capability classification system (Grose, 1999)⁶. Land is graded according to its ability to sustain a range of agricultural activities considering the chances of degradation of the land resource. Class 1 land is prime agricultural and Class 7 land is unsuitable for agriculture due to severe limitations. A wide range of limitations are considered, and the most significant limitation determines the final classification. For example, limitations can be in relation to soils and could include stoniness, topsoil depth, drainage, and erosion hazard. Limitations to topography could include slope angle and associated erosion hazard.

4.1 LAND CAPABILITY ASSESSMENT

The official land capability map for the area was produced by the DPIWE at a scale of 1:100,000 and reported in their Derwent Report⁷ in 2000. The ground within the subject property was identified as class 4 and 5 land capability.

A detailed inspection of the property was undertaken by the author in February 2026 and determined the entire property to be covered by Class 4 and 5. Image 6.

Land capability class definitions can be found in Table 2. Land capability assessment details can be found in Table 3.

Various images (Images 8 to 15) of the property are shown in the Appendix 2.

The key land capability limitations associated with this property are:

- Soils (s): due to challenging growing conditions for pasture and/or crops associated with limitations such as topsoil depth and texture contrast frequency, and presence of stone and rock fragments in the soil profile.
- Erosion (e): associated with the risk rill and sheet erosion caused by surface water movement on bare and exposed soil and potential for degraded soil structural due to pugging from livestock movement on waterlogged soils and/or inappropriate and excessive ground cultivation activities.

⁶ Grose C.J. (1999) Land Capability Handbook: Guidelines for the Classification of Agricultural Land in Tasmania. 2nd Edition, DPIWE, Tasmania.

⁷ Musk R. A. and DeRose R. C. (2000) Land Capability Survey of Tasmania, Derwent, 1:100 000 map. Department of Primary Industries, Water and Environment, Tasmania.

Table 2 Land capability class definitions for the property according to Grose, 1999.⁸

Class	Definition
4	Land primarily suitable for grazing but which may be used for occasional cropping. Severe limitations restrict the length of cropping phase and/or severely restrict the range of crops that could be grown. Major conservation treatments and/or careful management is required to minimize degradation. Cropping rotations should be restricted to one to two years out of ten in a rotation with pasture or equivalent, during 'normal' years to avoid damage to the soil resource. In some areas longer cropping phases may be possible but the versatility of the land is very limited.
5	This land is unsuitable for cropping, although some areas on easier slopes may be cultivated for pasture establishment or renewal and occasional fodder crops may be grown. The land may have slight to moderate limitations for pastoral use. The effects of limitations on the grazing potential may be reduced by applying appropriate soil conservation measures and land management practices.

**Image 6 Land capability map of the subject property.**

⁸ Grose C.J. (1999) Land Capability Handbook: Guidelines for the Classification of Agricultural Land in Tasmania. 2nd Edition, DPIWE, Tasmania.

Table 3 Land capability assessment.

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Land capability class	Land characteristics							
	Geology & soils	Slope (%)	Topography & elevation	Erosion type & severity	Soil qualities	Agricultural versatility	Main land management requirements	Climatic limitations
4se (4.4 ha)	<p>Texture contrast sandy and sandy loam soil, as per a podzolic soil order, association, developed from Triassic sandstone geology.</p> <p>Grey light textured sandy top soil over a yellow/brown clay sub soil.</p>	2-8	<p>Flat to gently sloping and undulating ground.</p> <p>Approximately 220-230m ASL.</p>	<p>Moderate/high risk of rill and sheet erosion due to surface water movement and wind scouring on bare and exposed soils, and structure decline due to excessive and inappropriate soil cultivation.</p>	<p>Moderately well drained soils.</p> <p>Low risk of soil waterlogging.</p>	<p>Theoretically suitable for cropping. In reality due to the absence of irrigation water, limited availability of ground and severely restricted range of crops which would be grown, therefore in practice cropping would not be undertaken.</p> <p>Land suitable for grazing, with moderate/severe limitations, which includes reducing grazing pressure when soil moisture is limiting and when pasture covers are reduced.</p> <p>It is important to note that this area is subject to extended periods of low rainfall and therefore pasture production can be limited for long periods.</p>	<p>Avoid situations that lead to the exposure of bare soil, therefore maintain sufficient ground cover.</p> <p>There is a high probability</p>	<p>Moderate/high climatic limitations.</p> <p>This region experiences cool /cold winters and warm/hot summer conditions.</p> <p>The area receives an average of 620mm annual rainfall, can experience up to 30 frost days annually, 910 growing degree days (October to April) and 1,190 chill hours (May-August).</p>

