



Public Notice Details

Planning Application Details

Application No	DA2500147
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Property Details

Property Location	14 Climie Street Campania
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Application Information

Application Type	Discretionary Development Application
Development Category	Dwelling
Advertising Commencement Date	29/10/25
Advertising Closing Period	12/11/25
If the Council Offices are closed during normal office hours within the above period, the period for making representations is extended.	

Enquiries regarding this Application can be made via to Southern Midlands Council on (03) 6254 5050 or by emailing planningenquires@southernmidlands.tas.gov.au. Please quote the development application number when making your enquiry.

Representations on this application may be made to the General Manager in writing either by

Post: PO Box 21, Oatlands Tas 7120
Email: mail@southernmidlands.tas.gov.au
Fax: 03 6254 5014

All representations must include the authors full name, contact number and postal address and be received by the advertising closing date.



APPLICATION FOR PLANNING PERMIT DEVELOPMENT / USE

Use this form to apply for a permit in accordance with section 57 and 58 of the *Land Use Planning and Approvals Act 1993*

Proposed
use/development:
(Provide details of
proposed works and use).

3-bedroom, study, 2-bathroom, open plan kitchen, living and dining, carport, deck/alfresco area. James Hardie Linea weatherboard, colorbond roof, double glazed windows

Location of
Development:
(If the development
includes more than one
site, or is over another
property include address
of both Properties).

Lot 7, 14 Climie Street, Campania

Certificate of Title/s
Volume Number/Lot
Number:

185626/7

Land Owners Name:

Mayfair Group Holdings Pty Ltd

Full Name/s or Full Business/Company Name

Applicant's Name:

Taylor and Beeson Building Pty Ltd

Full Name/s or Full Business/ Company Name (ABN if registered business or company name)

Contact details:

Postal address for correspondence: 84 Mornington Road, Mornington TAS 7018

Telephone or Mobile: 0418 977 914

Email address: admin@taylorandbeeson.com.au (preferred method of contact)

(Please note it is your responsibility to provide your correct email address and to check your email for communications from the Council.)

Details
Tax Invoice for
application fees to be
in the name of:
(if different from
applicant)

Taylor and Beeson Building Pty Ltd

Full Name/s or Full Business or Company Name and ABN if registered business or company name

Print email address

admin@taylorandbeeson.com.au

ABN

44 604 954 592

What is the estimated value of all the new work proposed

\$ 458,000



For Commercial Planning Permit Applications Only

Signage: Yes ☐ No ☒

If yes, attach details: size, location and art work

Business Details:	Existing hours of operation				Proposed hours of new operation			
	Hours	7.00 am	to	5.00 pm	Hours	7.00 am	to	5.00 pm
	Weekdays	x		Mon-Fri	Weekdays	x		Mon-Fri
	Sat				Sat			
	Sun				Sun			

Number of existing employees: Number of proposed new employees:

Traffic Movements:	Number of commercial vehicles serving the site at present	0	Approximate number of commercial vehicles servicing the site in the future	2-3
	How many car spaces are currently provided	0	How many new car spaces are proposed	2

Is the development to be staged: ☐ Yes ☐ No ☒

Please attach any additional information that may be required by Part 6.1 *Application Requirements* of the Tasmanian Planning Scheme – Southern Midlands.

Signed Declaration

I/we as owner of the land or person with consent of the owner hereby declare that:

- I/we have read the Certificate of Title and Schedule of Easements for the land and I/we are satisfied that this application is not prevented by any restrictions, easements or covenants.
- I/we provide permission by or on behalf of the applicant for Council officers to enter the site to assess the application.
- The information given in this application is true and accurate. I/we understand that the information and materials provided with this application may be made available to the public. I/we understand that the Council may make such copies of the information and materials as, in its opinion, are necessary to facilitate a thorough consideration of the application.
- I/we have secured the necessary permission from the copyright owner to communicate and reproduce the plans submitted with the application for assessment. I/we indemnify the Southern Midlands Council for any claim or action taken against it regarding a breach of copyright in respect of any of the information or material provided.
- I/we declare that, in accordance with Section 52(1) of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their consent is attached and the application form signed by the Minister of the Crown responsible and/or the General Manager of the Council.

Applicant Signature
(If not the Title Owner)

Applicant Name (please print)

Nathan Taylor

Date

18/10/2025

Land Owner(s) Signature

See attached agent form

Land Owners Name (please print)

Date



Land Owner(s) Signature

Land Owners Name *(please print)*

Date

PRIVACY STATEMENT

The Southern Midlands Council abides by the Personal Information Protection Act 2004 and views the protection of your privacy as an integral part of its commitment towards complete accountability and integrity in all its activities and programs.

Collection of Personal Information: The personal information being collected from you for the purposes of the Personal Information Protection Act, 2004 and will be used solely by Council in accordance with its Privacy Policy. Council is collecting this information from you in order to process your application.

Disclosure of Personal Information: Council will take all necessary measures to prevent unauthorised access to or disclosure of your personal information. External organisations to whom this personal information will be disclosed as required under the Building Act 2000. This information will not be disclosed to any other external agencies unless required or authorised by law.

Correction of Personal Information: If you wish to alter any personal information you have supplied to Council please telephone the Southern Midlands Council on (03) 62545050. Please contact the Council's Privacy Officer on (03) 6254 5000 if you have any other enquires concerning Council's privacy procedures.



Information & Checklist Sheet DEVELOPMENT / USE

Use this check list for submitting your application for a planning permit –Please do not attach the check list with your application

Submitting your application ✓

1. All plans and information required per Part 6.1 Application Requirements of the Tasmanian Planning Scheme i.e.: site plan showing all existing buildings, proposed buildings, elevation plans etc. ☐
2. Copy of the current Certificate of Title, Schedule of Easements and Title Plan (Available from Service Tasmania Offices) ☐
3. Any reports, certificates or written statements to accompany the Application (if applicable) required by the relevant zone or code. ☐
4. Prescribed fees payable to Council ☐

Information

If you provide an email address in this form then the Southern Midlands Council ("the Council") will treat the provision of the email address as consent to the Council, pursuant to Section 6 of the Electronic Transactions Act 2000, to using that email address for the purposes of assessing the Application under the Land Use Planning and Approvals Act 1993 ("the Act").

If you provide an email address, the Council will not provide hard copy documentation unless specifically requested.

It is your responsibility to provide the Council with the correct email address and to check your email for communications from the Council.

If you do not wish for the Council to use your email address as the method of contact and for the giving of information, please tick ✓ the box ☐

Heritage Tasmania

If the Property is listed on the Tasmanian Heritage Register then the Application will be referred to Heritage Tasmania unless an Exemption Certificate has been provided with this Application. (Phone 1300 850 332 (local call cost) or email enquires@heritage.tas.gov.au)

TasWater

Depending on the works proposed Council may be required to refer the Application to TasWater for assessment (Phone 136992)

IMPORTANT: There is no connection between Planning approval and Building & Plumbing approvals.

Owners are to ensure that the work is either Low-Risk Building Work, Notifiable Building Work or Permit work in accordance with the Directors Determination – Categories of Building & Demolition Work v 1.4 dated 12 March 2021 prior to any building works being carried out on the land.

https://www.cbos.tas.gov.au/data/assets/pdf_file/0014/405014/Directors-determination-categories-of-building-and-demolition-work-2021.pdf

Site Information

Land Title Reference:

CT 185626/7

Wind Classification:

TBC

Soil Classification:

TBC

Climate Zone:

7

Bushfire Attack Level:

TBC

Alpine Area:

N/A Less than 900m AHD

Corrosion Envrionment:

TBC

Other Hazards:

Zoning:

