



Public Notice Details

Planning Application Details

Application No	DA2500161
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Property Details

Property Location	3 Pierre Court Campania
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Application Information

Application Type	Discretionary Development Application
Development Category	Outbuilding
Advertising Commencement Date	3/12/25
Advertising Closing Period	17/12/25
<small>If the Council Offices are closed during normal office hours within the above period, the period for making representations is extended.</small>	

Enquiries regarding this Application can be made via to Southern Midlands Council on (03) 6254 5050 or by emailing planningenquires@southernmidlands.tas.gov.au. Please quote the development application number when making your enquiry.

Representations on this application may be made to the General Manager in writing either by

Post: PO Box 21, Oatlands Tas 7120
Email: mail@southernmidlands.tas.gov.au
Fax: 03 6254 5014

All representations must include the authors full name, contact number and postal address and be received by the advertising closing date.



APPLICATION FOR PLANNING PERMIT DEVELOPMENT / USE

Use this form to apply for a permit in accordance with section 57 and 58 of the *Land Use Planning and Approvals Act 1993*

Proposed
use/development:
*(Provide details of
proposed works and use).*

Garden shed on concrete slab for storage of tools, bikes, excess household items, etc.

Location of
Development:
*(If the development
includes more than one
site, or is over another
property include address
of both Properties).*

3 Pierre Court, CAMPANIA

Certificate of Title/s
Volume Number/Lot
Number:

184715/80

Land Owners Name:

Rodney Eric Scaife and Judith Nancy Scaife and Andrew Robert Glover and Kathryn Elizabeth Glover

Full Name/s or Full Business/Company Name

Applicant's Name:

Kathryn Glover

Full Name/s or Full Business/ Company Name (ABN if registered business or company name)

Contact details:

Postal address for correspondence: 15 Gregson St, RISDON

Telephone or Mobile: 0419 878 226

Email address: glover92@bigpond.com

(Please note it is your responsibility to provide your correct email address and to check your email for communications from the Council.)

Details
Tax Invoice for
application fees to be
in the name of:
(if different from
applicant)

Scaife Family Trust and J-KLAS Family Trust

Full Name/s or Full Business or Company Name and ABN if registered business or company name

Print email address glover92@bigpond.com

ABN 90297954749

What is the estimated value of all the new work proposed

\$ 10,000



For Commercial Planning Permit Applications Only

Signage:

Is any signage proposed?

Yes

No

If yes, attach details: size, location and art work

Business Details:

Existing hours of operation

Hours	am	to	pm
Weekdays			
Sat			
Sun			

Proposed hours of new operation

Hours	am	to	pm
Weekdays			
Sat			
Sun			

Number of existing employees:

Number of proposed new employees:

Traffic Movements:

Number of commercial vehicles serving the site at present

Approximate number of commercial vehicles servicing the site in the future

Number of Car Parking Spaces:

How many car spaces are currently provided

How many new car spaces are proposed

Is the development to be staged:

Please tick ✓ answer

Yes

No

Please attach any additional information that may be required by Part 6.1 *Application Requirements* of the Tasmanian Planning Scheme – Southern Midlands.

Signed Declaration

I/we as owner of the land or person with consent of the owner hereby declare that:

1. I/we have read the Certificate of Title and Schedule of Easements for the land and I/we are satisfied that this application is not prevented by any restrictions, easements or covenants.
2. I/we provide permission by or on behalf of the applicant for Council officers to enter the site to assess the application.
3. The information given in this application is true and accurate. I/we understand that the information and materials provided with this application may be made available to the public. I/we understand that the Council may make such copies of the information and materials as, in its opinion, are necessary to facilitate a thorough consideration of the application.
4. I/we have secured the necessary permission from the copyright owner to communicate and reproduce the plans submitted with the application for assessment. I/we indemnify the Southern Midlands Council for any claim or action taken against it regarding a breach of copyright in respect of any of the information or material provided.
5. I/we declare that, in accordance with Section 52(1) of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their consent is attached and the application form signed by the Minister of the Crown responsible and/or the General Manager of the Council.

Applicant Signature
(If not the Title Owner)

Applicant Name (please print)

Date

Land Owner(s) Signature

Land Owners Name (please print)

Date



Land Owner(s) Signature

Land Owners Name (please print)

ANDREW ROBERT GLOVER

Date

21/11/2025

PRIVACY STATEMENT

The Southern Midlands Council abides by the Personal Information Protection Act 2004 and views the protection of your privacy as an integral part of its commitment towards complete accountability and integrity in all its activities and programs.

Collection of Personal Information: The personal information being collected from you for the purposes of the Personal Information Protection Act, 2004 and will be used solely by Council in accordance with its Privacy Policy. Council is collecting this information from you in order to process your application.

Disclosure of Personal Information: Council will take all necessary measures to prevent unauthorised access to or disclosure of your personal information. External organisations to whom this personal information will be disclosed as required under the Building Act 2000. This information will not be disclosed to any other external agencies unless required or authorised by law.

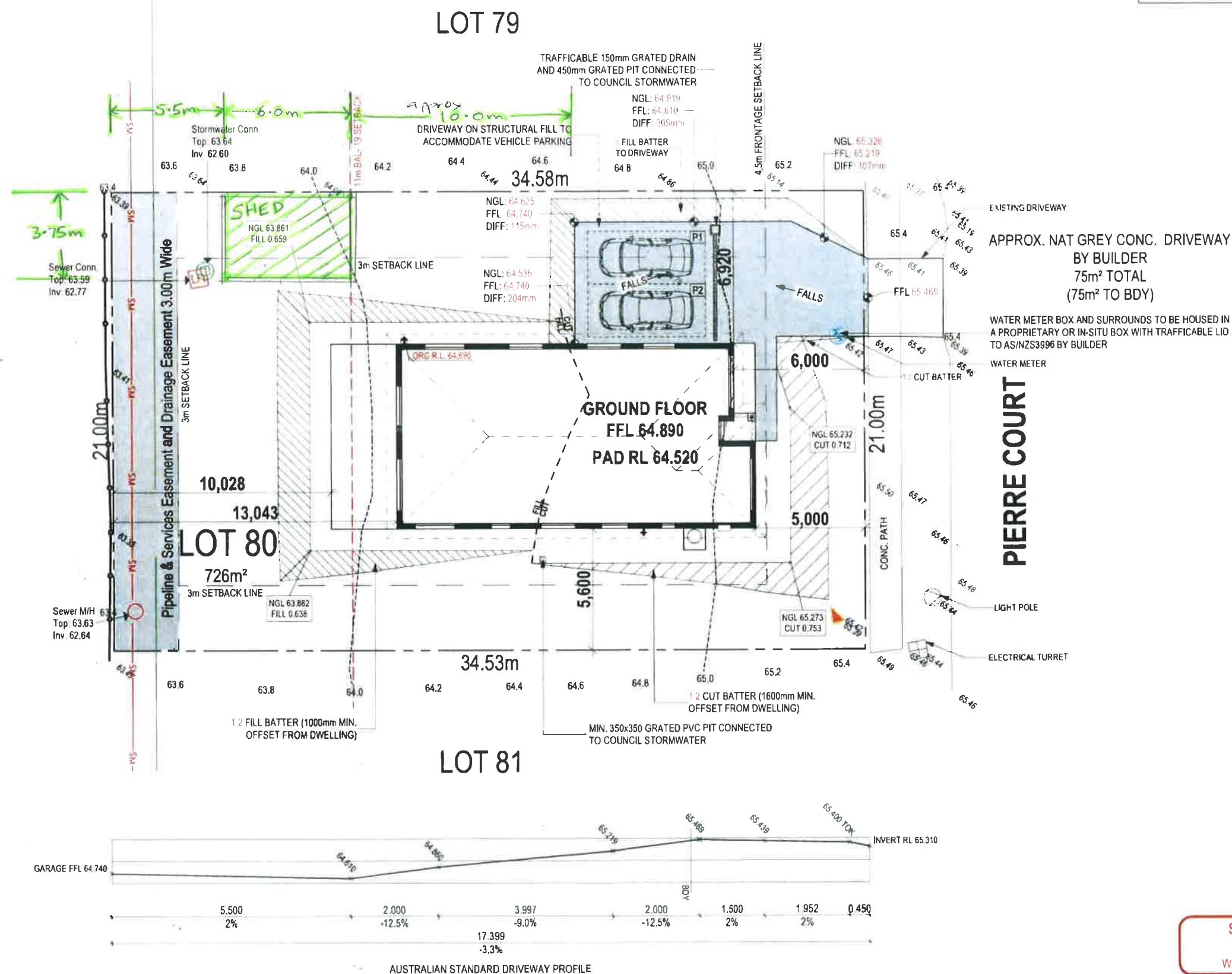
Correction of Personal Information: If you wish to alter any personal information you have supplied to Council please telephone the Southern Midlands Council on (03) 62545050. Please contact the Council's Privacy Officer on (03) 6254 5000 if you have any other enquires concerning Council's privacy procedures.