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land
capability
class
8/04/2026

Land capability class	Land characteristics							
	Geology & soils	Slope (%)	Topography & elevation	Erosion type & severity	Soil qualities	Agricultural versatility	Main land management requirements	Climatic limitations
5se (0.9 ha)	Sandy loam soil, as per a podzolic soil order, association, developed from Triassic sandstone geology.	2-5	Flat to gently sloping and undulating ground. Approximately 220-230m ASL.	Moderate/high risk of rill and sheet erosion due to surface water movement and wind scouring on bare and exposed soils, and structure decline due to excessive and inappropriate soil cultivation.	Moderately well drained soils. Low risk of soil waterlogging.	Unsuitable for cropping. Land suitable for grazing, with moderate/severe limitations, which includes reducing grazing pressure when soil moisture is limiting and when pasture covers are reduced. It is important to note that this area is subject to extended periods of low rainfall and therefore pasture production can be limited for long periods.	Avoid situations that lead to the exposure of bare soil, therefore maintain sufficient ground cover.	Moderate/high climatic limitations. This region experiences cool /cold winters and warm/hot summer conditions. The area receives an average of 620mm annual rainfall, can experience up to 30 frost days annually, 910 growing degree days (October to April) and 1,190 chill hours (May-August).

5 Proposed development

The proposed development is based on the proponent building a residential dwelling on the subject property.

The proposed residential dwelling development would be located on the far south western area of the subject property.

The proposed residential dwelling would consist of a modest single dwelling building, that would cover a total area of 200m².

The proposed residential dwelling would allow the proponent to live on the subject property, noting that the property is best considered as a lifestyle block and has a limited capability for agricultural productivity.

The proposed location of the residential dwelling would be positioned in a private position on the subject property, provide good observation across the block and ensures the balance of the property would be preserved for agricultural land use activity.

Image 7 shows the location of the residential dwelling on the subject property.

Table 4 provides details on the setback distances involved with the residential dwelling and nearest boundaries.

Table 4 Proposed residential dwelling boundary setback distances.

Boundary direction	Map identifier (refer Image 7)	Boundary distance
North	A	275
East	B	200
South	C	10
West	D	17

The proposed residential dwelling would have no expectation of creating interference with and/or negatively impacting the agricultural land use activity, as per grazing livestock, currently being undertaken on the nearby properties.

It is important to consider that the property is best considered as a lifestyle block, and as such is incapable of supporting meaningful and sustainable agricultural land use activity, none the less the property would continue to be used to grow pasture to support horses, potentially a small number of livestock and the opportunity to harvest fodder from surplus pasture grown during spring.



Image 7 Location of the proposed residential dwelling and boundary setback distances on the subject property.

6 Land use activity

6.1 CURRENT AGRICULTURAL ACTIVITIES CONDUCTED

The property is used for agricultural land use activity, as per grazing livestock.

6.2 POTENTIAL AGRICULTURAL ACTIVITIES CONDUCTED

Pastoral use

The subject property is capable of being used for livestock production and, based on 5 hectares of land would have a theoretical total potential sustainable dryland carrying capacity of approximately 60 DSE⁹ on an annual basis.

60 DSE would equate to running approximately 25 breeding ewes, with the production of potentially up to 35 weaner lambs.

The potential productivity of the property would vary depending upon the exact and nature of the livestock enterprise operated, nature of the livestock sales (e.g. store or finished animals, amount of supplementary feed provided, seasonal conditions and general enterprise operational requirements (e.g. animal husbandry, pasture production costs) and livestock markets conditions.

Based on the current degraded condition of the pastures, the carrying capacity would be closer to 40 DSE.

6.2.1 Cropping use

The class 4 land present on the subject property is suitable for cropping, however due to the complete absence of access to irrigation water, small area of available land and severely restricted range of crops in reality cropping would not be a realistic agricultural land use activity to be undertaken.