AREA SCHEDULE

Site Area

: 602 m²

Ground Floor

: 138.3 m²

Car Port

: 19.2 m²

Porch/Deck

: 33.0m²

Total Area

: 190.5 m²

Driveway Area

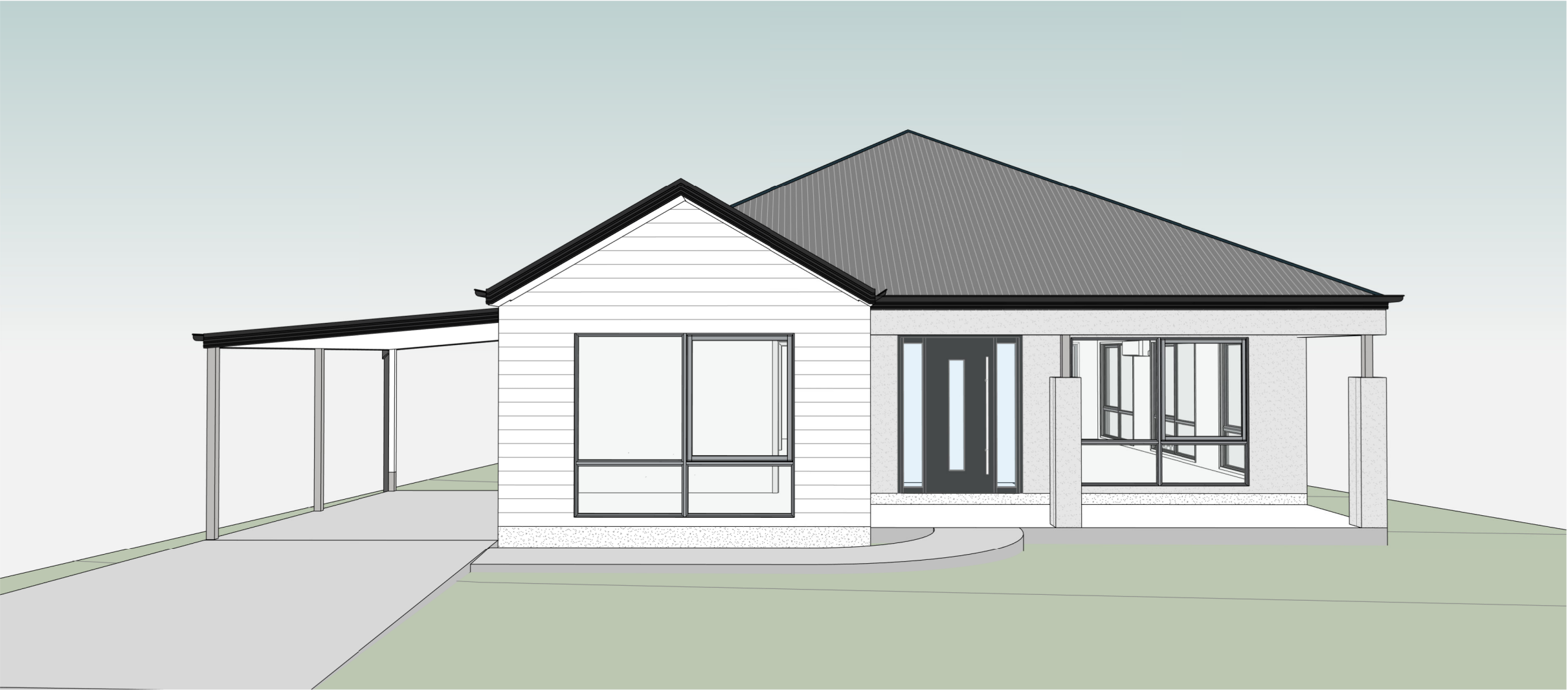
: 28.0 m²

The owner (s) acknowledge that this set of contract plans may not reflect all of the selections made or requested. I agree that deviating color choices or update plans can be signed with construction plans before construction begins.

PLEASE NOTE: No Variations will be accepted on these plans after signature. I the owner/s accept these plans:

SIGNATURE:

DATE:



NOTE:
3D View colours/materials is indicative only and is subject to final selection.

Drawing No.	Description
00	COVER SHEET
01	SITE PLAN
02	FLOOR PLAN
03	ROOF PLAN
04	ELEVATIONS
05	3D VIEWS
06	SECTION
07	DETAILS
08	ELECTRICAL PLAN
09	DRAINAGE PLAN
10	DRIVEWAY CHAINAGE

GLAZING NOTE:
All windows are Double glazed

BAL : TBC

A	Front window in Lounge added	09.10.2025	RK
	DA Plans	19.09.2025	RK
No.	Amendment	Date	Drawn



PERYTON HOMES Pty Ltd
177 Pulpit Rock Road, New Norfolk
Hobart TAS 7140

Designer: Ranjot Kaur
Mob. 0450 656 007
Email: ranjot@perytonhomes.com.au
Licence Number: 173530973

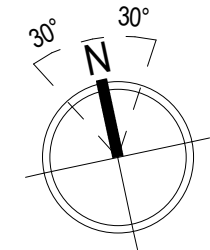
*GENERAL NOTES:
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- All products and materials must be installed as per the relevant manufacturers specifications
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- Builder to confirm all dimensions are correct prior to start of works
CONTROL MEASURE:
All persons entering the site must be made aware of potential hazards and take relevant actions to ensure that their work are is maintained as safe to proceed. If you are unable to proceed due to the existence of an unsafe work area, you must notify your site supervisor immediately so that action can be taken to remedy the situation.

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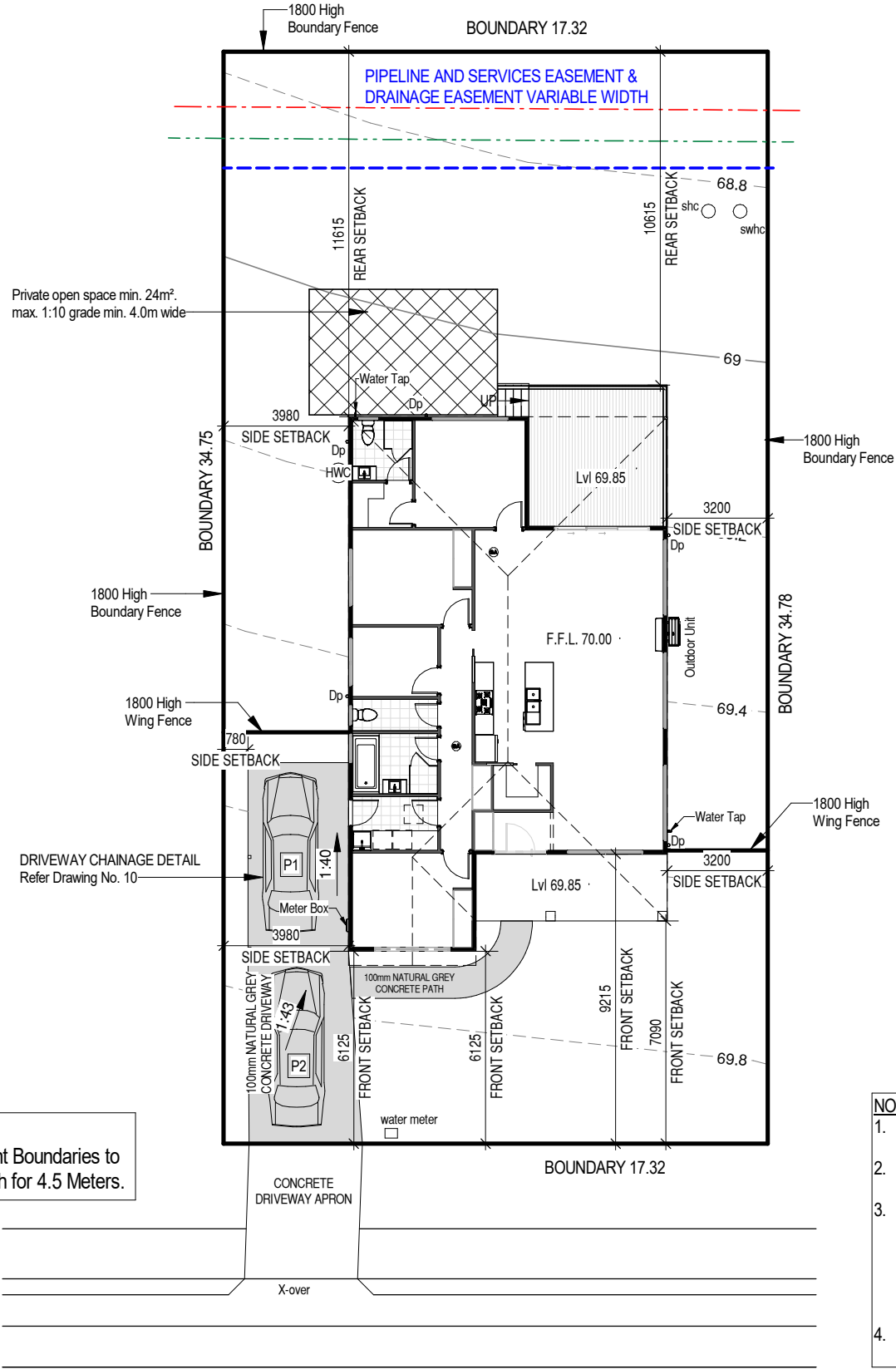
TITLE
COVER SHEET

Scale:	1 : 200	Client / Project Name TAYLOR AND BEESON PTY.LTD./ URGE	Job No: TB_07
Date:	19.09.2025	Project Address LOT 7 CLIMIE STREET, CAMPANIA	Sheet No: 00
Drawn by:	Ranjot Kaur		

SMC - KEMPTON	
RECEIVED 20/10/2025	
Ground FL	70.000
CL	72.400



NOTE:
Fence from Front Boundaries to be 1200mm High for 4.5 Meters.



NOTE :

- THIS PLAN HAS BEEN PREPARED FROM 'LIST' RECORDS AVAILABLE AT THE TIME OF DOCUMENTATION
- A REMARK SURVEY IS RECOMMENDED PRIOR TO ANY WORKS OCCURRING ON OR NEAR BOUNDARIES
- ONLY DETAIL APPARENT ON SITE AT THE TIME OF INSPECTION HAVE BEEN IDENTIFIED ON THIS PLAN. OTHER FEATURES AND SERVICES MAY EXIST ON, UNDER, OR OVER THE SITE. IT IS THE RESPONSIBILITY OF THE DEVELOPER TO DETERMINE THE LOCATION OF THESE SERVICES PRIOR TO THE COMMENCEMENT OF SITE WORKS
- SITE CONTOURS ARE BASED ON 'LIST' RECORDS AVAILABLE AT THE TIME OF DOCUMENTATION

AREA SCHEDULE

Site Area : 602 m²

Ground Floor : 138.3 m²

Car Port : 19.2 m²

Porch/Deck : 33.0 m²

Total Area : 190.5 m²

Driveway Area : 28.0 m²

GLAZING NOTE:
All windows are Double glazed

BAL : TBC

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SIGNATURE: _____
DATE: _____

A	Front window in Lounge added	09.10.2025	RK
	DA Plans	19.09.2025	RK
Rev.	Revision Description	Date	Drawn



PERYTON HOMES Pty Ltd
177 Pulpit Rock Road, New Norfolk
Hobart TAS 7140

Designer: Ranjot Kaur
Mob. 0450 656 007
Email: ranjot@perytonhomes.com.au
Licence Number: 173530973