APPROX. CUT/FILL		
CUT	49.30m ³	110.931
FILL	49.76m ³	111.961
DIFFERENCE	0.46m ³	1.030

EVEN CUT & FILL

LOT SIZE: 726m²
HOUSE (COVERED AREA): 162.07m²
SITE COVERAGE: 22.34%

BAL-19 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS



DRIVEWAY DETAILS
SCALE: 1:100

**SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING**

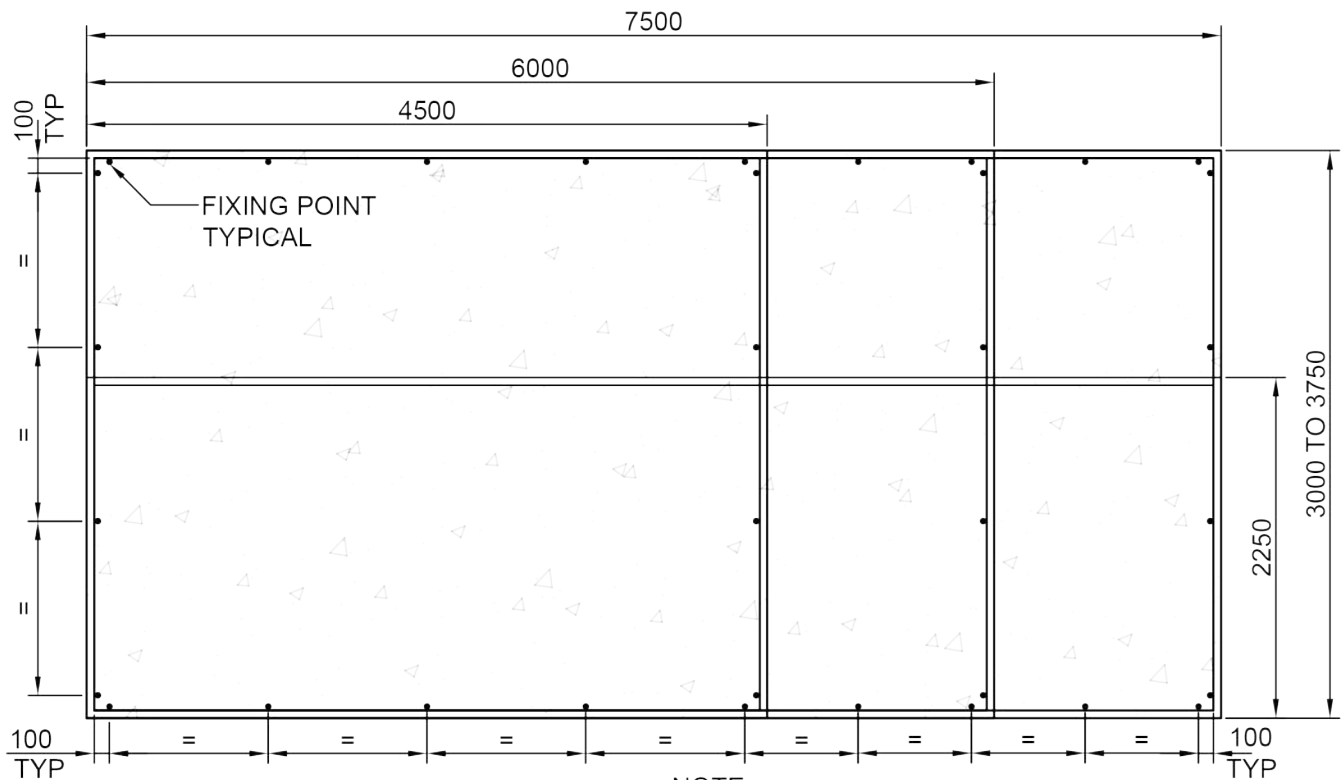
CONSTRUCTION PLANS

DATE: 07/03/2025 DRAFTER: RT2
REVISION: 6 ESTIMATOR: KAM
DRAFTING OFFICE: TASMANIA

© 2025 WILSON HOMES PTY LTD (ABN 96 126 636 897). THIS DRAWING IS AN ORIGINAL ARTISTIC WORK WITHIN THE MEANING OF THE COPYRIGHT ACT 1968 (CTH). WILSON HOMES PTY LTD IS THE OWNER OF COPYRIGHT IN THIS DRAWING. YOU HEREBY AGREE AND UNDERTAKE THAT YOU WILL NOT IN ANY WAY REPRODUCE, COPY, MODIFY, USE OR TAKE ADVANTAGE OF THE DRAWING TO BUILD A HOUSE BASED ON THIS PLAN (WHETHER IN WHOLE OR IN PART) WITHOUT THE PRIOR WRITTEN CONSENT OF WILSON HOMES PTY LTD.

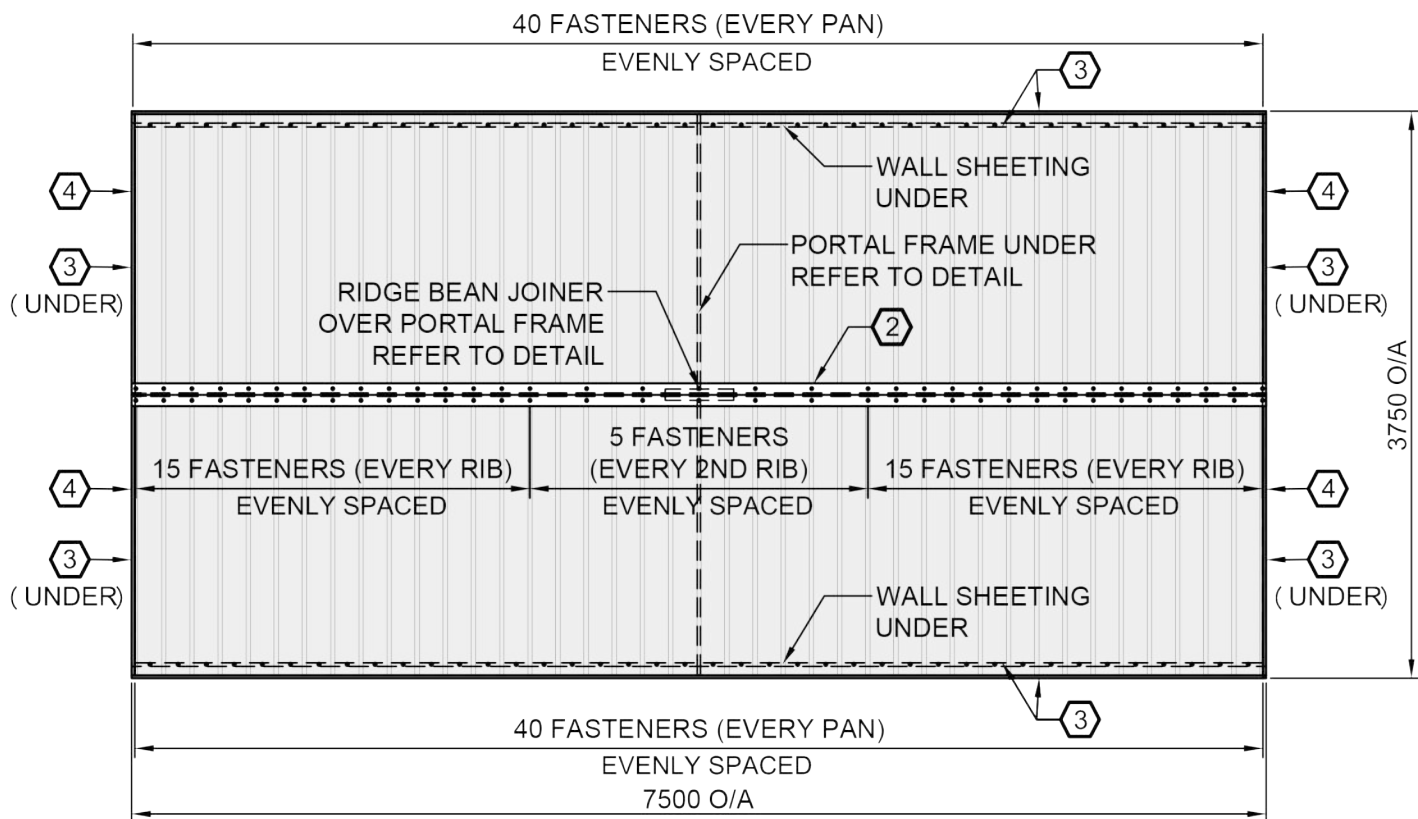


SPECIFICATION:		REVISION	DRAWN	CLIENT:	HOUSE DESIGN:	HOUSE CODE	DO NOT SCALE DRAWINGS USE FIGURED DIMENSIONS ONLY CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE
DISCOVERY	2	PRELIM PLANS - INITIAL ISSUE	MT 07.02.2024	ROD E. & JUDITH N. SCAIFE & ANDREW R. & KATH E. GLOVER	BAILIE 14	H-WDCBAI30SA	
COPYRIGHT:	3	BA PLANS - INITIAL ISSUE	CLG 29.05.2024	ADDRESS:	FACADE DESIGN	FACADE CODE	
© 2025	4	BA PLANS - VARIATION UPDATE	MLG 11.07.2024	3 PIERRE COURT, CAMPANIA TAS 7026	BOARDWALK FACADE	F-WDCBAI30BWLKA	
	5	BA PLANS- CORRECTION & FORM -3S ISSUE	RT2 08.08.2024	LOT / SECTION / CT: COUNCIL	SHEET TITLE SHEET No.	SCALES	
	6	FOR CONSTRUCTION UP TO VARIATION 004	RT2 07.03.2025	80 / - / 184715 SOUTHERN MIDLANDS COUNCIL	SITE PLAN 2 / 22	1:200, 1:100	
							713917



TYPICAL BASE FIXINGS
SCALE 1:50

NOTE:
ANCHOR BOLTS ARE TO BE PROVIDED EACH SIDE OF DOOR OPENING. THE WALL CONTAINING DOORS SHALL HAVE AT LEAST AS MANY ANCHOR BOLTS AS SHOWN.



ROOF FIXING PLAN
SCALE 1:50

DESIGN CRITERIA

- THESE STRUCTURES ARE CLASSIFIED AS CLASS 10a OF IMPORTANCE LEVEL 2 AND HAVE BEEN DESIGNED FOR THE FOLLOWING WIND LOADS TO AS 1170.2 AND THE BCA.
- THE STRUCTURAL ELEMENTS ON THIS DRAWING HAVE BEEN DESIGNED FOR WIND PRESSURE CONSISTENT WITH REGION N1 OF AS 4055 - 2012 BASED ON PRESSURE COEFFICIENTS (INTERNAL & EXTERNAL) FROM AS / NZ 1170.2 - 2011
- THE STRUCTURAL ELEMENTS ON THIS DRAWING HAVE BEEN DESIGNED FOR A NON-TRAFFICABLE ROOF WITH LIVE LOADS CONSISTENT WITH THE FOLLOWING:
 - UDL 0.25kPa
 - POINT LOAD 1.1kN

1 DENOTES PART; REFER TO S15 FOR DETAILS

TRUSS SHED RANGE SIZES

SIZE	DOORS
4.50m x 2.25m x 2.05m	2
6.00m x 2.25m x 2.05m	2
4.50m x 3.00m x 2.10m	2
6.00m x 3.00m x 2.10m	2
7.50m x 3.00m x 2.10m	2
4.50m x 3.75m x 2.18m	2
6.00m x 3.75m x 2.18m	2
7.50m x 3.75m x 2.18m	2

GENERAL

- THE INFORMATION CONTAINED ON THESE DRAWINGS IS FOR STRUCTURAL ENGINEERING PURPOSES ONLY. ANY DISCREPANCIES THAT COULD RESULT IN CHANGES TO THE STRUCTURAL DETAILS SHALL BE REFERRED TO THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
- ALL DIMENSIONS SHOWN SHALL BE VERIFIED BY THE BUILDER ON SITE PRIOR TO CONSTRUCTION. DO NOT SCALE FROM THESE DRAWINGS
- DURING CONSTRUCTION THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION AND NO PART SHALL BE OVERSTRESSED. TEMPORARY BRACING SHALL BE PROVIDED BY THE BUILDER TO KEEP THE WORKS STABLE AT ALL TIMES.