6.2.2 Perennial horticulture

Due to a combination of the climate factors (principally the low rainfall) and complete lack of access to irrigation water, and relative investment required for the development of a perennial horticultural enterprise relative to the scale, yield and likelihood production risks the subject property would not be considered suitable for hosting perennial horticultural crops.

⁹ DSE is a standard unit used to compare the feed requirements of different classes of livestock to assess the carrying capacity of a farm or paddock. One DSE is defined as the amount of feed required by a two-year-old 50 kg 'dry' Merino sheep (wether or non-lactating, non-pregnant ewe) to maintain its weight.

ADJACENT LAND USE ACTIVITY

The land use activity on adjacent land titles includes:

- North:
 - Title reference 138329/1 (approximately 131.5 hectares), Agriculture zoned land, approximately 91.5 hectares covered by open pastureland and the balance with native vegetation, used for grazing livestock, with no residential dwelling present. Separated from the subject property by the 20m wide Yarlington Road reserve.
- East:
 - Title reference 31275.1 (approximately 1 hectare), Agriculture zoned land, a lifestyle block used for a small scale livestock grazing enterprise, with a residential dwelling present.
 - Title reference 169472/1 (approximately 148.5 hectares), Agriculture zoned land, approximately 128.5 hectares covered by open pastureland and the balance with native vegetation, used for grazing livestock, with no residential dwelling present. Separated from the subject property by the 20m wide Spring Hill Bottom Road reserve.
- South:
 - Title reference 123677/1 (approximately 7 hectares), Agriculture zoned land, approximately 5 hectares of open pastureland and the balance covered by native vegetation, has a residential dwelling present and is best considered as a lifestyle block.
- West:
 - Title reference 248848/1 (approximately 10.5 hectares), Agriculture zoned land, approximately 8 hectares covered by native vegetation and the balance with open pastureland, with no apparent agricultural land use activity conducted on the block. Separated from the subject property by a 10m wide road reserve.
 - Title reference 205243/1 (approximately 8 hectares), Agriculture zoned land, approximately 3 hectares covered by native vegetation and the balance with open pastureland, residential dwelling is present and is best considered as a lifestyle block. Separated from the subject property by a 10m wide road reserve.
 - Title reference 246641/1 (approximately 4.8 hectare), Agriculture zoned land, covered by a mix of native vegetation and open pastureland, residential dwelling is present and is best considered as a lifestyle block. Separated from the subject property by a 10m wide road reserve.

6.4 IMPACT OF AGRICULTURAL ACTIVITY ON NEIGHBOURING LAND TO THE PROPOSED DEVELOPMENT

Land use activity on properties adjacent to the subject property is dominated by lifestyle type properties to the west, south and north east, whilst to the north and east the properties are larger land holdings used for grazing livestock.

These larger land holdings are separated by roads, and not physically adjacent to the subject property.

No cropping and/or perennial horticultural land use activity is undertaken on the adjacent and/or nearby properties.

No irrigated agriculture occurs on adjacent and/or nearby properties.

The proposed residential dwelling development on the subject property is expected to have a minimum level of interaction and/or negative impacts on the nearby agricultural property due to a combination of the minimal level of agricultural land use activity on the nearest properties,

RECEIVED setback distances involved and presence of native vegetation buffers present on the nearest property boundary.
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An assessment of the key risks is summarised in Table 5.

Table 5 Potential risk from agricultural land use activities on neighbouring land.

Potential risk from neighbouring agricultural land activity	Extent of risk & possible mitigation strategy
1. Spray drift and dust	Risk = low. Significant setback distances are present to the properties to the east and north. The nearest agricultural land, as per the dryland pastures, would be setback approximately 220m to the east at the nearest point. The agricultural land use activity undertaken on the adjacent properties to the west, south and north east is minimal, as per based on small scale and low intensity dryland grazing livestock enterprises with the nature of the potential agricultural chemicals used (e.g. broadleaf herbicides) and limited frequency of application (e.g. 1-2 times annually). The nearest common boundary to the south is covered by native vegetation which forms a significant buffer. The application of all agricultural chemicals must abide by the Tasmanian Code of practice for ground and aerial spraying 2014 and any applicable agricultural chemical label requirements.
2. Noise from machinery, livestock, and dogs	Risk = low. Plant, machinery, vehicles, working dogs and livestock are routinely used/involved in general farming duties on adjacent land. However, due to the nature of the nearby agricultural land use, as per grazing livestock, would generate a very limited of noise from plant, machinery and livestock. The nearest common boundary to the south is covered by native vegetation which forms a very significant buffer.
3. Irrigation water over boundary	Risk = nil. No irrigated agriculture is conducted on the adjacent properties.
4. Stock escaping and causing damage	Risk = low. Provided boundary fences are maintained in sound condition and livestock are checked regularly.
5. Electric fences	Risk = low. Mitigated by attaching appropriate warning signs on boundary fencing if required.