***GENERAL NOTES:**
- All works to be completed as per the current National Construction Code (N.C.C.) and relevant Australian Standards
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TITLE

SITE PLAN

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Scale: 1 : 200

Date: 19.09.2025

Drawn by: Ranjot Kaur

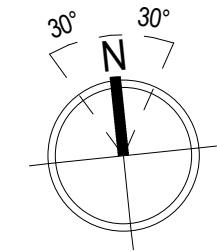
Client / Project Name
TAYLOR AND BEESON PTY.LTD./ URGE

Project Address
**LOT 7 CLIMIE STREET,
CAMPANIA**

Job No:
TB_07

Sheet No:
01

SMC - KEMPTON	
RECEIVED 20/10/2025	
Ground FL	70.000
CL	72.400



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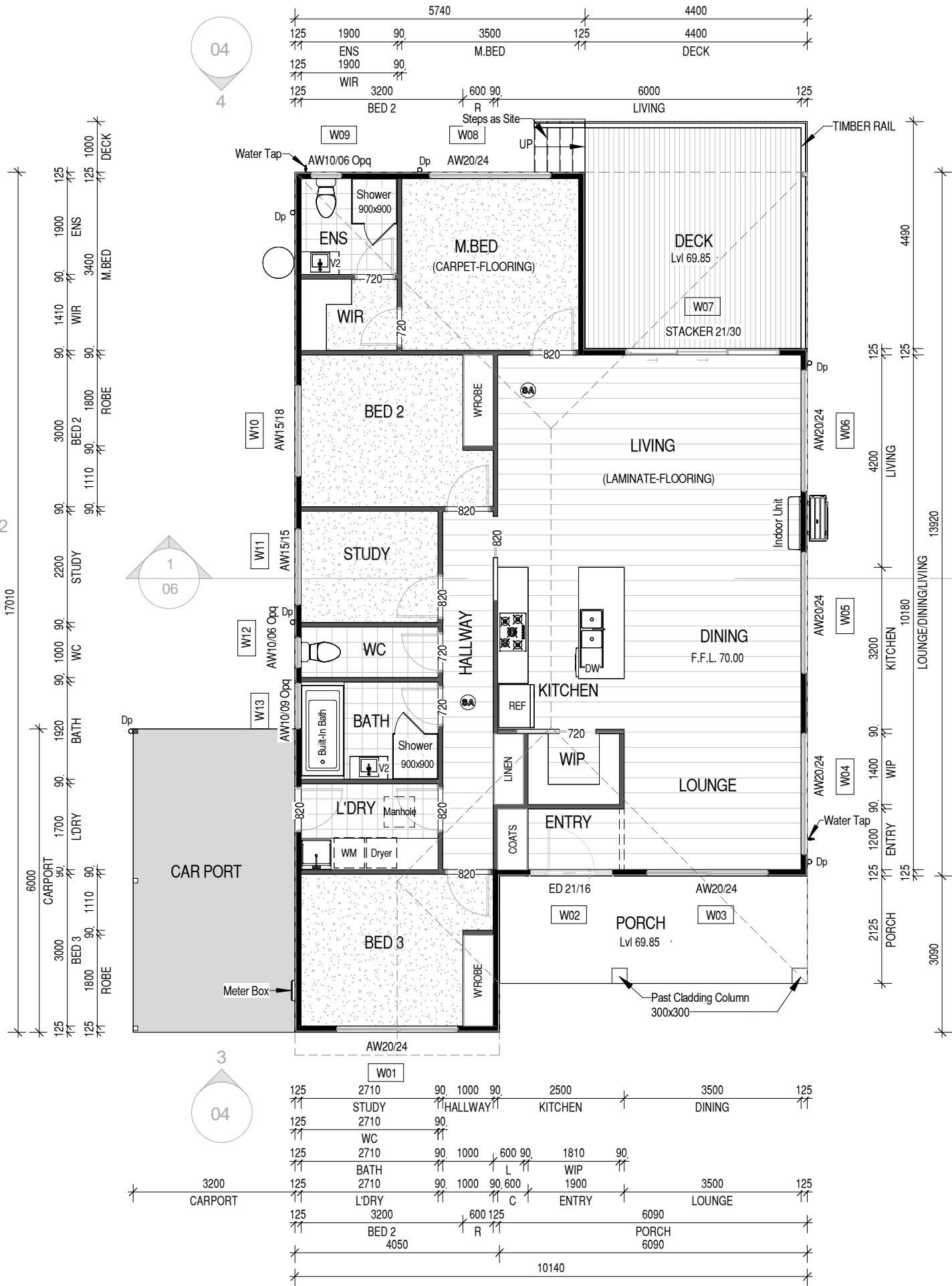
A	Front window in Lounge added	09.10.2025	RK
DA	Plans	19.09.2025	RK
Rev.	Revision Description	Date	Drawn



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TITLE
FLOOR PLAN
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Scale:	1 : 100	Client / Project Name	TAYLOR AND BEESON PTY.LTD./ URGE	Job No:	TB_07
Date:	19.09.2025	Project Address	LOT 7 CLIMIE STREET, CAMPANIA	Sheet No:	02
Drawn by:	Ranjot Kaur				



Window Schedule							
Window Number	Type	Size	Glass	Height	Width	Sill Height	Head Height
01	AW	20-24	Clear	2000	2400	100	2100
02	ED	21-16	Clear	2100	1600	0	2100
03	AW	20-24	Clear	2000	2400	100	2100
04	AW	20-24	Clear	2000	2400	100	2100
05	AW	20-24	Clear	2000	2400	100	2100
06	AW	20-24	Clear	2000	2400	100	2100
07	SD	21-30	Clear	2100	3000	0	2100
08	AW	20-24	Clear	2000	2400	100	2100
09	AW	10-06	Opaque	1000	600	1100	2100
10	AW	15-18	Clear	1500	1800	600	2100
11	AW	15-15	Clear	1500	1500	600	2100
12	AW	10-06	Opaque	1000	600	1100	2100
13	AW	10-09	Opaque	1000	900	1100	2100