CONCRETE & FOUNDATIONS

- SLAB THICKNESS IS SHOWN INDICATIVELY. SLAB PROFILE SHOULD BE DESIGNED IN ACCORDANCE WITH AS2870. SLAB DESIGNED BY OTHERS

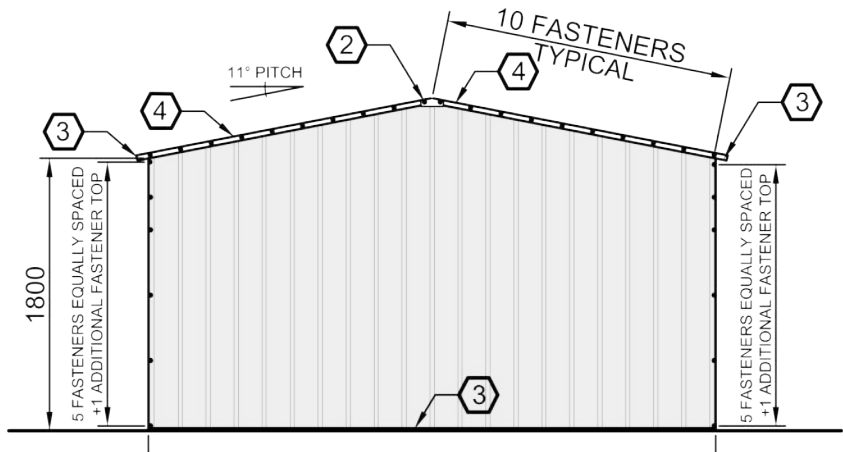
FIXINGS

- REFER TO S14 FOR FIXING DETAILS.
- HOLDING-DOWN BOLTS POSITIONS SO THAT BOLT TO SHEETING OCCURS AT CENTRE OF PAN.

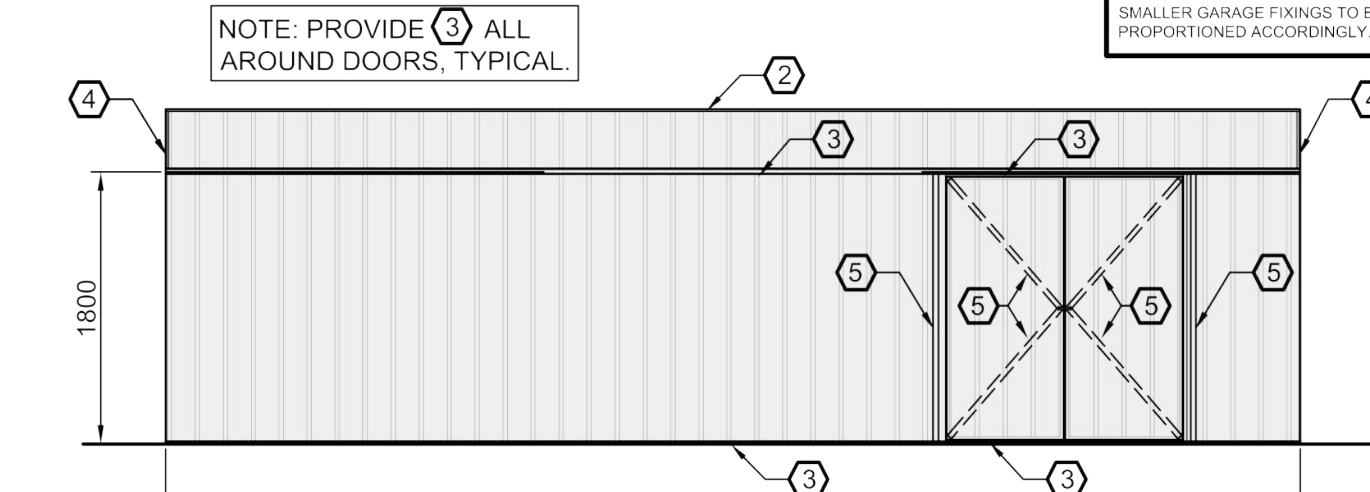
STEELWORK

- REFER TO S13 & S15 FOR STIFFENING MEMBER DETAILS
- ROOF, WALL, AND DOOR SHEETING TO BE GRADE G550 AZ150 ZINCALUME HI-TEN WITH A B.M.T.= 0.30mm U.N.O.
- PROVIDE SUITABLE CORROSION PROTECTION TO ALL UN GALVANIZED COMPONENTS TO AS / NZ 2312

NOTE: 7.50 x 3.75 x 2.18
GARAGE SHOWN INDICATIVELY.
SMALLER GARAGE FIXINGS TO BE PROPORTIONED ACCORDINGLY.



END ELEVATION
SCALE 1:50



SIDE ELEVATION
SCALE 1:50

C2	1709/2020	FOR CONSTRUCTION	VA	KF
P4	03/09/2020	PRELIMINARY	VA	KF
C1	30/03/2016	FOR CONSTRUCTION	SW	DB
P3	24/03/2016	PRELIMINARY	SW	DB
P2	22/03/2016	PRELIMINARY	SW	KF
P1	17/03/2016	PRELIMINARY	SW	DB
REV	DATE	REVISIONS	DRN	CHK

Plot date: 17/09/2020 CAD File: 15076 STRUCTURAL - DURABUILT SHED RANGE.dwg



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DURABUILT

TRUSS ROOF SHED RANGE

DRAWING STATUS:

CONSTRUCTION

DRAWING NUMBER:

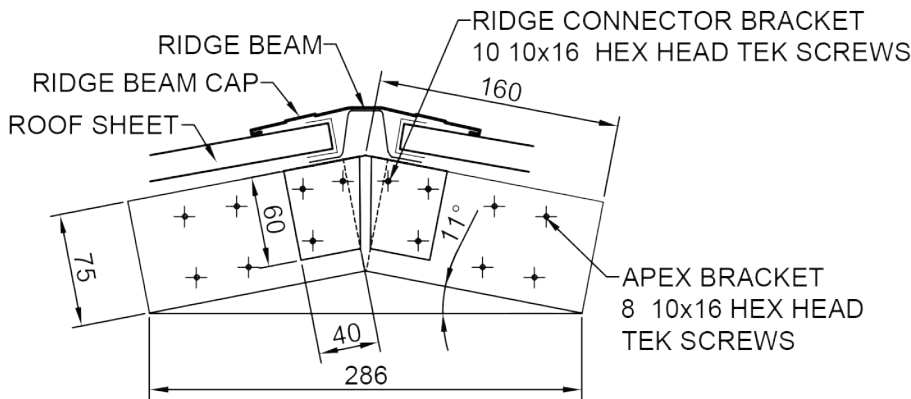
15076 - S11

REVISION

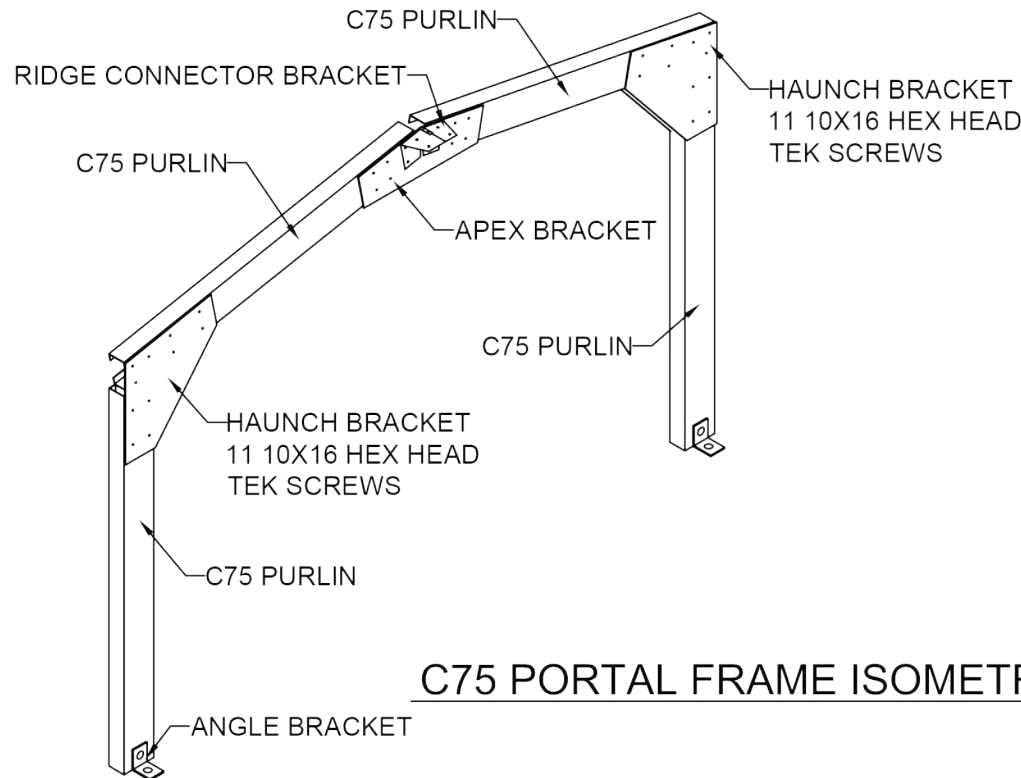
C2

APPROVED:

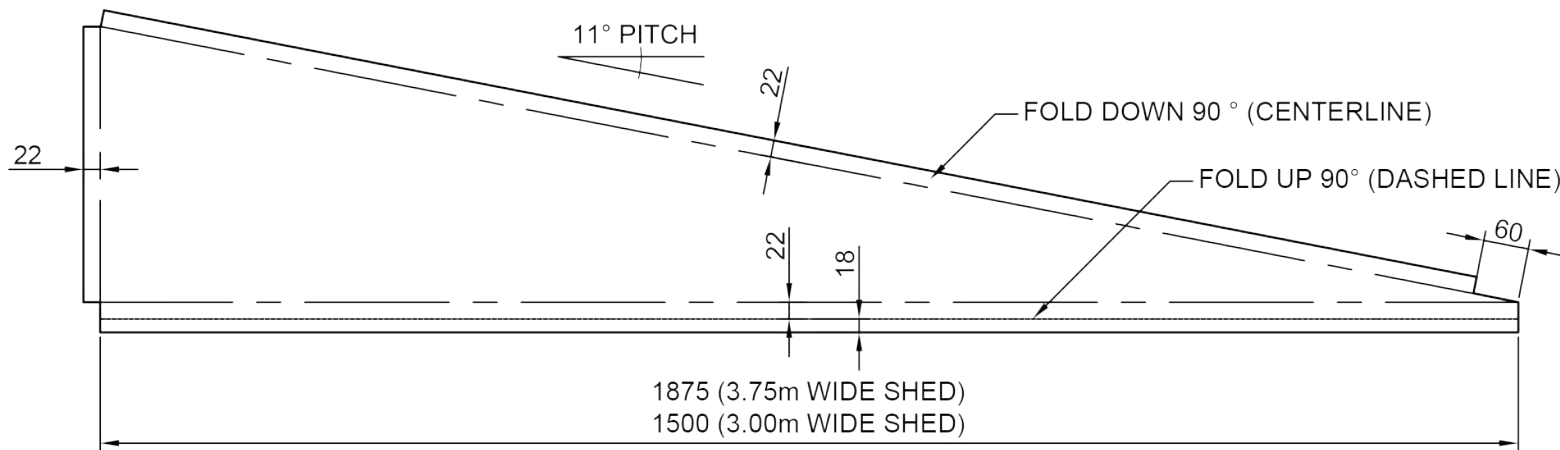
DATE:



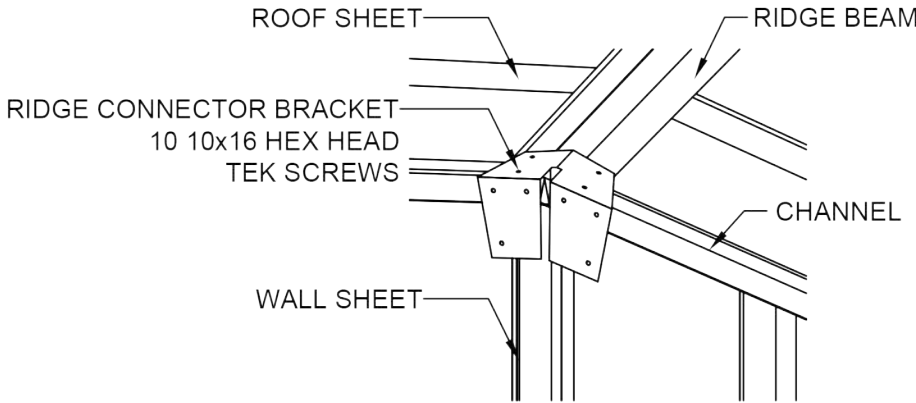
APEX CONNECTION
SCALE 1:5



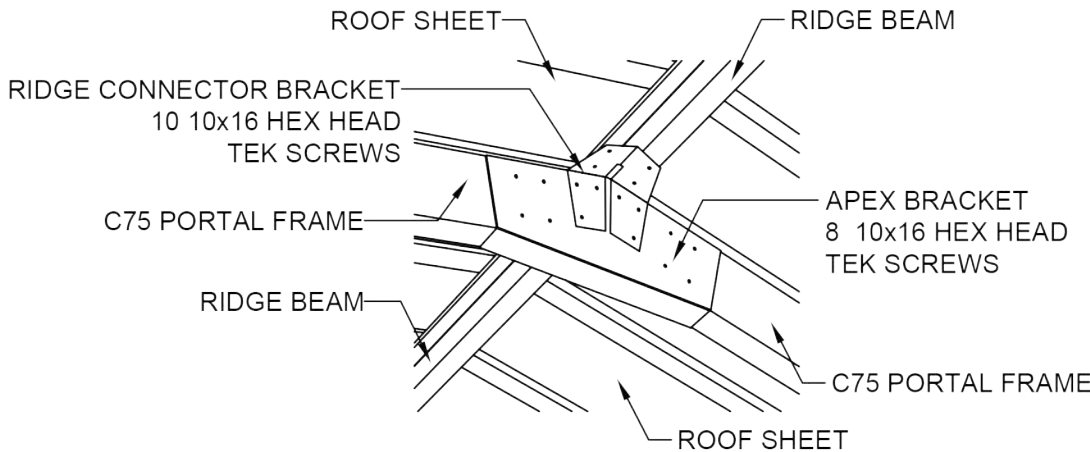
C75 PORTAL FRAME ISOMETRIC



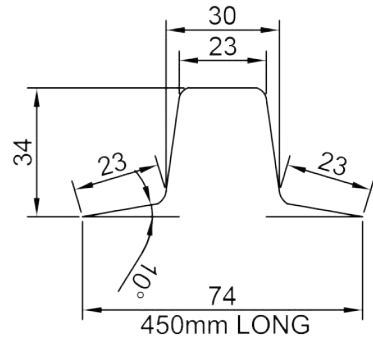
GARAGE SHED FRONT ELEVATION TYPICAL GABLE INFILL
RIGHT HAND GABLE INFILL SHOWN, LEFT SIMILAR
SCALE 1:10
BMT: 0.6mm MPa:G300



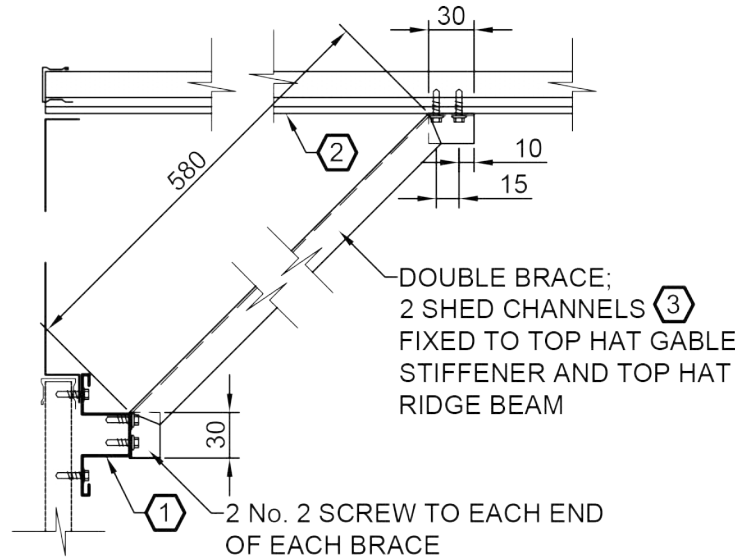
RIDGE BEAM TO GABLE WALL
CONNECTION ISOMETRIC



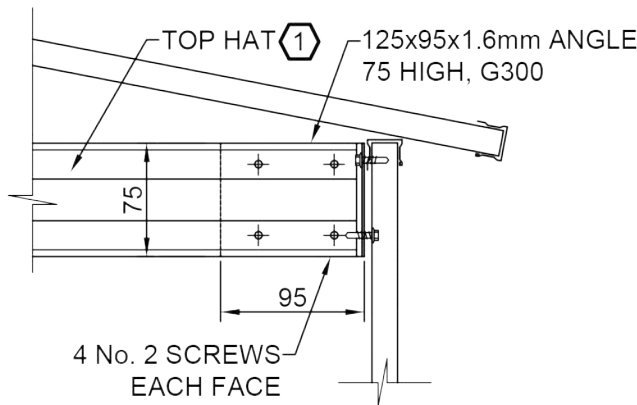
RIDGE BEAM TO PORTAL FRAME
CONNECTION ISOMETRIC



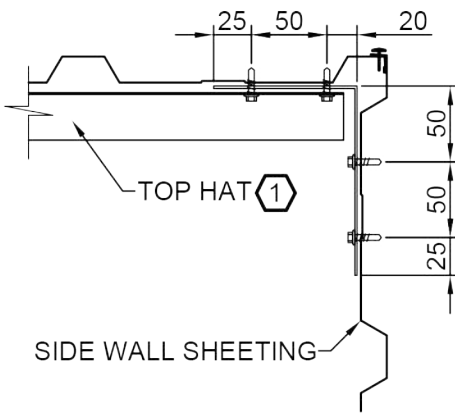
RIDGE BEAM JOINER DETAIL
SCALE 1:2
BMT: 1.95mm MPa:G450



GARAGE SHED FRONT ELEVATION
TYPICAL BRACE DETAIL
SCALE 1:5



GARAGE SHED FRONT ELEVATION
TYPICAL TOP HAT TO WALL CONNECTION DETAIL
SCALE 1:5



PLAN VIEW

C3	17/09/2020	FOR CONSTRUCTION	VA	KF
P4	03/09/2020	PRELIMINARY	VA	KF
C2	12/06/2020	FOR CONSTRUCTION	HP	NW
C1	30/03/2016	FOR CONSTRUCTION	SW	DB
P3	24/03/2016	PRELIMINARY	SW	DB
P2	22/03/2016	PRELIMINARY	SW	KF
P1	17/03/2016	PRELIMINARY	SW	DB
REV	DATE	REVISIONS	DRN	CHK

Plot date: 17/09/2020 CAD File: 15076 STRUCTURAL - DURABUILT SHED RANGE.dwg

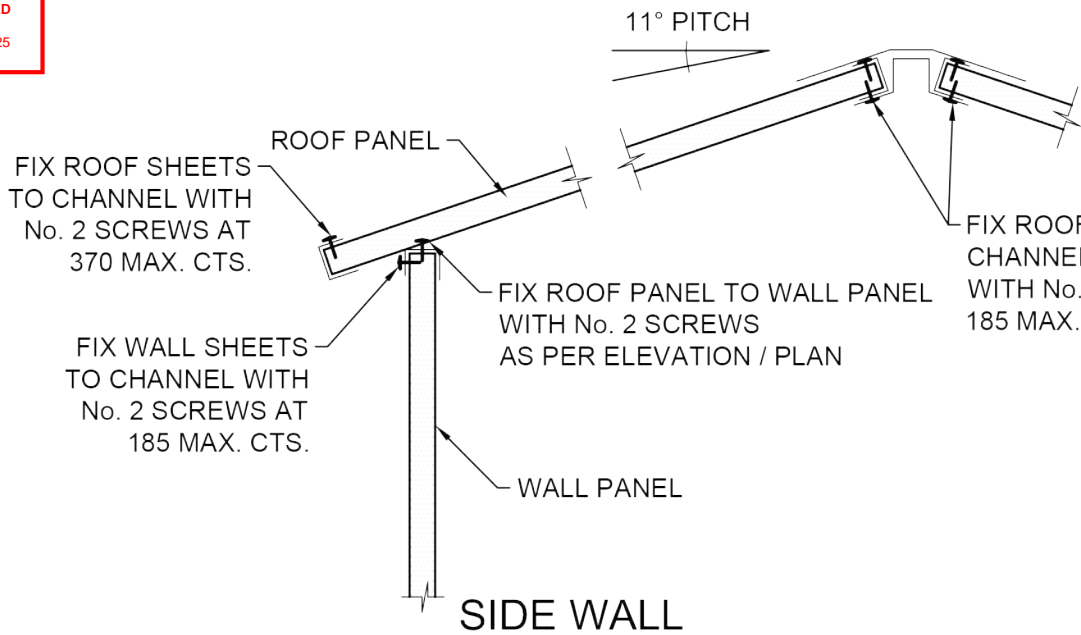


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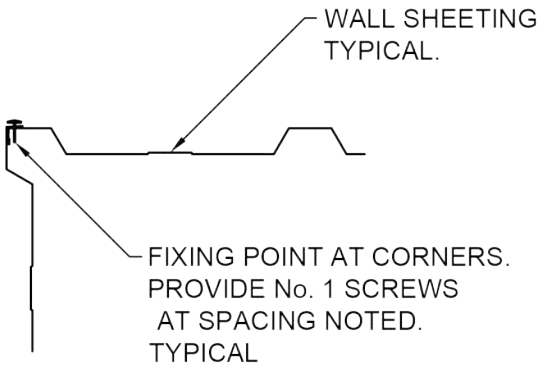
DURABUILT

TRUSS ROOF AND
GARAGE SHED RANGE
TYPICAL DETAILS

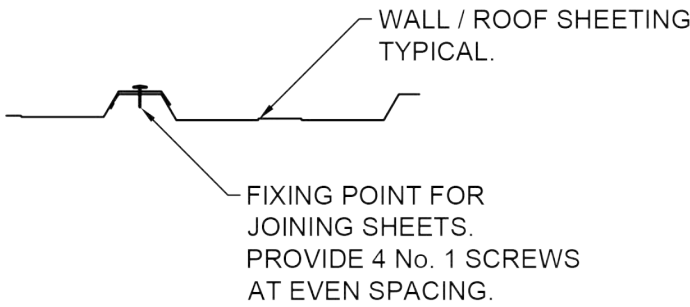
DRAWING STATUS:	CONSTRUCTION	
DRAWING NUMBER:	15076 - S13	REVISION C3
APPROVED:	DATE:	