6.5 IMPACT OF PROPOSED DEVELOPMENT ON AGRICULTURAL ACTIVITY OF NEIGHBOURING LAND

Land use activity on neighbouring properties is dominated by lifestyle type properties which have extensive areas of land covered by native vegetation and are involved with a minimal amount of agricultural land use activity, whilst further to the north and east these properties are used for grazing livestock.

Other risks to neighbouring agricultural activity are outlined in Table 6 Some of these risks rely on an element of criminal intent.

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Potential risk to neighbouring agricultural land activity	Extent of risk & possible mitigation strategy
1. Trespass	Risk = low. Mitigation measures include installation and maintenance of sound boundary fencing, lockable gates and appropriate signage to warn visitors about entry onto private land, report unauthorised entry to police.
2. Theft	Risk = low. Ensure there is good quality boundary fencing on neighbouring properties and appropriate signage to deter inadvertent entry to property, control vehicle movements, report thefts to police.
3. Damage to property	Risk = low. As for theft.
4. Weed infestation	Risk = low. Risks are expected to be low with weed management undertaken, and ongoing with routine weed control activities performed.
5. Fire outbreak	Risk = low. Fire risk can be mitigated by careful operation of burn-offs, outside barbeques and disposal of rubbish. In summer, mowing/grazing of long dry grass and vegetation is important. Observe all fire restriction imposed by the Southern Midlands council and state government.

6.6 WATER STORAGE AND RESOURCES

The subject property is not serviced by TasWater for the provision of water and sewerage services.

The subject property is not located within a declared irrigation district.

A groundwater bore is present on the subject property, although it is currently not in operation.

A small stock water dam is present on the subject property.

The start of a waterway (an unnamed tributary of Jerusalem Creek) is present on the far south eastern boundary of the subject property however due to the small catchment area and short length of the waterway it offers no opportunity to extract irrigation water.

7 Tasmanian Planning Scheme Compliance – Southern Midlands council

7.1 CLAUSE 21.1 ZONE PURPOSE

Zone purpose statements

The purpose of the Agriculture Zone is:

21.1.1 To provide for the use or development of land for agricultural use.

21.1.2 To protect land for the use or development of agricultural use by minimising:

- (a) conflict with or interference from non-agricultural use
- (b) non-agricultural use or development that precludes the return of the land to agricultural use, and
- (c) use of land for non-agricultural use in irrigation districts.

21.1.3 To provide for use or development that supports the use of the land for agricultural use.

Response

21.1.1 The subject property is a small land holding, and is incapable of supporting meaningful and sustainable agricultural land use activity, due to a combination of the small area of available land, prevailing low rainfall climate, low land capability of the ground, lack of access to irrigation water, and low carrying capacity. That notwithstanding the property would still be used to grow pasture which would be used to graze horse, potentially a small number of livestock and opportunistically harvest fodder, albeit the scale and intensity of these pastoral based activities is very limited. By living on the property the proponent would be able to enjoy the rural bucolic amenity of the property and wider Yarlington Road/Colebrook locale. The nature and pattern of agricultural land use activity on the subject property is consistent with many similar sized properties in the locale and throughout the Agriculture zoned areas of the Southern Midlands municipality.