NOTES:
dp DOWN PIPE

Vanity Legend	
VB	450 mm
V1	600 mm
V2	750 mm
V3	900 mm
V4	1200 mm
V5	1500 mm

AREA SCHEDULE

Site Area : 602 m²

Ground Floor : 138.3 m²

Car Port : 19.2 m²

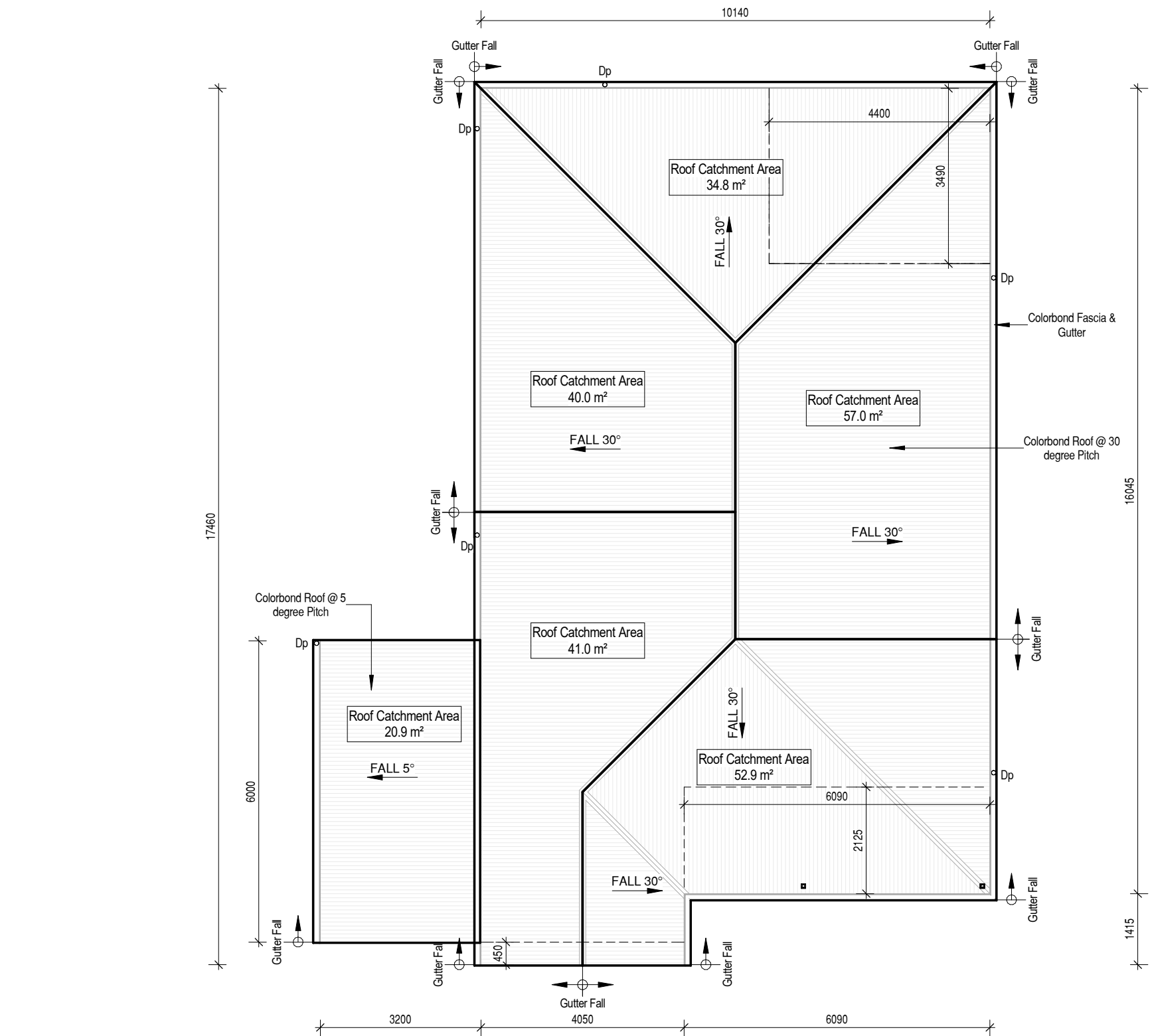
Porch/Deck : 33.0m²

Total Area : 190.5 m²

Driveway Area : 28.0 m²

GLAZING NOTE:
All windows are Double glazed

BAL : TBC



NOTES:
dp DOWN PIPE

ROOF CATCHMENT AREA CALCULATION		
Ah	195.1 m²	Plan area of roof including 115mm Quad gutter (m²)
Ac	246.7 m²	catchment area of a roof - Ah x slope factor (m²)
Gutter Type	A	effective cross-sectional area 6500 mm² (determined from NCC Table 3.5.2.2)
DRI	85	Design Rainfall intensity Hobart (determined from NCC Table 3.5.2.1)
Acdp	70	Max.catchment area of roof per 90mm downpipe(determined from NCC Table 3.5.2.2)
Downpipes required	4	Ac / Acdp
Downpipes provided	6	
NOTE: Roof catcment areas to comply with AS3500.3		

IMPORTANT NOTE:
The position and quantity of downpipes are not to be altered without consulting with designer.
Areas shown are surface / catchment areas NOT plan areas.
Where downpipes are further than 1.2m away from valley, refer to NCC 3.5.2.5 (b).
All roof areas shown are indicative only and not to be used for any further purpose.

CLADDING / COLOUR SELECTION	
Element	Colour / Type
Roof	White
Cladding1	White
Cladding2	Light Grey
Foundation	Warm Beige
NOTE: The colours shown on this plan may not reflect the colour of the final product. If colour has been listed as TBC this means the colours is indicative only and is subject to final selection	

BAL : TBC

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I the owner/s accept these plans:

SIGNATURE: _____

DATE: _____

A	Front window in Lounge added	09.10.2025	RK
	DA Plans	19.09.2025	RK
Rev.	Revision Description	Date	Drawn



PERYTON HOMES Pty Ltd
177 Pulpit Rock Road, New Norfolk
Hobart TAS 7140

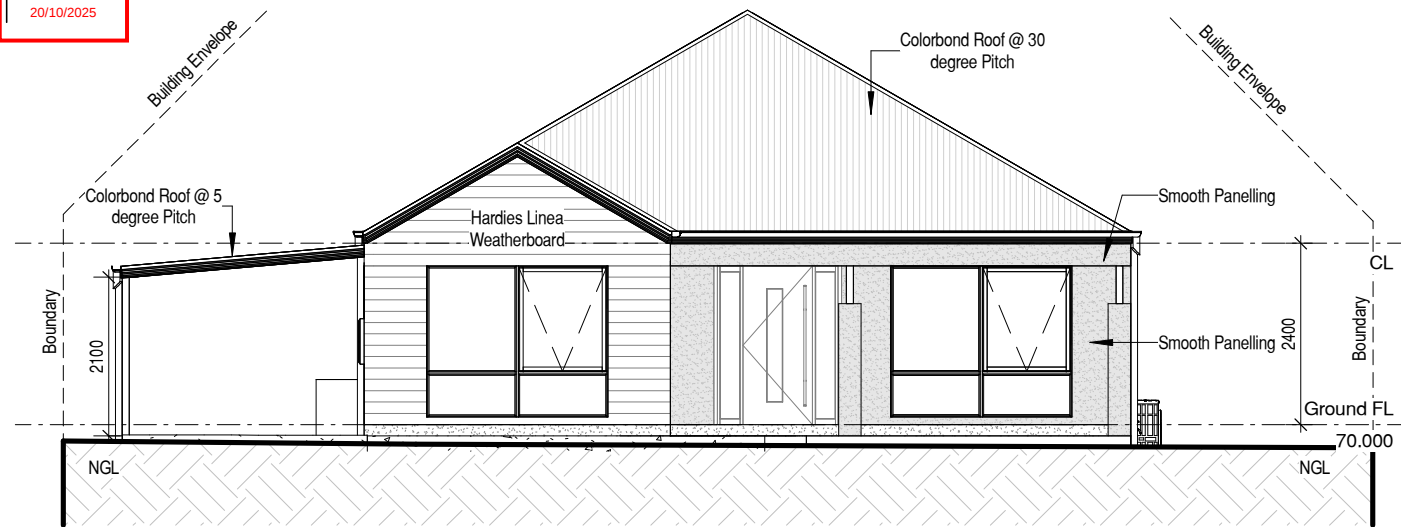
Designer: Ranjot Kaur
Mob. 0450 656 007
Email: ranjot@perytonhomes.com.au
Licence Number: 173530973

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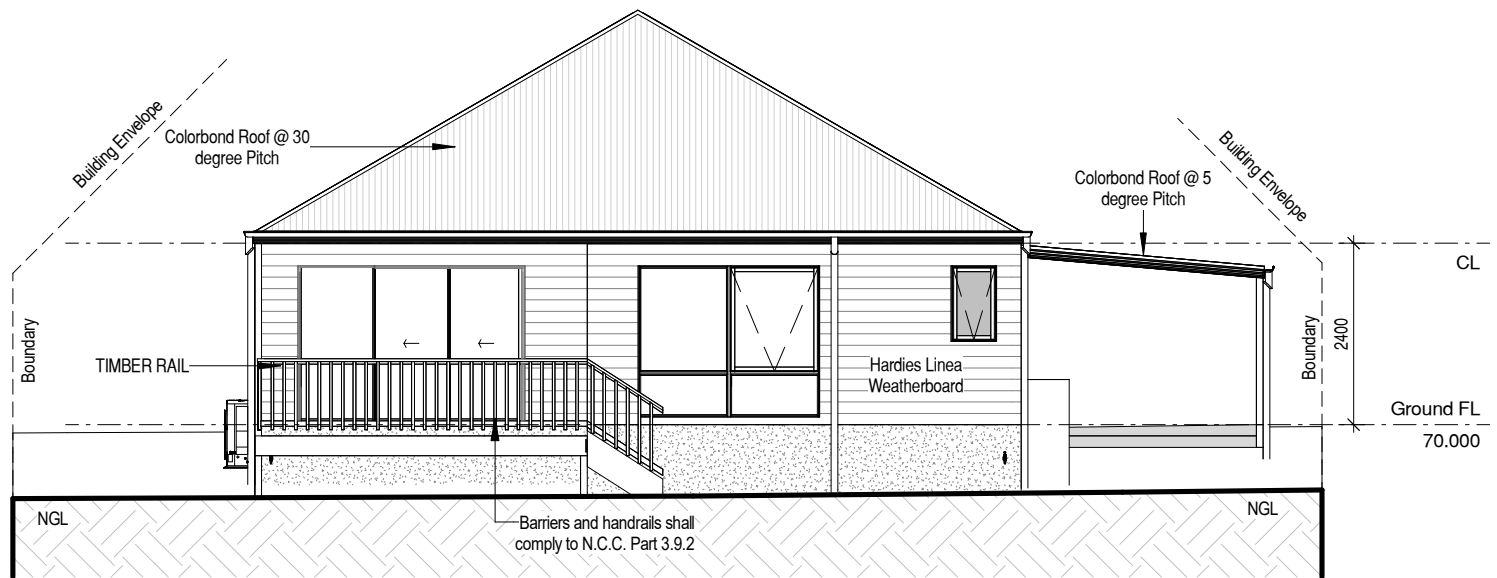
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TITLE	
ROOF PLAN	
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Scale:	1 : 100	Client / Project Name	TAYLOR AND BEESON PTY.LTD./ URGE	Job No:	TB_07
Date:	19.09.2025	Project Address	LOT 7 CLIMIE STREET, CAMPANIA	Sheet No:	03
Drawn by:	Ranjot Kaur				



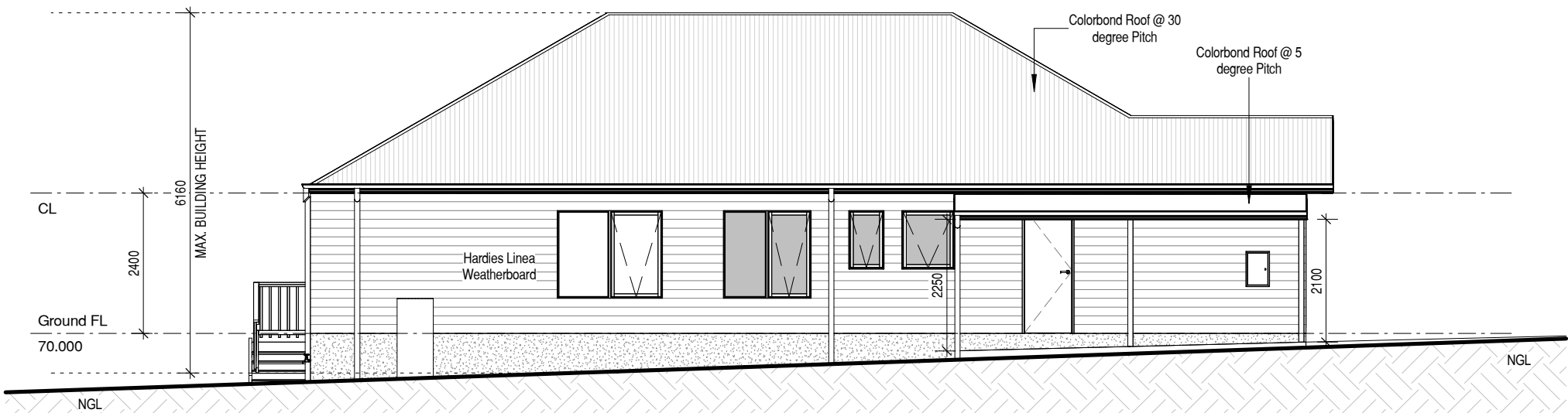
South Elevation



North Elevation



East Elevation



West Elevation

CLADDING / COLOUR SELECTION	
Element	Colour / Type
Roof	White
Cladding1	White
Cladding2	Light Grey
Foundation	Warm Beige