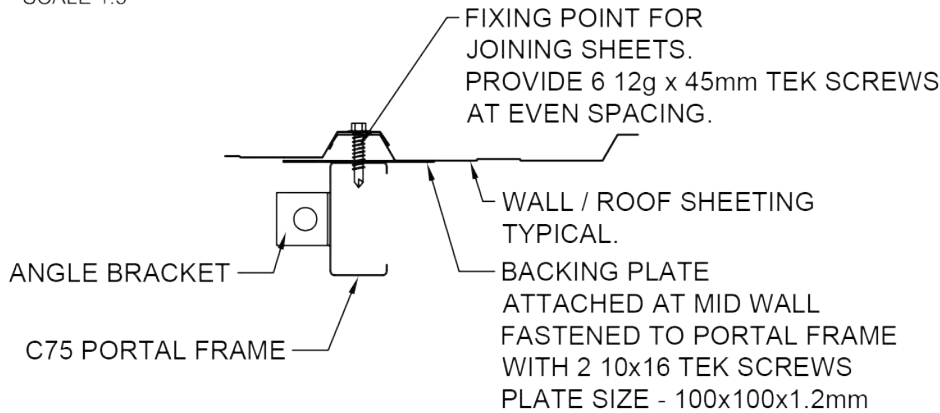
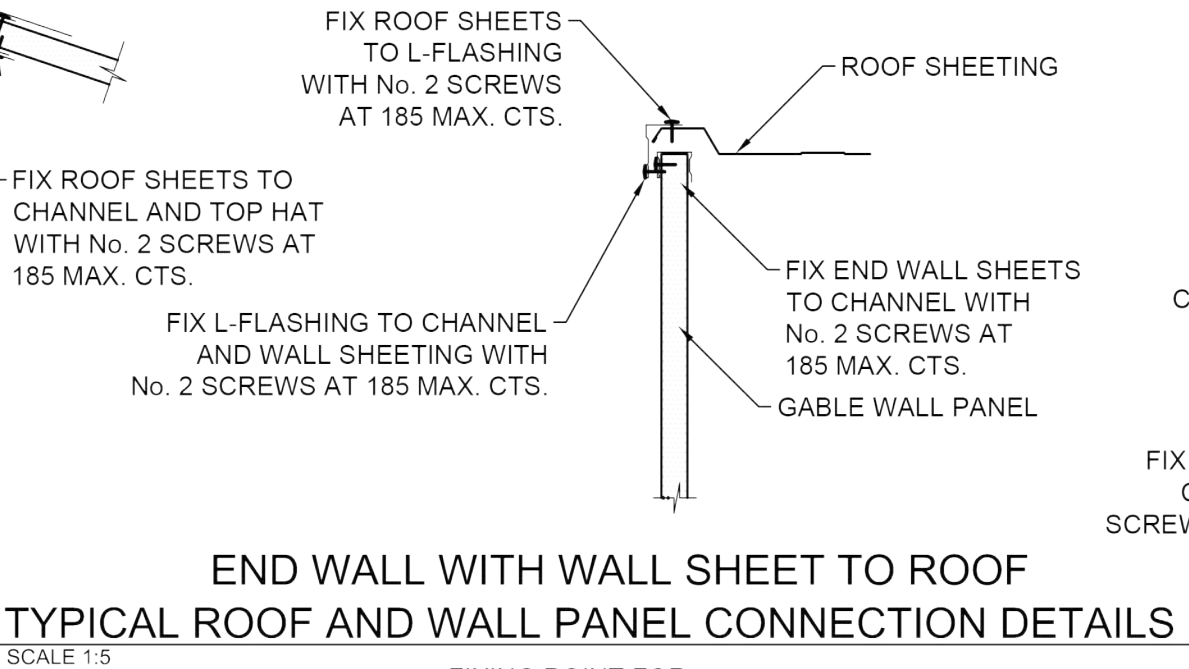
FASTENER TABLE	
FASTENER #	DESCRIPTION
1	ZENITH 8g x 12mm BUTTON HEAD PART No. CVS 6412
2	ZENITH 10g x 16mm WAFER HEAD PART No. CBL 7616



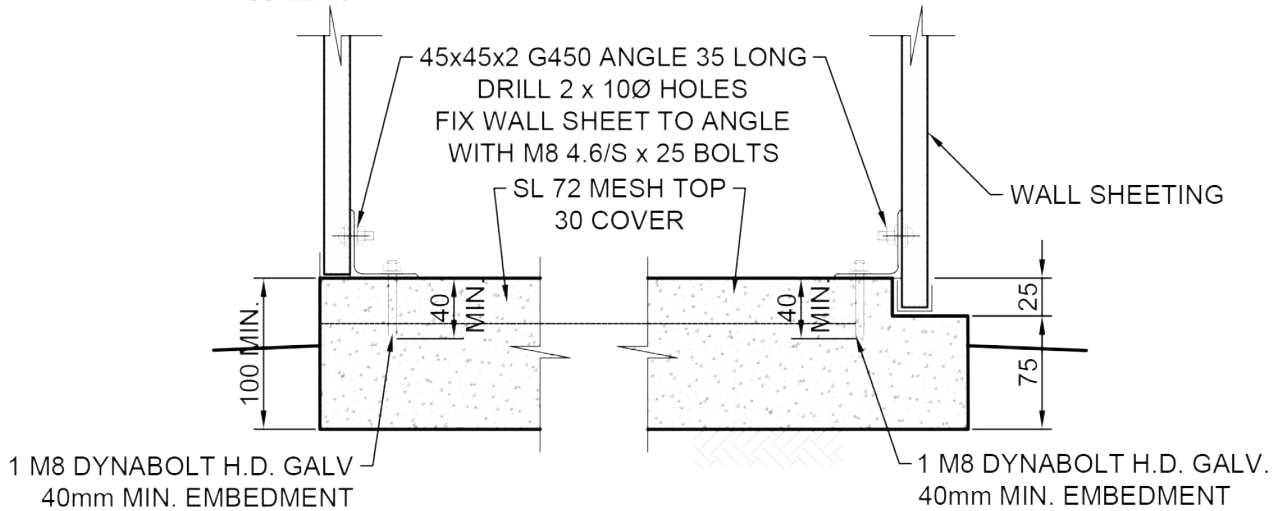
TYPICAL CORNER FIXING
SCALE 1:5



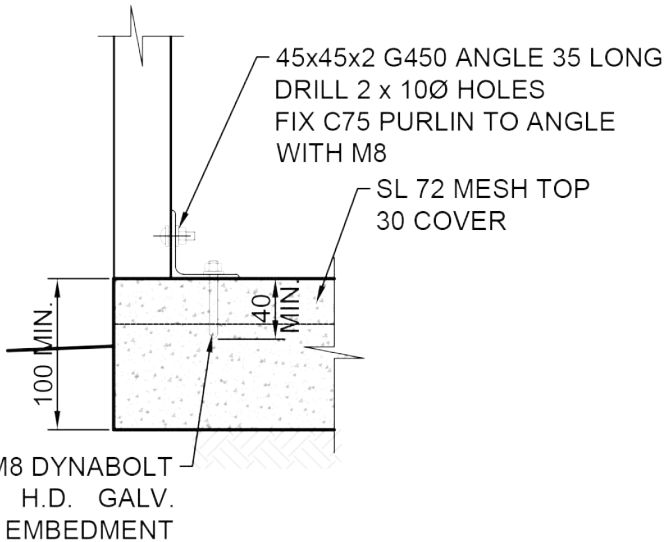
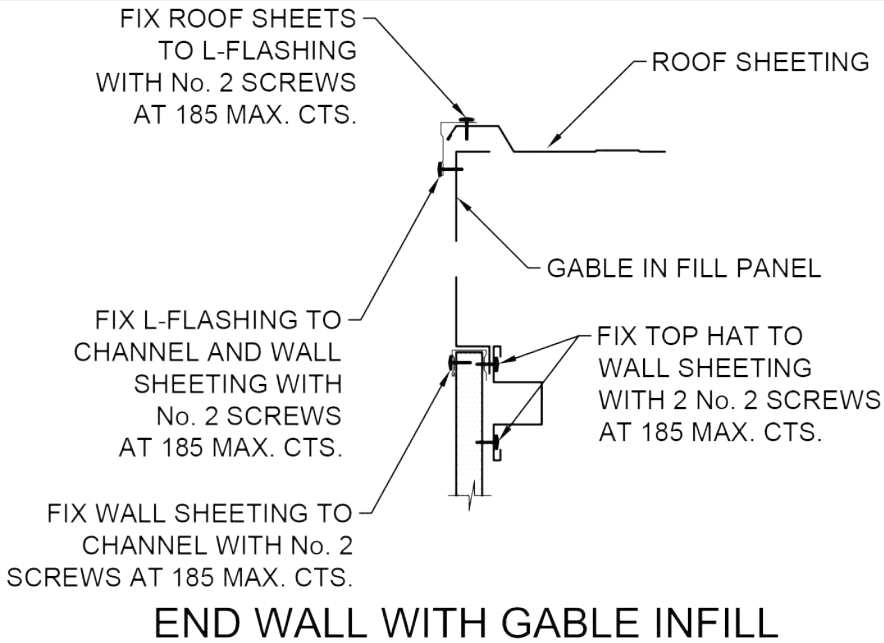
TYPICAL SHEET FIXING
SCALE 1:5



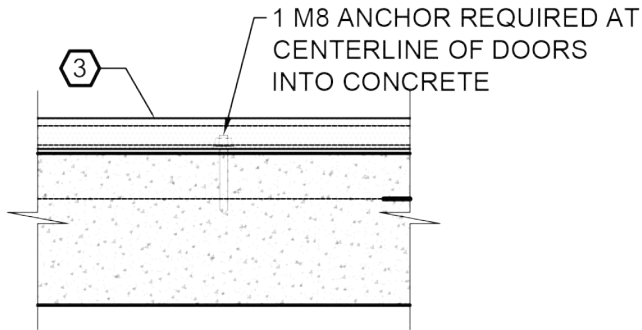
C75 PORTAL FRAME TO WALL SHEET FIXING
SCALE 1:5



FLAT SLAB OPTION
REBATE OPTION
TYPICAL HOLD DOWN ANGLE DETAIL
SCALE 1:5



HOLD DOWN AT C75 PORTAL FRAME
SCALE 1:5



TYPICAL HOLD DOWN AT DOOR DETAIL
SCALE 1:5

C3	18/09/2020	FOR CONSTRUCTION	VA	TA
C2	17/09/2020	FOR CONSTRUCTION	VA	KF
P4	03/09/2020	PRELIMINARY	VA	KF
C1	30/03/2016	FOR CONSTRUCTION	SW	DB
P3	24/03/2016	PRELIMINARY	SW	DB
P2	22/03/2016	PRELIMINARY	SW	KF
P1	17/03/2016	PRELIMINARY	SW	DB
REV	DATE	REVISIONS	DRN	CHK