21.1.2

(a) The nearest large scale agricultural land, would be located approximately 220m to the east (as per property title 169472/1) and 295m to the north (as per on property title 138329/1) of the proposed residential dwelling on the subject property. The agricultural land use activity undertaken on the adjacent properties to the west, south and north east is minimal, as per based on small scale and low intensity dryland grazing livestock enterprises There is no expectation that the agricultural land and associated land use activities would be diminished and/or negatively impacted by the proposed residential dwelling. Section 5.4 of the Agricultural report provides additional details on the expectation of minimal interaction with the large land holdings and associated agricultural land to the north and east. The proposed residential dwelling development itself would cover approximately 200m², which represents less than 0.4% of the total area of the property and thereby result on negligible loss of agricultural land. By living on the property the proponent would be able to enjoy the rural bucolic amenity of the property and wider Yarlington Road/Colebrook locale. The proposed residential dwelling on the subject property is consistent with the other similar sized Agriculture zoned lifestyle properties to the south, north east and west.

(b) If required the proposed residential dwelling could be demolished and removed.

(c) The subject property is not located within a declared irrigation district.

21.1.3

The subject property is incapable of supporting meaningful and sustainable agricultural land use activity, due to a combination of the small area of available land, prevailing low rainfall climate, low land capability of the ground, lack of access to irrigation water, and low carrying capacity. The property would still be used to grow pasture which would be used to graze horse, potentially a small number of livestock and opportunistically harvest fodder, albeit the scale and intensity of these pastoral based activities is very limited. By living on the property the proponent would be able to

Zone purpose statements

enjoy the rural bucolic amenity of the property and wider Yarlinton Road/Colebrook locale. The nature and pattern of agricultural land use activity on the subject property is consistent with many similar sized properties in the locale and throughout the Agriculture zoned areas of the Southern Midlands municipality.

7.2 CLAUSE 21.3.1 DISCRETIONARY USE**Objective**

That uses listed as discretionary:

- (a) support agricultural use, and
- (b) protect land for agricultural use by minimising the conversion of land to non-agricultural use.

Response

The subject property is used for and is incapable of supporting meaningful sustainable agriculture due to the small area of available land, land capability limitations, lack of access to irrigation and challenging prevailing low rainfall climate. The proposed residential dwelling development is consistent with many similar sized properties in the vicinity and throughout the Agriculture zoned areas of the Southern Midlands municipality, and hence the concentration of P4 (b).

Performance criteria**P4**

A Residential use listed as Discretionary must:

(b) be located on a site that:

- (i) is not capable of supporting an agricultural use;
- (ii) is not capable of being included with other agricultural land (regardless of ownership) for agricultural use; and
- (iii) does not confine or restrain agricultural use on adjoining properties.

Response**P4**

(b)

(i) The subject property is small covering a total of 5.3 hectares. Due to limitations associated with the small area of available land, being covered by class 4 and 5 land, very low carrying capacity lack of access to irrigation water, and challenging low rainfall climate the subject property is incapable of supporting meaningful and sustainable agricultural land use activity. It should be noted that the property is and will continue to be used to produce pasture, albeit with an expectation of a low level of productivity which would be used to graze horses, potentially a small number of livestock and opportunistically harvest fodder. The subject property is best considered as a lifestyle block, and this use pattern is consistent with many similar sized properties in the vicinity and throughout the Agriculture zoned areas of the Southern Midlands municipality.

(ii) Regardless of ownership, the subject property is very limited in its potential to be used for agricultural land use activity due to the small area of available land, being covered by class 4 and 5 land, very low carrying capacity, lack of access to irrigation water, and challenging low rainfall climate. Land use activity properties adjacent to the subject property is dominated by lifestyle type properties to the west, south and north

Objective

east. The properties to the north and east of the properties are larger land holdings used for grazing livestock, however these are separated by roads and would form a contiguous large parcels of farm land. On the basis that the subject property is best considered as a lifestyle block it would be considered as economic and/or practical proposition to be included into other agricultural land.

(iii) There is no expectation that the proposed development would confine and/or restrain agricultural land use activity on adjoining properties. Agricultural land use activity undertaken on the adjacent properties to the west, south and north east is minimal, as per based on small scale and low intensity dryland grazing livestock enterprises. There is no expectation that the agricultural land and associated land use activities would be diminished and/or negatively impacted by the proposed residential dwelling. Section 5.4 of the Agricultural report provides additional details on the expectation of minimal interaction with the large land holdings and associated agricultural land to the north and east.