NOTE:
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GLAZING NOTE:
All windows are Double glazed

BAL : TBC

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Rev.	DA Plans	19.09.2025	RK
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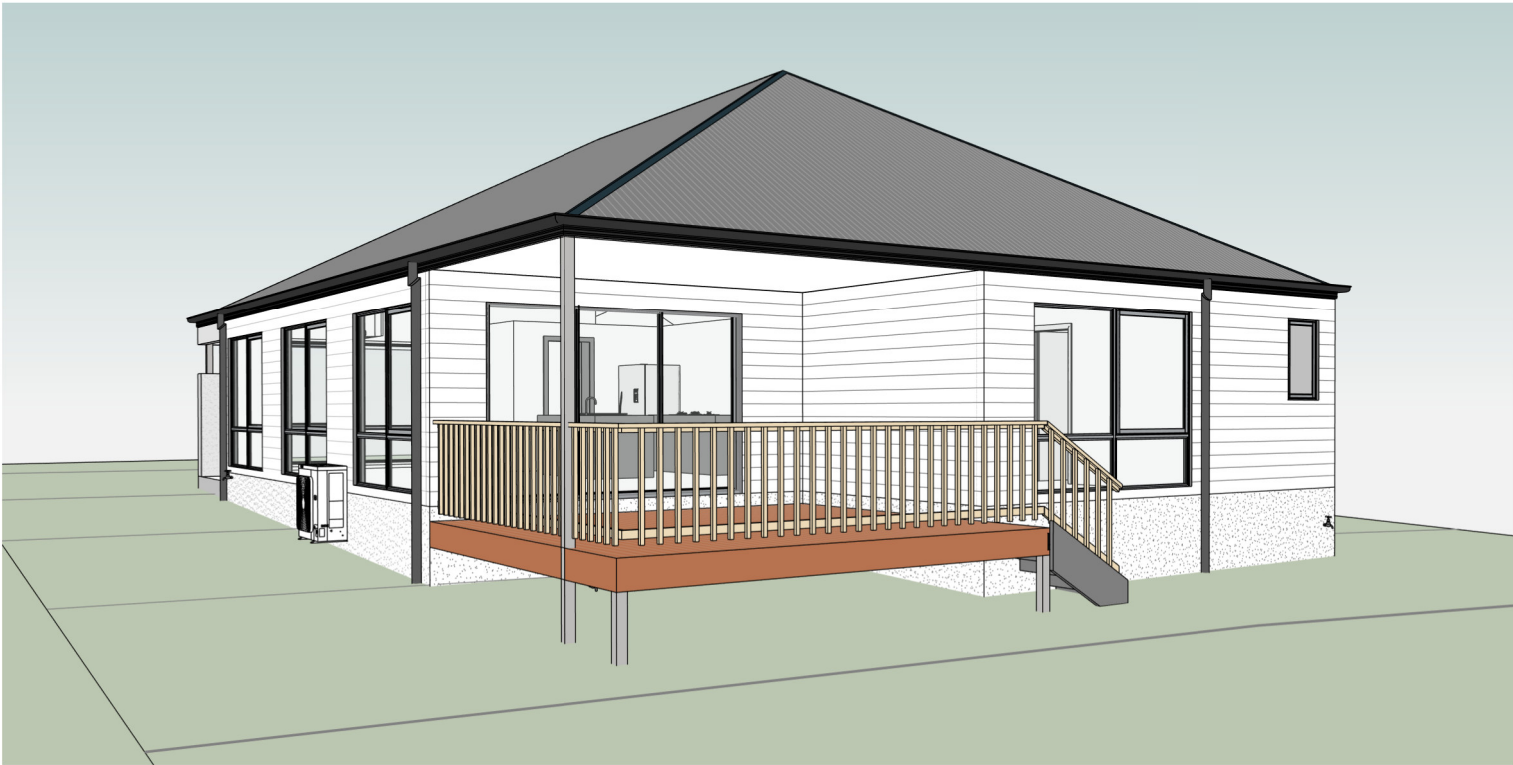
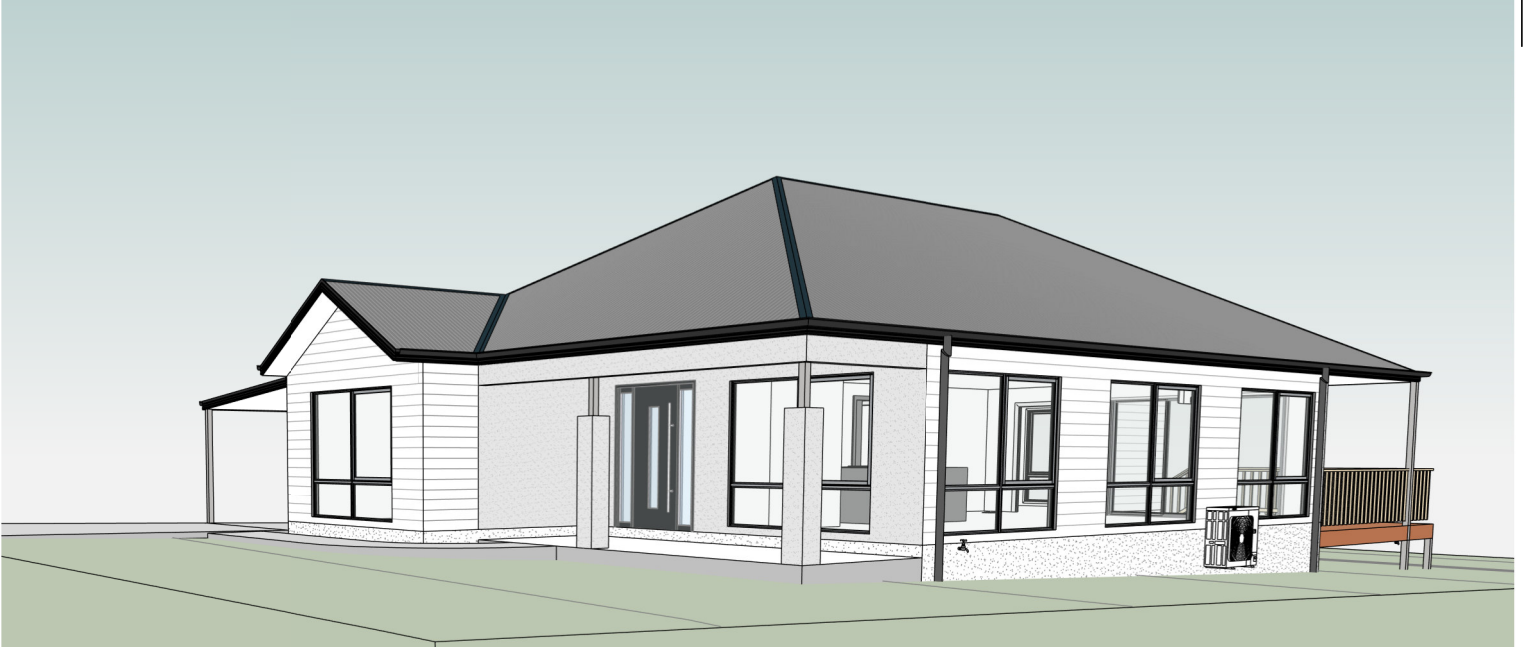
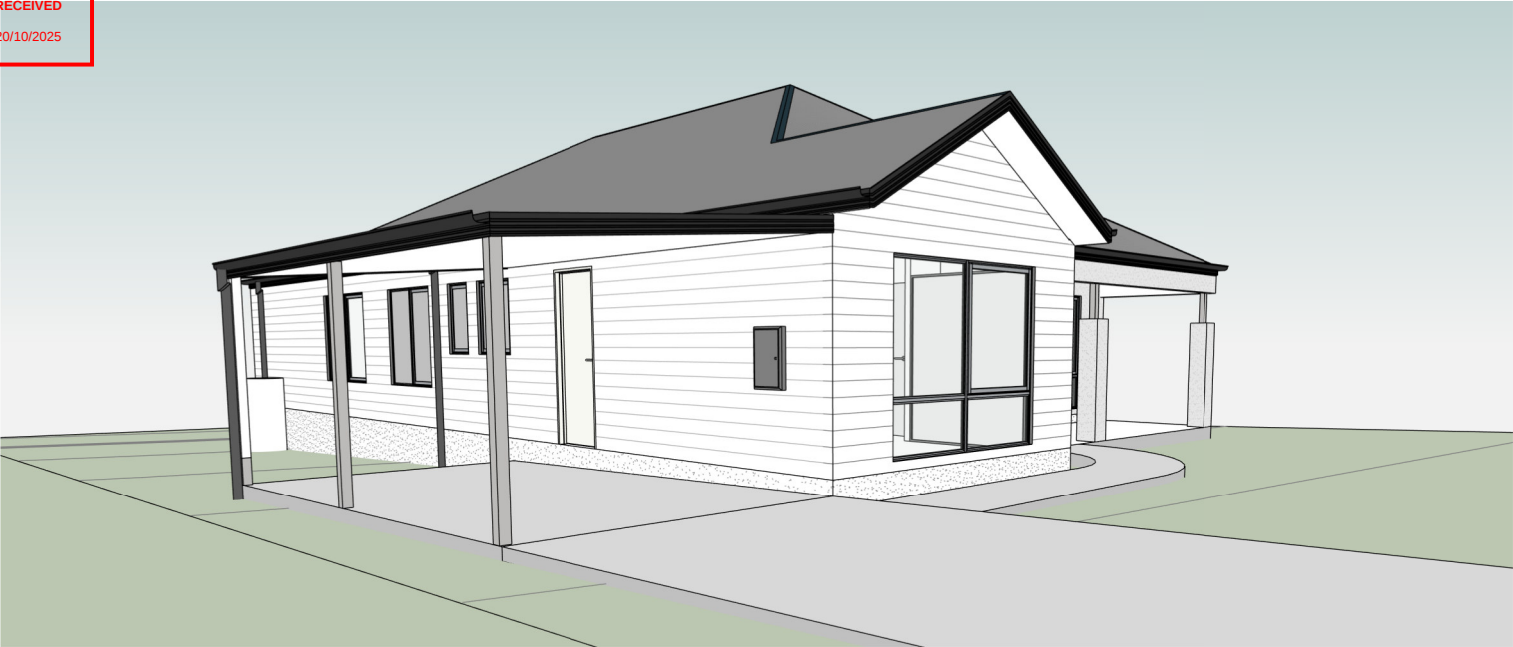
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TITLE