Plot date: 18/09/2020 CAD File: 15076 STRUCTURAL - DURABUILT SHED RANGE.dwg

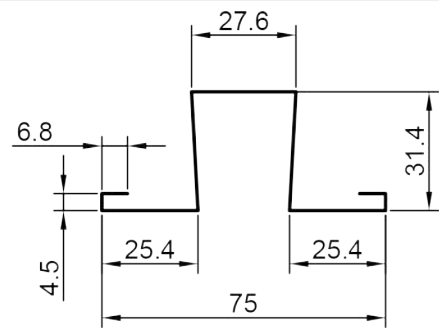


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TRUSS ROOF AND
GARAGE SHED RANGE
TYPICAL FIXING DETAILS

DRAWING STATUS:	
CONSTRUCTION	
DRAWING NUMBER:	REVISION
15076 - S14	C3
APPROVED:	DATE:

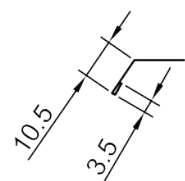


DOOR / GABLE STIFFENER

SCALE 1:2

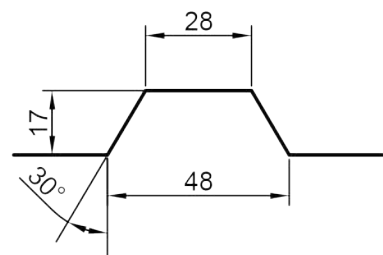
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1



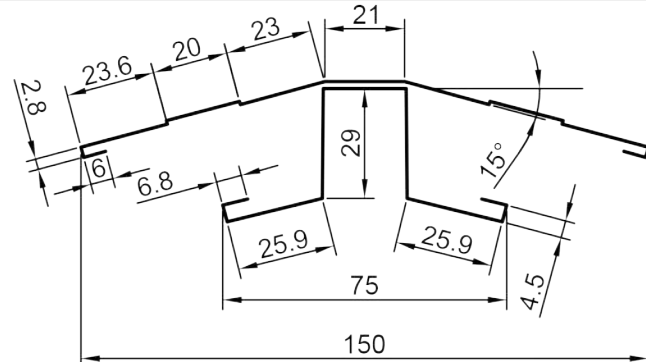
END FLANGE DETAIL

SCALE 1:2



TYPICAL RIB DETAIL

SCALE 1:2

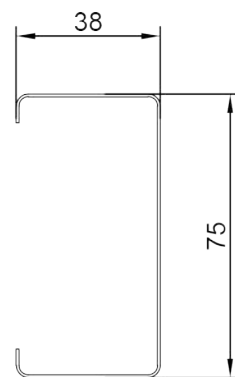


RIDGE BEAM CAP SECTION

SCALE 1:2

HAT SECTION BMT: 1.6mm MPa:G300
CAP SECTION BMT: 0.55mm MPa:G300

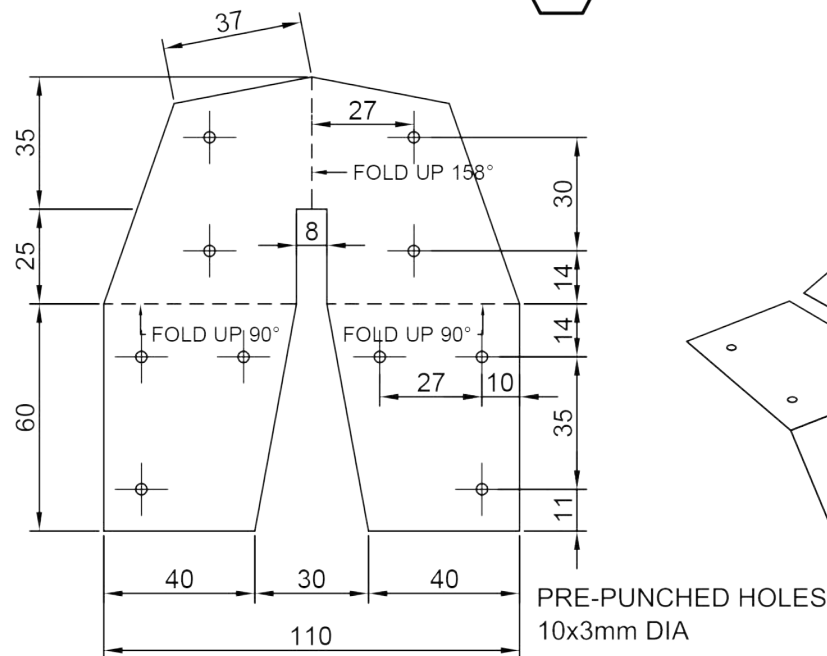
2



C-75 SECTION PURLIN

SCALE 1:2

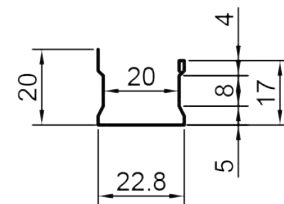
BMT: 1.20mm MPa:G550



RIDGE CONNECTOR BRACKET - ERCB

SCALE 1:2

BMT: 1.20mm MPa:G450

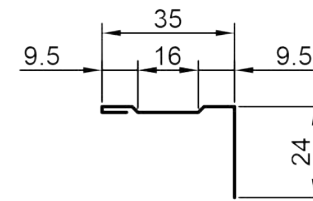


SHED CHANNEL

SCALE 1:2

BMT: 0.75mm MPa:G450

3

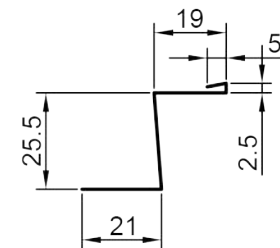


L FLASHING

SCALE 1:2

BMT: 0.75mm MPa:G450

4

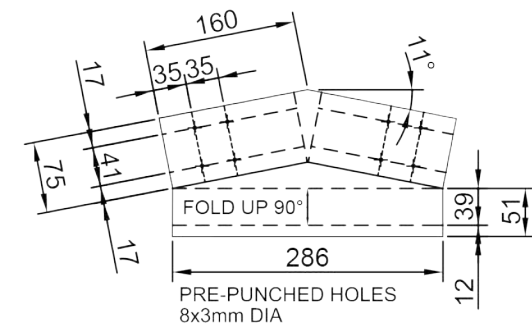


Z JAMB BRACE

SCALE 1:2

BMT: 0.75mm MPa:G450

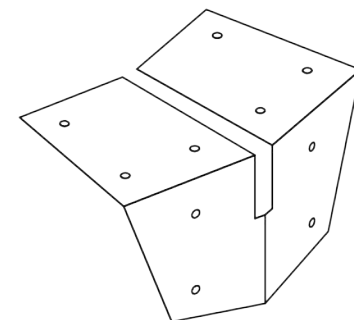
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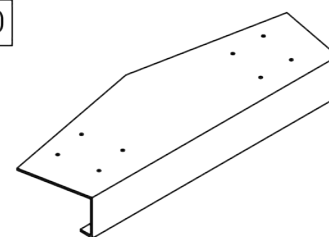
C75 APEX BRACKET - EC75AB

SCALE 1:8

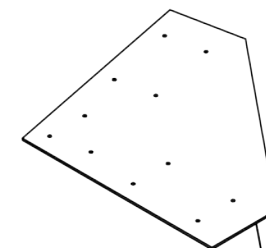
BMT: 2.0mm MPa:G450



ERCB

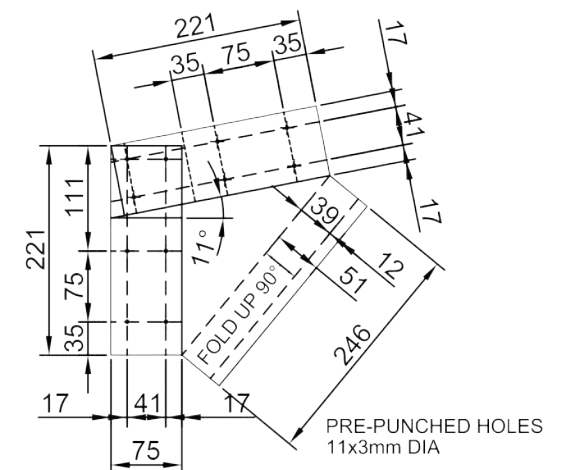


EC75AB



EC75HB

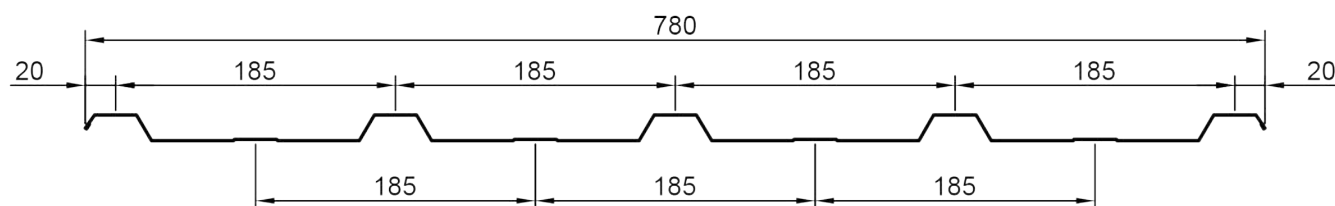
FOLDED ISOMETRIC VIEW



C75 HAUNCH BRACKET - EC75HB

SCALE 1:8

BMT: 2.0mm MPa:G450



TYPICAL SHEET SECTION

SCALE 1:5

BMT: 0.30mm MPa:G550

C2	1709/2020	FOR CONSTRUCTION	VA	KF
P4	03/09/2020	PRELIMINARY	VA	KF
C1	30/03/2016	FOR CONSTRUCTION	SW	DB
P3	24/03/2016	PRELIMINARY	SW	DB
P2	22/03/2016	PRELIMINARY	SW	KF
P1	17/03/2016	PRELIMINARY	SW	DB
REV	DATE	REVISIONS	DRN	CHK

Plot date: 17/09/2020 CAD File: 15076 STRUCTURAL - DURABUILT SHED RANGE.dwg



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DURABUILT

TRUSS ROOF AND
GARAGE SHED RANGE
TYPICAL MEMBER DETAILS

DRAWING STATUS:	CONSTRUCTION
DRAWING NUMBER:	15076 - S15
REVISION	C2

APPROVED: DATE:

3 Pierre Court Campania Shed Plans

Notes:

TALL WORKSHOP MODEL ETT-D6038 6m x 3.75m (being 2100mm high on the side walls, and 2480mm high at the roof peak).

Colour: The shed is to be built in Armour Grey Colorbond steel.

Positioning: Site photos supplied to help you envision the project

The northern end of the shed is expected to finish around half a metre to the right of the yellow mustard flower plant approximately halfway along the fenceline (**see photo #4 and #6**). It will be approximately opposite the green sewer cover/pipe (**photo #2**).