7.3 CLAUSE 21.4.1 BUILDING HEIGHT

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Objective

To provide for a building height that:

- (a) is necessary for the operation of the use, and
- (b) minimises adverse impacts on adjoining properties.

Response

The proposal will be consistent with Acceptable Solutions A1.

Acceptable solutions

Building height must not be more than 12m.

Response

The proposed residential building height will be less than 12m as per compliance requirements.

7.4 CLAUSE 21.4.2 SETBACKS**Objective**

That the siting of buildings minimises potential conflict with use on adjoining properties.

Response

The proposed residential dwelling development would be located in the far south western area of the property.

The proposed residential dwelling would be located >5m from the nearest property boundaries, although less than 200m from the nearby livestock grazing enterprise to the north.

The proposed development on the subject property would be setback further than 5m from all property boundaries, and hence compliant with Acceptable Solutions A1.

The proposed residential dwelling developments would be located within 200m of agricultural land, and hence the concentration on Performance Criteria P2.

Performance Criteria**P2**

Buildings for a sensitive use must be sited so as not to conflict or interfere with an agricultural use, having regard to:

- (a) the size, shape and topography of the site;
- (b) the prevailing setbacks of any existing buildings for sensitive uses on adjoining properties;
- (c) the location of existing buildings on the site;
- (d) the existing and potential use of adjoining properties;
- (e) any proposed attenuation measures; and
- (f) any buffers created by natural or other features.

Response**P2**

(a) The subject property covers approximately 5.3 hectares, is covered to gentle/moderate sloping and undulating ground with an elevation difference of approximately 10m over the extent of the land holding. The proposed residential dwelling would be located on the far south eastern area of the subject property and this preserve the balance of the property to continue to be used for agricultural land use activity and avoids to the larger land holdings located to the north and east.

(b) This area of Colebrook is lightly populated. The nearest residential dwelling on an adjacent property (as per property title 123677/1) would be located approximately 125m to the south east at the nearest point to the location of the proposed residential dwelling development and approximately 10m lower in elevation. Due to the extended setback distance, elevation differences, and presence of vegetation present along the common southern boundary which forms a buffer there is no expectation that the amenity of the nearest residential dwelling would be diminished.

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- (c) Five other buildings, as per a number of sheds are located on the subject property and are used to support and service the agricultural use of the land. The proposed residential dwelling would be located approximately 130m to the south at the nearest point to the closest farm building. The proposed residential dwelling would have no negative impacts on the operational use of the farm service buildings and vice versa on the amenity of the dwelling.
- (d) The agricultural land use activity undertaken on the adjacent properties to the west, south and north east is minimal, as per based on small scale and low intensity dryland grazing livestock enterprises, whilst further to the north and east a larger land holdings used for agricultural land use activity, as per grazing livestock. It is reasonable to consider that due to a combination of the setback distance, elevation differences, presence of native vegetation there is no expectation that the proposed residential dwelling would result in a negative interaction with and/or negatively impact the agricultural land use activities conducted therewith. Section 5.4 of the Agricultural report provides additional details on the minimal interaction and negligible negative impact on the agricultural land activities undertaken on the adjacent and nearby properties.
- (e) The proposed residential dwelling would be constructed of modern building materials and be specifically positioned on the property in order to blend in with the natural environment and be unobtrusive. Landscaping would be undertaken around the proposed residential dwelling and further assist in preserving the residential amenity of the locale.
- (f) The subject property is bound by road reserves to the west, east (Springhill Bottom Road) and north (Yarlington Road). Vegetation is present on the common boundary to the south which forms a buffer to the nearest property.

7.5 CLAUSE 21.4.3 ACCESS FOR NEW DWELLINGS

Objective

That new dwellings have appropriate vehicular access to a road maintained by a road authority.

Response

An existing and used road reserve is present forms the western property boundary of the subject property.

Acceptable Solutions

A1

New dwellings must be located on lots that have frontage with access to a road maintained by a road authority.

Response

A1

The proposed residential dwelling would be accessed via an existing entrance off Yarlington road on the northern boundary of the subject property.