ELEVATIONS

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Scale:	1 : 100	Client / Project Name	TAYLOR AND BEESON PTY.LTD./ URGE	Job No:	TB_07
Date:	19.09.2025	Project Address	LOT 7 CLIMIE STREET, CAMPANIA	Sheet No:	04
Drawn by:	Ranjot Kaur				



GLAZING NOTE:
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Element	Colour / Type
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Cladding1	White
Cladding2	Light Grey
Foundation	Warm Beige

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TITLE

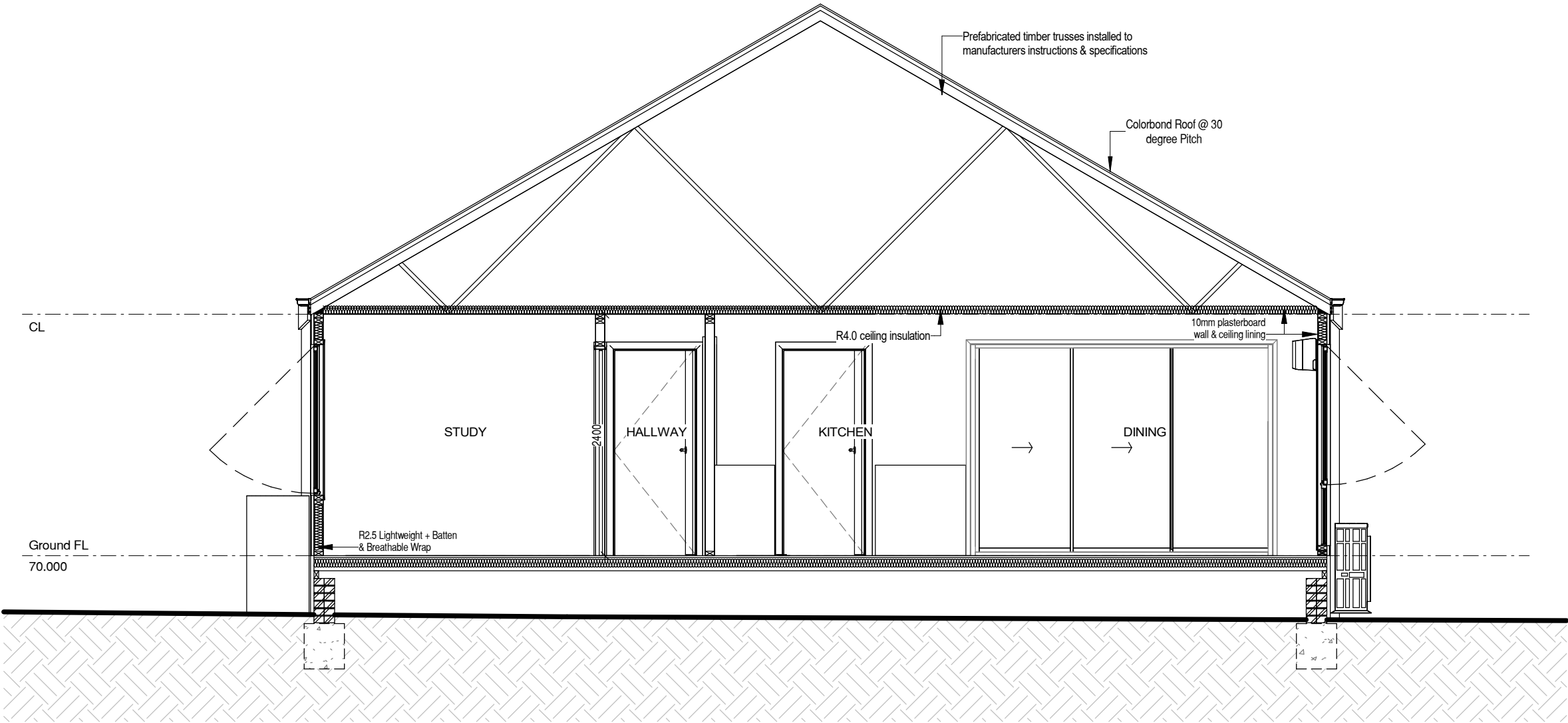
3D VIEWS

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Scale:	Client / Project Name	Job No:
Date: 19.09.2025	TAYLOR AND BEESON PTY.LTD./ URGE	TB_07
Drawn by: Ranjot Kaur	Project Address	Sheet No:
	LOT 7 CLIMIE STREET, CAMPANIA	05

Site Classification 'Class TBC'

IMPORTANT NOTE:
All framing to be Pine (MGP10).



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Licence Number: 173530973

*GENERAL NOTES:
- All works to be completed as per the current National Construction Code (N.C.C.) and relevant Australian Standards
- All products and materials must be installed as per the relevant manufacturers specifications
- This document is uncontrolled in hard copy format, do not scale from drawings
- Builder to confirm all dimensions are correct prior to start of works.

CONTROL MEASURE:
All persons entering the site must be made aware of potential hazards and take relevant actions to ensure that their work are maintained as safe to proceed. If you are unable to proceed due to the existence of an unsafe work area, you must notify your site supervisor immediately so that action can be taken to remedy the situation.