The southern end of the shed is expected to start 4.5-5m from the southern boundary (about 0.5m-1m north of the sewer and stormwater pipes (these can be seen where the white peg is in **photo #3**).

We hope to excavate approximately 150-200mm on the northern end of the shed near the fence in order to:

- a. Level up the ground for the concrete slab
- b. Keep the side wall of the shed (at the northern end) protruding only 150-200mm above the 1800mm fenceline. The peak of the roof is expected to be a further 380mm higher than this, however the impact should be lessened by the distance from the fence.

At the southern end, we expect the shed wall to protrude above the fence perhaps 500-600mm.

Please note that the immediate neighbour has a shed which is also close to, and protruding above the fence (see **photo #7**).

SMC - KEMPTON
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24/11/2025



SMC - KEMPTON
RECEIVED
24/11/2025



SMC - KEMPTON

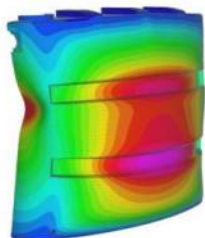
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24/11/2025



SMC - KEMPTON
RECEIVED
24/11/2025



**David Beneke Consulting**

Finite Element Analysis for Engineering

ABN 38 140 224 620
Unit 38 / 7 Sefton Road
Thornleigh NSW 2120
+ 614 1257 5693
dbconsulting@live.com.au
davidbenekeconsulting.com

2015-32-LO-204

17 June 2025

Durabuilt Products
40 Knowles Road,
Ettamogah NSW 2640

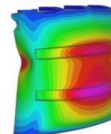
**RE: DURABUILT STANDARD GARAGE AND WORKSHOP SHED RANGE
REVISION 8**

We certify that we have undertaken a structural engineering design check of the light gauge steel garage shed structures detailed on the following Durabuilt Products drawings:

- 15076-S11 Revision C2 dated 17 September 2020 (for workshop sheds only)
- 15076-S12 Revision C3 dated 17 September 2020 (for garage sheds only)
- 15076-S13 Revision C3 dated 17 September 2020 (for both workshop and garage sheds)
- 15076-S14 Revision C3 dated 18 September 2020 (for both workshop and garage sheds)
- 15076-S15 Revision C2 dated 17 September 2020 (for both workshop and garage sheds)

We certify that the structural design of the light gauge steel elements of the shed structures shown on the above drawings is capable of supporting the design loads, in accordance with the relevant sections of the following Codes of Practice and test data: -

1. Sections of NCC2022 applicable:
 - a. Volume 1 Section B, Part B1 Structural Provisions, B1P1 & B1P2.
 - b. Volume 2 Section H, Part H1 Structure, H1P1
2. AS/NZS1170.0-2002 Structural design actions, Part 0: General principles.
3. AS 4055-2021 Wind loads for housing
4. AS/NZS1170.2-2021 Wind Actions
5. AS/NZS 4600-2018 Cold-formed Steel Structures.
6. Lap shear and tension test data provided by the University of Western Sydney (April 2015) related to light gauge steel connections.



This certificate shall become void in the following circumstances:

- i. In circumstances where the sheds have been manufactured using materials with a different material grade or thicknesses as that indicated on the drawings.
- ii. In circumstances where the geometry of the sheds has been changed from that shown on the aforementioned drawings without the written consent of David Beneke Consulting Pty Ltd.
- iii. In circumstances where the sheds have been installed in a manner which departs from that shown on the drawings and/or the manufacturer's instructions.
- iv. In circumstances where the design live loads for the roof of the sheds, namely 0.25 kPa uniformly distributed and 1.1kN concentrated load, have been surpassed.
- v. In circumstances where the sheds are constructed in AS4055-2021 wind zones beyond N1 as specified in the drawings.

This certificate does not cover the design of the reinforced concrete slab which supports the sheds which is the responsibility of others. As such, a suitably qualified structural engineer will need to be engaged to undertake the reinforced concrete slab design. The reinforced concrete slab must be designed in accordance with the current version of AS 2870 – Residential slabs and footings code for the site-specific subsoil classification and local ground conditions.

This certificate shall not be construed as relieving any other party of their legal responsibilities or contractual obligations.

Yours faithfully,

DAVID BENEKE¹
BE(Hons) ME(Res) MIEAust CPEng #62658
Director
for David Beneke Consulting Pty Ltd

Note 1 – Refer www.davidbenekeconsulting.com/about for a copy of David Beneke's Curriculum Vitae

RESULT OF SEARCH

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

SEARCH OF TORRENS TITLE

VOLUME 184715	FOLIO 80
EDITION 2	DATE OF ISSUE 22-Mar-2024

SEARCH DATE : 18-Nov-2025

SEARCH TIME : 03.17 PM

DESCRIPTION OF LAND

Parish of STAFFA Land District of MONMOUTH

Lot 80 on Sealed Plan 184715

Derivation : Part of Lot 13, 153A-3R-36P (Campania Estate) Gtd.
to Herbert James Paul

Prior CT 182676/200

SCHEDULE 1

D113179 TRANSFER to RODNEY ERIC SCAIFE and JUDITH NANCY
SCAIFE (jointly as between themselves) of one
undivided 1/2 share and ANDREW ROBERT GLOVER and
KATHRYN ELIZABETH GLOVER (jointly as between
themselves) of one undivided 1/2 share as tenants in
common Registered 05-May-2014 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
SP184715 EASEMENTS in Schedule of Easements
SP184715 COVENANTS in Schedule of Easements
SP184715 FENCING COVENANT in Schedule of Easements
SP159788, SP162016, SP170362, SP175724 & SP178220 COVENANTS in
Schedule of Easements
SP15390 & SP178220 FENCING COVENANT in Schedule of Easements
SP159788, SP162016, SP170362 & SP175724 FENCING PROVISION in
Schedule of Easements

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

FOLIO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

Tasmanian
Government

OWNER: RODNEY ERIC SCAIFE, JUDITH NANCY
SCAIFE, ANDREW ROBERT GLOVER,
KATHRYN ELIZABETH GLOVER

FOLIO REFERENCE:
C.T.182676/200

GRANTEE: PART OF LOT 13 (153A-3R-36Ps)
(CAMPANIA ESTATE) GRANTED TO
HERBERT JAMES PAUL

PLAN OF SURVEY

BY SURVEYOR ANDREW STEPHEN BIRCH
ROGERSON AND BIRCH SURVEYORS
UNIT 1 - 2 KENNEDY DRIVE, CAMBRIDGE PARK
PH 6248-5898 MOB. 0419-594-966

LAND DISTRICT OF MONMOUTH
PARISH OF STAFFA

SCALE 1: 750 LENGTHS IN METRES

REGISTERED NUMBER

SP184715

APPROVED
EFFECTIVE FROM - 5 MAY 2023

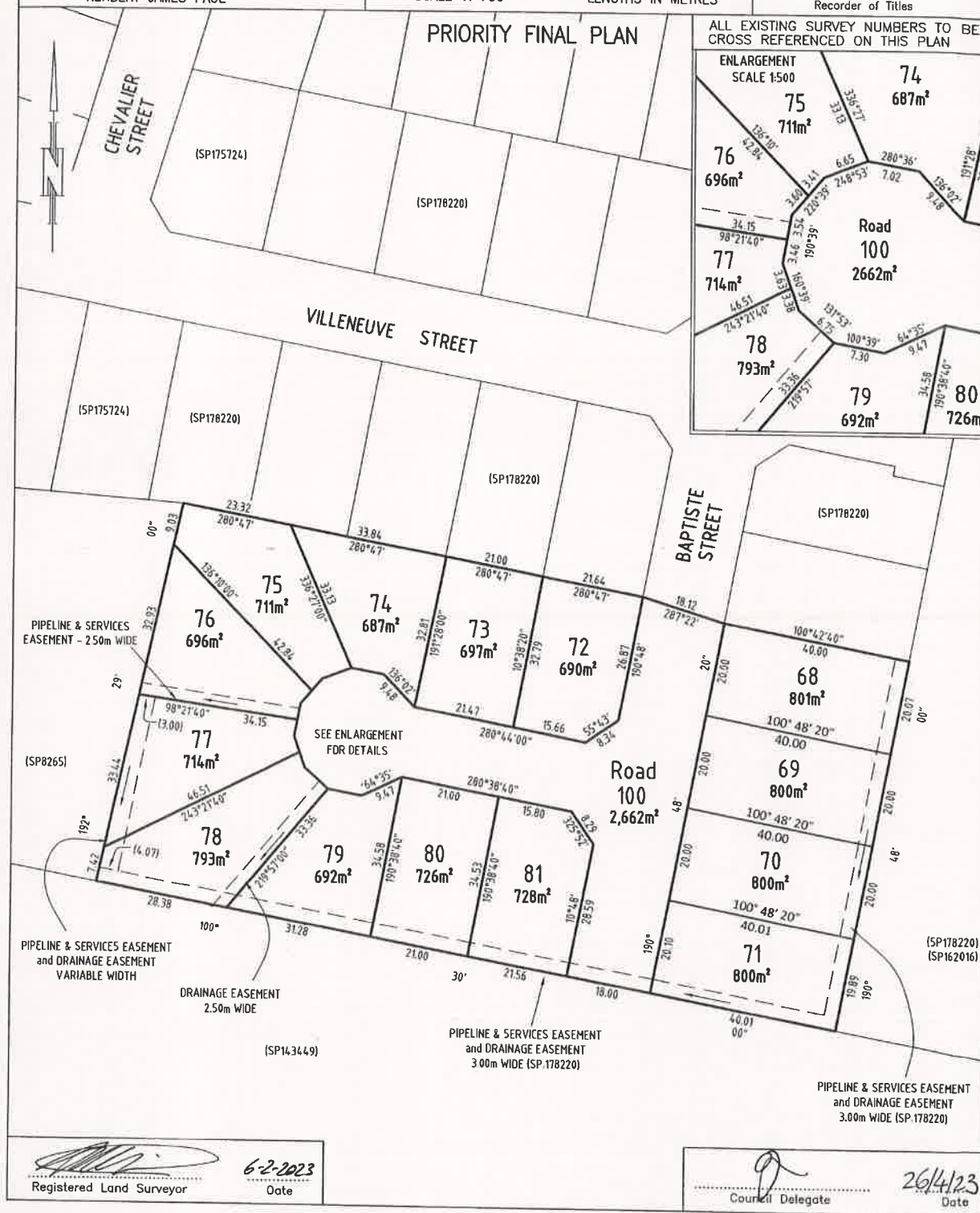
Reun
Recorder of Titles

PRIORITY FINAL PLAN

ALL EXISTING SURVEY NUMBERS TO BE
CROSS REFERENCED ON THIS PLAN

ENLARGEMENT

SCALE 1:500



Andrew Stephen Birch
Registered Land Surveyor

6-2-2023
Date

Reun
Council Delegate

26/4/23
Date

SCHEDULE OF EASEMENTS

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

SCHEDULE OF EASEMENTS

NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.