8 Conclusion

1. The subject property, property title 31703/1 at 217 Yarlinton Road, Colebrook and covers approximately 5.3 hectares of land.
2. The subject property is incapable of being used for and supporting meaningful and sustainable agricultural land use activity due to a combination of the limited area of available land, low land capability, lack of access to irrigation water and prevailing low rainfall climate.
3. The subject property will continue to be used to produce pasture, albeit with an expectation of a low level of productivity which would be used to graze horses, potentially a small number of livestock and opportunistically harvest fodder.
4. The subject property is best considered as a lifestyle block, and the very limited scale agricultural land use activity is consistent with similar sized properties in the locale and more broadly throughout the Southern Midlands within the Agriculture zone.
5. The proposed development is based on constructing a residential dwelling on the far south western area of the subject property.
6. The proposed residential dwelling development itself would cover approximately 200m², which represents less than 0.4% of the total area of the property and thereby result on negligible loss of agricultural land.
7. Due to a combination of setback distances, existing vegetation, nature of the agricultural land use activity conducted on that of adjacent properties, in conjunction with the nature of the development and associated use it is reasonable to consider that there would be a negligible expectation for the potential to have a negative impact on the operation and management of agricultural land use activity on the adjacent and nearby properties.
8. The proposed development is considered to be compliant with the relevant clauses associated with the Tasmanian Planning Scheme, as per 21.1, 21.3.1P4(b), 21.4.1, 21.4.2A1 and P2 and 21.4.3.

9 Declaration

I declare that I have made all the enquiries which I consider desirable or appropriate, and no matters of significance which I regard as relevant have, to my knowledge, been withheld.

Jason Lynch

Jason Lynch BAppSc (hort.) CPAg
Senior Agricultural Consultant
Pinion Advisory
January 2026



Image 8 Central and northern area of the subject property. (Taken on site visit 20/2/26).



Image 9 Easterly view across far eastern area of the subject property. (Taken on site visit 20/2/26).



Image 10 Southerly view across far southern area of the subject property. (Taken on site visit 20/2/26).



Image 11 North easterly view over the subject property from the south westerly corner of the subject property. (Taken on site visit 20/2/26).



Image 12 Easterly view along the southerly boundary nearby to the south of the location of the residential dwelling on the subject property. (Taken on site visit 20/2/26).



Image 13 Southernly view from the far southern end of the western boundary nearby to the location of the residential dwelling on the subject property. (Taken on site visit 20/2/26).



Image 14 Texture contrast soil, with a sandy loam topsoil over a yellow/brown clay subsoil which covers the majority of the subject property. (Taken on site visit 20/2/26).



Image 15 Northerly view along from far southern end of the western boundary nearby to the location of the residential dwelling on the subject property. (Taken on site visit 20/2/26).

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ABSOLUTE
EDUCATION

CERTIFICATE OF COMPLETION

THIS IS TO CERTIFY THAT

PETER JAMES HOWELL

HAS SUCCESSFULLY COMPLETED

TASOB01 - Tasmanian Owner Builder Course

DATE: 6/04/2026

CERTIFICATE No: 157693

ABSOLUTE EDUCATION PTY LTD

P.O. BOX 4306, NORTH CURL CURL, NSW 2099

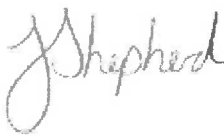
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A handwritten signature in blue ink, appearing to read 'Peter Berginc', positioned above the name and title.

PETER BERGINC
MANAGING DIRECTOR

LAND INFORMATION CERTIFICATE

PART 1 - CERTIFICATE	Regulation 14(1)(a)
Section 56ZQ of the <i>Water and Sewerage Industry Act 2008</i>	
Specified Land (Property Address)	P0811 Springhill Bottom Road Colebrook TAS 7027
Unique Property Identification No (UPI) or Property Identification No. (PID)	7432367
Title Reference	31730/1
Name of Applicant	Sebastian Thomas-Wilson

I certify that the information provided in this certificate in response to the questions in Part 2 on the attached pages is derived from the existing records of the regulated entity as they relate to the specified land as at the date shown and is true and accurate according to those records.	
TasWater (Regulated Entity)	
Signed	 Jayne Shepherd Department Manager Customer Service
Date	23 August 2024