TITLE

SECTION

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Scale: 1 : 50

Date: 19.09.2025

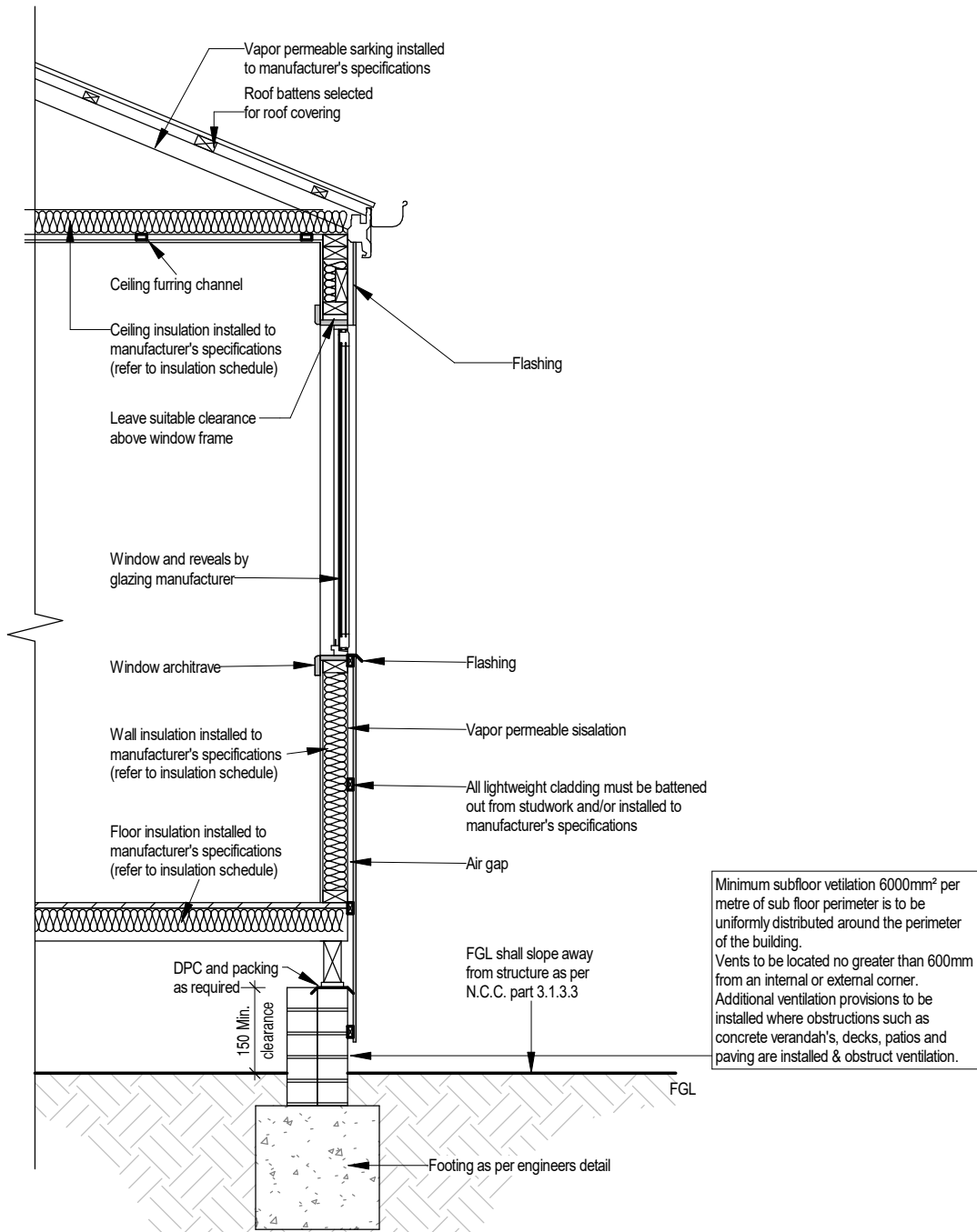
Drawn by: Ranjot Kaur

Client / Project Name
TAYLOR AND BEESON PTY.LTD./ URGE

Project Address
LOT 7 CLIMIE STREET,
CAMPANIA

Job No:
TB_07

Sheet No:
06



TYPICAL WALL DETAIL
(LIGHTWEIGHT CLADDING)

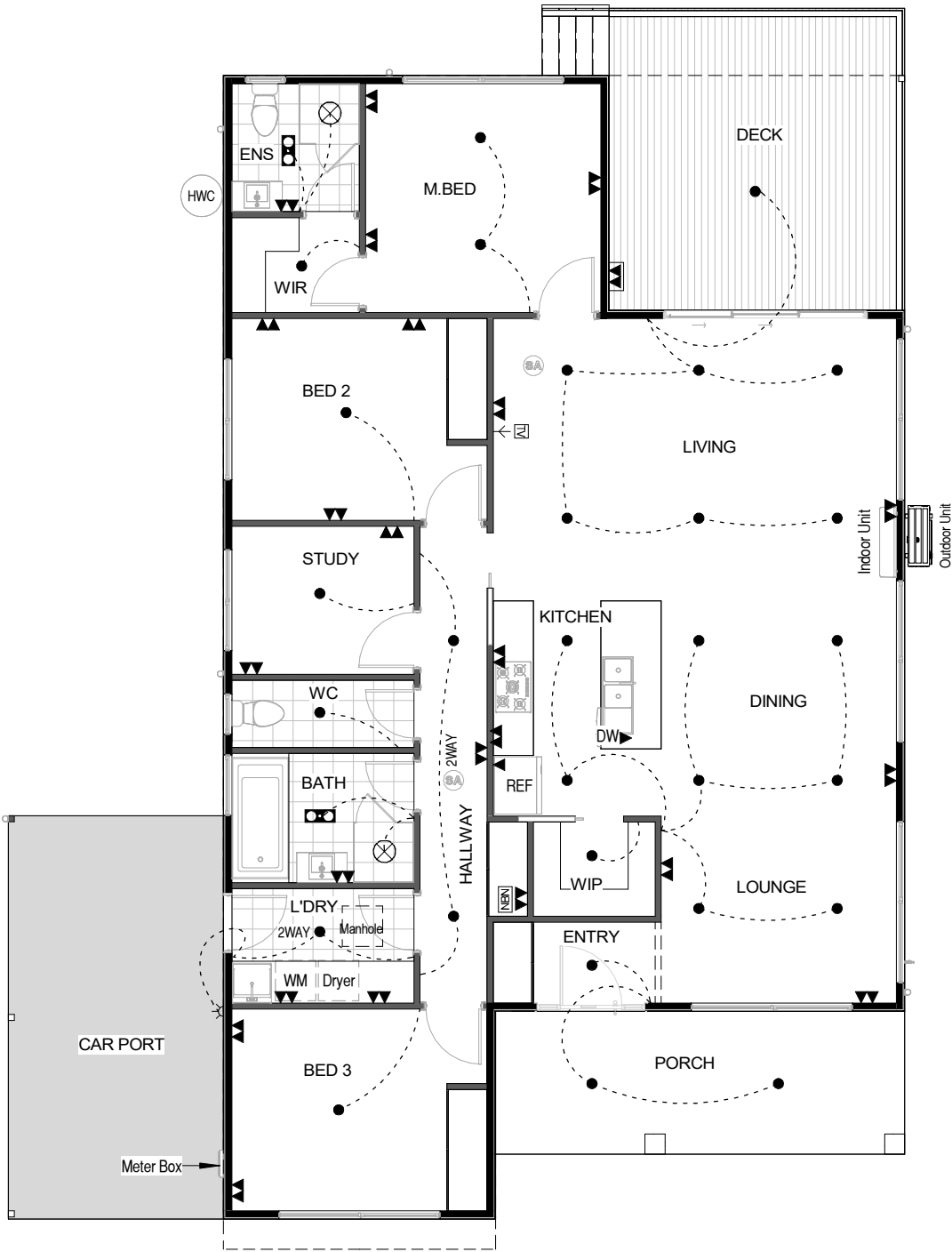
The owner (s) acknowledge that this set of contract plans may not reflect all of the selections made or requested. I agree that deviating color choices or update plans can be signed with construction plans before construction begins. PLEASE NOTE: No Variations will be accepted on these plans after signature.

I the owner/s accept these plans:

SIGNATURE: _____
DATE: _____

GLAZING NOTE:
All windows are Double glazed

BAL : TBC



ELECTRICAL LEGEND		
		No.s
	Single GPOs	2
	Double GPOs	23
	Phone / NBN point	1
	LED Downlight	29
	Mechanical Exhaust Fan	2
	Smoke Alarm	2
	3 Tastics(2 heat lamps & 1 Light)	2
	Power Point Double Weatherproof	1
	Wall Light	1
	TV point	1

NOTES:
- Rangehood to be ducted to outside
- External NBN under meterbox [where applicable]
- Where Exhaust fans are provided with no other form of ventilation, fan must be activated simultaneously with light
- Smoke alarm to be connected to the mains power supply and possess a battery back-up and be interconnected; to provide a common alarm throughout the building, and be to AS 3786-2014, and installed to NCC Clause 3.7.5.5.

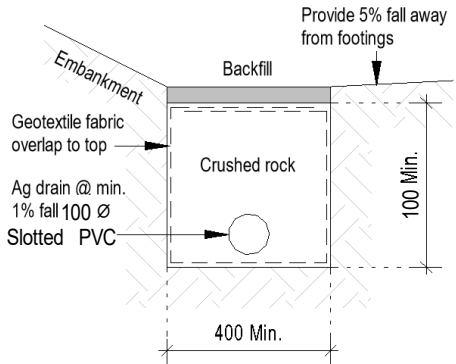
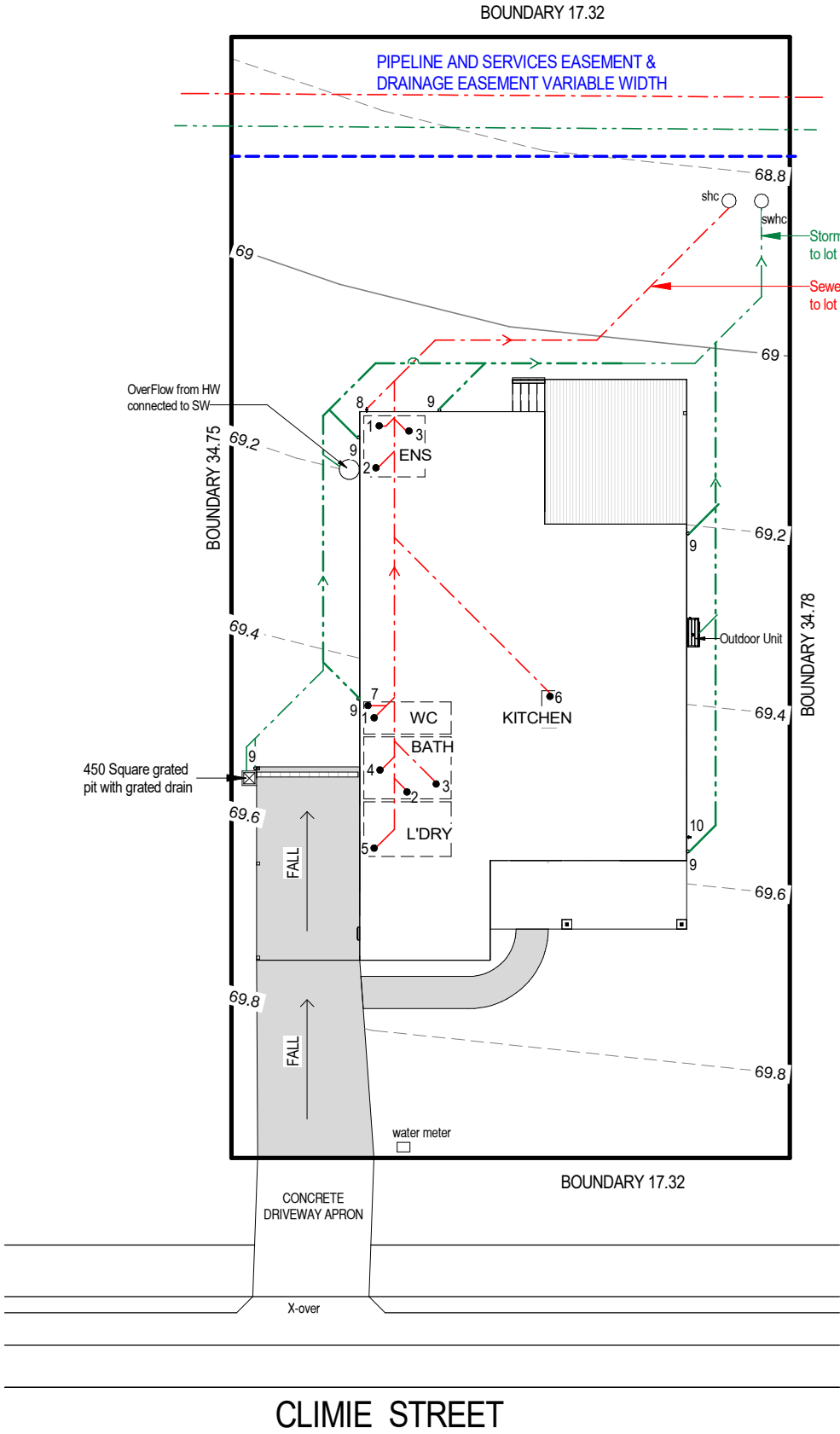
The owner (s) acknowledge that this set of contract plans may not reflect all of the selections made or requested. I agree that deviating color choices or update plans can be signed with construction plans before construction begins. PLEASE NOTE: No Variations will be accepted on these plans after signature.