Registered Number

SP.184715

PAGE 1 OF 7 PAGES

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

DRAINAGE EASEMENTS

Lots 77 and 78 are each subject to a right of drainage in gross (in favour of the Southern Midlands Council) over the land marked "PIPELINE & SERVICES EASEMENT AND DRAINAGE EASEMENT VARIABLE WIDTH" passing through such lot on the plan.

Lot 78 is subject to a right of drainage in gross (in favour of the Southern Midlands Council) over the land marked "DRAINAGE EASEMENT 2.50m WIDE" passing through such lot on the plan.

Lots 68 - 71, Lot 100 and Lots 78 - 81 are each subject to a right of drainage in gross (in favour of the Southern Midlands Council) over the land marked "PIPELINE & SERVICES EASEMENT AND DRAINAGE EASEMENT 3.00m WIDE (SP.178220)" passing through such lot on the plan.

PIPELINE EASEMENTS

Lot 76 is subject to a Pipeline and Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Limited, its successors and assigns ("TasWater") over the land marked "PIPELINE & SERVICES EASEMENT - 2.50m WIDE" passing through such lot on the plan.

Lots 77 and 78 are each subject to a Pipeline and Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Limited, its successors and assigns ("TasWater") over the land marked "PIPELINE & SERVICES EASEMENT AND DRAINAGE EASEMENT VARIABLE WIDTH" passing through such lot on the plan.

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: RE SCAIFE & Others	PLAN SEALED BY: <i>Southern Midlands Council</i>
FOLIO REF: C/T 182676/200	DATE: <i>26/4/23</i>
SOLICITOR Baker Wilson Davies Lawyers	<i>SA2010.137</i>
& REFERENCE: 214181/TD	REF NO. Council Delegate

NOTE: The Council Delegate must sign the Certificate for the purposes of identification.

SCHEDULE OF EASEMENTS

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

<p align="center">ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p align="center">PAGE 2 OF 7 PAGES</p>	<p align="center">Registered Number</p> <p align="center">SP 18 4 7 15</p>
<p>SUBDIVIDER: RE SCAIFE & OTHERS FOLIO REFERENCE: C/T 182676/200</p>	

Lots 68 - 71, Lot 100 and Lots 78 - 81 are each subject to a Pipeline and Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Limited, its successors and assigns ("TasWater") over the land marked "PIPELINE & SERVICES EASEMENT AND DRAINAGE EASEMENT 3.00m WIDE (SP.178220)" passing through such lot on the plan.

The Pipeline and Services Easement is defined as follows:-

THE FULL RIGHT AND LIBERTY for TasWater at all times to:

- (1) enter and remain upon the Easement Land with or without employees, contractors, agents and all other persons duly authorised by it and with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse and repair the Infrastructure;
- (4) remove and replace the Infrastructure;
- (5) run and pass sewage, water and electricity through and along the Infrastructure;
- (6) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (a) without doing unnecessary damage to the Easement Land; and
 - (b) leaving the Easement Land in a clean and tidy condition; and
- (7) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and all other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any then existing vehicle entry and cross the Lot to the Easement Land; and
- (8) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

PROVIDED ALWAYS THAT:

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

[Handwritten signatures: G. H. H. H.]

SCHEDULE OF EASEMENTS

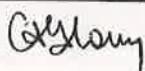

RECORDER OF TITLES

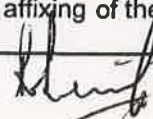
Issued Pursuant to the Land Titles Act 1980

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 7 PAGES	Registered Number SP 184715
SUBDIVIDER: RE SCAIFE & OTHERS FOLIO REFERENCE: C/T 182676/200	

- (1) The registered proprietors of the Lot in the folio of the Register ("the Owner") must not without the written consent of TasWater first had and obtained and only in compliance with any conditions which form the consent:
- (a) alter, excavate, plough, drill or otherwise penetrate the ground level of the Easement Land;
 - (b) install, erect or plant any building, structure, fence, pit, well, footing, pipeline, paving, tree, shrub or other object on or in the Easement Land;
 - (c) remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land;
 - (d) do any thing which will or might damage or contribute to damage to any of the Infrastructure on or in the Easement Land;
 - (e) in any way prevent or interfere with the proper exercise and benefit of the Easement Land by TasWater or its employees, contractors, agents and all other persons duly authorised by it; or
 - (f) permit or allow any action which the Owner must not do or acquiesce in that action.
- (2) TasWater is not required to fence any part of the Easement Land.
- (3) The Owner may erect a fence across the Easement Land at the boundaries of the Lot.
- (4) The Owner may erect a gate across any part of the Easement Land subject to these conditions:
- (a) the Owner must provide TasWater with a key to any lock which would prevent the opening of the gate; and
 - (b) if the Owner does not provide TasWater with that key or the key provided does not fit the lock, TasWater may cut the lock from the gate.
- (5) If the Owner causes damage to any of the Infrastructure, the Owner is liable for the actual cost to TasWater of the repair of the Infrastructure damaged.
- (6) If the Owner fails to comply with any of the preceding conditions, without forfeiting any right of action, damages or otherwise against the Owner, TasWater may:
- (a) reinstate the ground level of the Easement Land; or
 - (b) remove from the Easement Land any building, structure, pit, well, footing, pipeline, paving, tree, shrub or other object; or

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.



SCHEDULE OF EASEMENTS

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

<p align="center">ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p align="center">PAGE 4 OF 7 PAGES</p>	<p align="center">Registered Number</p> <p align="center">SP. 184715</p>
<p>SUBDIVIDER: RE SCAIFE & OTHERS FOLIO REFERENCE: C/T 182676/200</p>	

- (c) replace any thing that supported, protected or covered the Infrastructure.

Interpretation:

"Infrastructure" means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- sewer pipes and water pipes and associated valves;
- telemetry and monitoring devices;
- inspection and access pits;
- power poles and lines, electrical wires, electrical cables and other conducting media (excluding telemetry and monitoring devices);
- markers or signs indicating the location of the Easement Land, the Infrastructure or any warnings or restrictions with respect to the Easement Land or the Infrastructure;
- any thing reasonably required to support, protect or cover any of the Infrastructure;
- any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- where the context permits, any part of the Infrastructure.

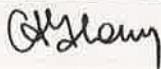
COVENANTS

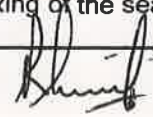
Each lot on the plan is burdened by the restrictive covenant as created by SP 159788, SP 162016, & SP 170362, SP175724 & SP178220

The owners of Lots 68 – 81 on the plan covenant with the vendor, RODNEY ERIC SCAIFE, JUDITH NANCY SCAIFE, ANDREW ROBERT GLOVER and KATHRYN ELIZABETH GLOVER, and the owner for the time being of every other lot on the plan to the intent that the burden of this covenant shall run with and bind the covenantors lot and every part thereof and that the benefit thereof shall be annexed to and devolve with each and every part of every other lot on the plan to observe the following stipulations:

- Not to, without the consent of the Southern Midlands Council, erect or permit to remain on such lot any advertising sign of any type whatsoever provided that a sign indicating that a lot is for sale will be permitted for a limited period;
- Not to use reflective materials in the construction of any dwelling, shed or outbuilding on such lot;

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.



SCHEDULE OF EASEMENTS

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

<p align="center">ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p align="center">PAGE 5 OF 7 PAGES</p>	<p align="center">Registered Number</p> <p align="center">SP 18 47 15</p>
<p>SUBDIVIDER: RE SCAIFE & OTHERS FOLIO REFERENCE: C/T 182676/200</p>	

- Not to construct a residential building on such lot using materials other than general brick, weatherboard, finished rendered surface or masonry construction, but the use of other timber or non-masonry materials used as in-fill panels will be permitted provided that these latter materials do not exceed 30 percent of the total external wall area;
- Not to use galvanised iron or other reflective material in the construction of the roof of any dwelling or other structure on such lot;
- Not to construct a dwelling on such lot that has a minimum floor area of less than 90 square metres which area does not include patios, garages or carports;
- Not to permit vehicles with a gross vehicle mass greater than 10 tonne to be parked, stored or allowed to remain on such lot for a period in excess of six hours;
- Not to store or allow to remain on such lot any construction plant and equipment, transport equipment or salvage of building materials except where immediately required for use in the construction of a dwelling and associated infrastructure on the lot;
- Not to bring onto such lot any transportable house or a house relocated from another place;
- Not to place or permit to remain on such lot any water tank which has any external metal finish;
- Not to place or permit to remain on such lot any caravan, shed or other structure (excluding dwellings) to be used as a permanent residence provided that a caravan, shed or other structure may be utilised for a period not exceeding one year during the construction of a permanent dwelling or residence;
- Not to, without the consent of the Southern Midlands Council, conduct any trade or business on such lot provided that the letting for residential purposes of the whole of any dwelling erected on the lot will not be in contravention of this stipulation
- The Vendor reserves the right to release any such lot from any of the restrictive covenants above or to waive or alter any such restrictive covenants. The exercise of the said right in relation to any lot will not release the owners of any other lot from any of the conditions or covenants affecting or imposed upon such other lots or give the owners of any lot any right of action against the Vendor or any other person.

The owner of each lot on the plan covenants with the vendor, RODNEY ERIC SCAIFE, JUDITH NANCY SCAIFE, ANDREW ROBERT GLOVER and KATHRYN ELIZABETH GLOVER, that the vendor shall not be required to fence.

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

[Signatures]

SCHEDULE OF EASEMENTS

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

ANNEXURE TO
SCHEDULE OF EASEMENTS

PAGE 6 OF 7 PAGES

Registered Number

SP. 184715

SUBDIVIDER: RE SCAIFE & OTHERS
FOLIO REFERENCE: C/T 182676/200

Signed by RODNEY ERIC SCAIFE, JUDITH NANCY SCAIFE, ANDREW ROBERT GLOVER and
KATHRYN ELIZABETH GLOVER
The registered owner of the land in
Folios of the Register Volume 182676 Folio 200

In the presence of:

Witness Signature:

Witness Full Name:

Witness Full Address:

Witness Occupation:


Julia Rose Davey
66 Saundersons Rd,
Risdon Tas 7017
Cook






NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

SCHEDULE OF EASEMENTS

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

ANNEXURE TO
SCHEDULE OF EASEMENTS


PAGE 7 OF 7 PAGES

Registered Number

SP. 184715

SUBDIVIDER: RE SCAIFE & OTHERS
FOLIO REFERENCE: C/T 182676/200

Executed by MURDOCH CLARKE MORTGAGE MANAGEMENT
LIMITED ACN 115 958 560 as mortgagee pursuant to Mortgage
M815162, as Responsible Entity of the
MURDOCH CLARKE MORTGAGE FUND ARSN 093 255 559
by its Duly authorised Attorney PAUL KUZIS
Pursuant to Power of Attorney registered on 15 January 2018
Registered Number PA109270 having received no notice of
Revocation thereof



In the presence of:

Witness Signature:

AMThomas

Witness Full Name:

Witness Full Address:

Witness Occupation:

Andrea Marie Thomas
10 Victoria Street,
Hobart Tas 7000
Legal Secretary

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.