CONNECTION TO WATER INFRASTRUCTURE OF REGULATED ENTITY		
No.	Question	Answer
1.	Has the regulated entity a record showing that, on or under the land, there is a water connection in place connected to the regulated entity's water infrastructure? If the answer to question 1 is "Yes", please specify particulars.	Yes
2.	If the answer to question 1 is "Yes", is the water supply restricted in relation to the land?	No
3.	If the answer to question 1 is "No" or "Unknown", is the land within 30 metres from the regulated entity's water infrastructure from which water would be available?	N/A
4.	Has the regulated entity a record showing that there is any water infrastructure under or through the land, whether within formal easements or not, which the regulated entity is responsible for maintaining? If the answer to question 4 is "Yes", please specify particulars.	Yes

CONNECTION TO SEWERAGE INFRASTRUCTURE OF REGULATED ENTITY		
No.	Question	Answer
5.	Has the regulated entity a record showing that, on or under the land, there is a sewer connection in place connected to the regulated entity's sewerage infrastructure? If the answer to question 5 is "Yes", please specify particulars.	No
6.	If the answer to question 5 is "No" or "Unknown", is the land within 30 metres from the regulated entity's sewerage infrastructure and capable of being connected to that infrastructure?	N/A
7.	Has the regulated entity a record showing that there is any sewerage infrastructure under or through the land, whether within formal easements or not, which the regulated entity is responsible for maintaining? If the answer to question 7 is "Yes", please specify particulars.	No

NOTICES AND PERMISSION IN RELATION TO WATER AND SEWERAGE INFRASTRUCTURE		
No.	Question	Answer
8.	Has the regulated entity a record of having served on the owner of the specified land a notice to repair or carry out maintenance under section 56Y of the <i>Water and Sewerage Industry Act 2008</i> and the notice has not been satisfied or completed? If the answer to question 8 is "Yes" please specify particulars.	No

CONSENT TO BUILD OVER EXISTING WATER OR SEWERAGE INFRASTRUCTURE		
No.	Question	Answer
9.	Has the regulated entity a record of consent being given under Section 56W of the <i>Water and Sewerage Industry Act 2008</i> to a person in relation to the specified land, or consent being given to a person before 1 July 2009 to build over existing water infrastructure or sewerage infrastructure on the specified land? If the answer to question 9 is "Yes", please specify particulars.	No

Particulars	
1.	Yes, connection point to PID
4.	Water main through property, please see attached map

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CERTIFICATE OF TITLE

LAND TITLES ACT 1980



TASMANIA

TORRENS TITLE

VOLUME		FOLIO	
31730		1	
EDITION	DATE OF ISSUE		
4	21-Sep-2024		
Page 1		of 1	

I certify that the person described in Schedule 1 is the registered proprietor of an estate in fee simple (or such other estate or interest as is set forth in that Schedule) in the land within described subject to such exceptions, encumbrances, interests and entries specified in Schedule 2 and to any additional entries in the Folio of the Register.

Recorder of Titles



DESCRIPTION OF LAND

Parish of ORMAIG, Land District of MONMOUTH
Lot 1 on Diagram 31730
Derivation : Part of 100 Acres Located to J. Morgan.
Prior CT 4364/18

SCHEDULE 1

N216756 TRANSFER to PETER JAMES HOWELL Registered
21-Sep-2024 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

SEARCH OF TORRENS TITLE

VOLUME 31730	FOLIO 1
EDITION 4	DATE OF ISSUE 21-Sept-2024

SEARCH DATE : 08-Apr-2026

SEARCH TIME : 01.29 pm

DESCRIPTION OF LAND

Parish of ORMAIG, Land District of MONMOUTH
Lot 1 on Diagram 31730
Derivation : Part of 100 Acres Located to J. Morgan.
Prior CT 4364/18

SCHEDULE 1

N216756 TRANSFER to PETER JAMES HOWELL Registered
21-Sept-2024 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

D. 31730

Owner: ERNEST RUPERT NORRIS	PLAN OF SURVEY by Surveyor..... of land situated in the	Registered Number: D31730
Title Reference: CONV. 32-8150 (x.5013)	LAND DISTRICT OF MONMOUTH PARISH OF ORMAIG	Approved _____ Effective from: 27 MAY 1987
Grantee: PART OF 100 A. OR OP LOCATED TO JOHN MORGAN	SCALE 1: 2000 MEASUREMENTS IN METRES	<i>Anthony Lane</i> Acting Recorder of Titles