I the owner/s accept these plans:

SIGNATURE: _____
DATE: _____

GLAZING NOTE:
All windows are Double glazed

BAL : TBC



LEGEND		
Abbr.	TYPE	Min. Ø Outlet size
1	Water closet pan	100
2	HandBasin	40
3	Shower	50
4	Bath	40
5	Laundry Trough	50
6	Kitchen Sink	50
7	Vent	50
8	Tap Charged ORG min. 150mm below FFL	
Dp	Downpipe	90
10	Tap	
i.o.	Inspection Opening to Ground Lvl	
f/w	Floor Waste	
- - - - - Sewer line 100Ø UPVC U.N.O.		
- - - - - Stormwater line 100Ø UPVC U.N.O.		

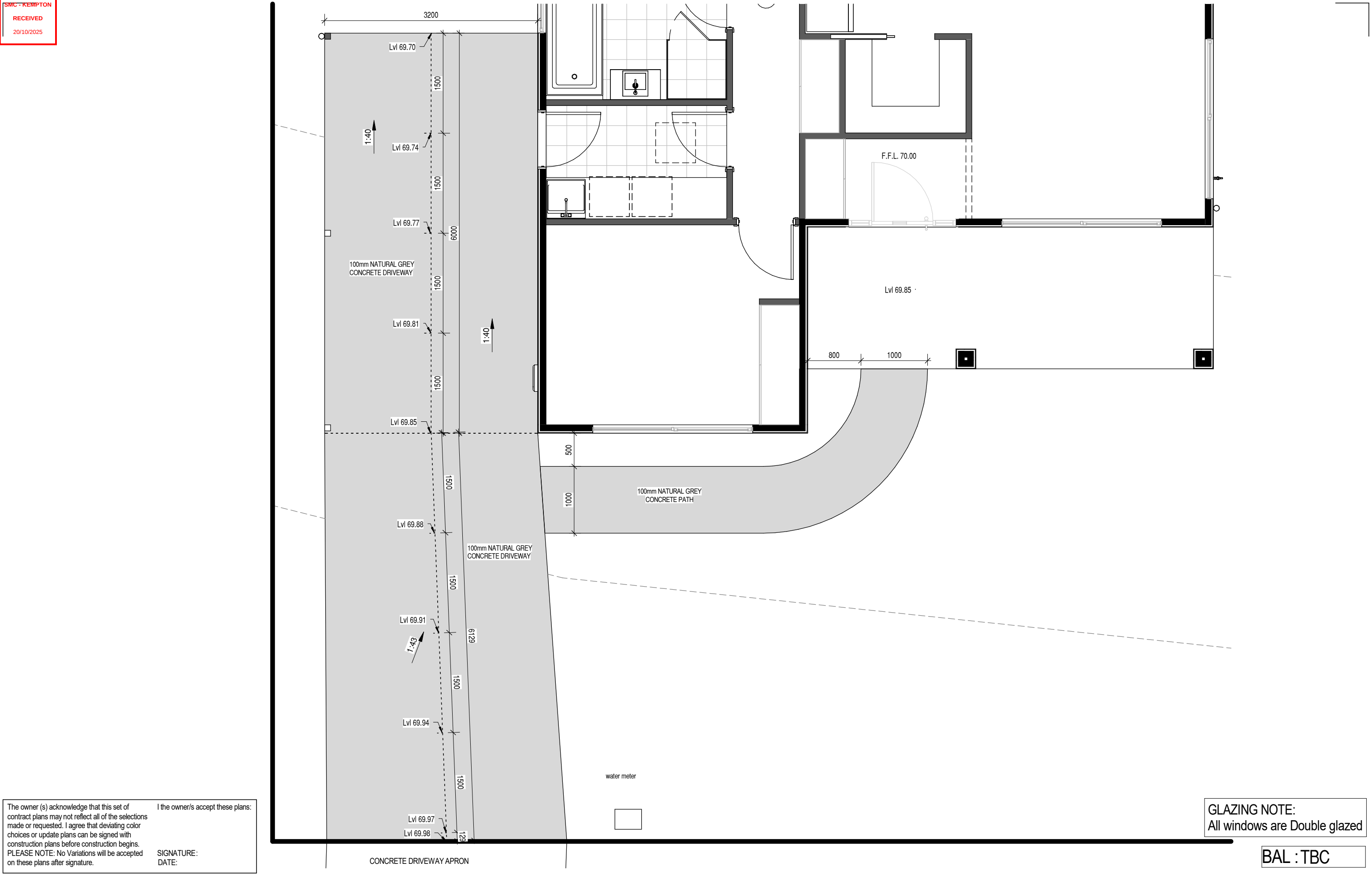
AG Drain (Typical)

BAL : TBC

The owner (s) acknowledge that this set of contract plans may not reflect all of the selections made or requested. I agree that deviating color choices or update plans can be signed with construction plans before construction begins. PLEASE NOTE: No Variations will be accepted on these plans after signature.

I the owner/s accept these plans:

SIGNATURE: _____
DATE: _____



The owner (s) acknowledge that this set of contract plans may not reflect all of the selections made or requested. I agree that deviating color choices or update plans can be signed with construction plans before construction begins. PLEASE NOTE: No Variations will be accepted on these plans after signature.

I the owner/s accept these plans:

SIGNATURE: _____
DATE: _____

A	Front window in Lounge added	09.10.2025	RK
	DA Plans	19.09.2025	RK
Rev.	Revision Description	Date	Drawn



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TITLE
DRIVEWAY CHAINAGE

Scale: 1 : 50

Date: 19.09.2025

Drawn by: Ranjot Kaur

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Client / Project Name
TAYLOR AND BEESON PTY.LTD./ URGE

Project Address
**LOT 7 CLIMIE STREET,
CAMPANIA**

Job No:
TB_07

Sheet No:
10

AS2870:2011 SITE ASSESSMENT

14 Climie Street

Campania

December 2023



GEO-ENVIRONMENTAL

S O L U T I O N S

Disclaimer: The author does not warrant the information contained in this document is free from errors or omissions. The author shall not in any way be liable for any loss, damage or injury suffered by the User consequent upon, or incidental to, the existence of errors in the information.

Investigation Details

Client:	Taylor and Beeson Building
Site Address:	14 Climie Street, Campania
Date of Inspection:	09/10/2025
Proposed Works:	New house
Investigation Method:	Geoprobe 540UD - Direct Push
Inspected by:	C Cooper

Site Details

Certificate of Title (CT):	185626/7
Title Area:	Approx. 614 m ²
Applicable Planning Overlays:	N/A
Slope & Aspect:	3° N facing slope
Vegetation:	Grass & Weeds

Background Information

Geology Map:	MRT
Geological Unit:	Tertiary
Climate:	Annual rainfall 500mm
Water Connection:	Mains
Sewer Connection:	Serviced-Mains
Testing and Classification:	AS2870:2011, AS1726:2017 & AS4055:2021

Investigation

A number of bore holes were completed to identify the distribution and variation of the soil materials at the site, bore hole locations are indicated on the site plan. See soil profile conditions presented below. Tests were conducted across the site to obtain bearing capacities of the material at the time of this investigation.

Soil Profile Summary

BH 1 Depth (m)	BH 2 Depth (m)	USCS	Description
0.00-0.30	0.00-0.20	SM	Silty SAND: grey, brown, slightly moist, medium dense
0.30-0.90	0.20-1.00	CI	Silty CLAY: medium plasticity, grey, brown, slightly moist, stiff,
0.90-1.50	1.00-1.20	GC	Clayey GRAVEL: yellow, brown, slightly moist, very dense, refusal.

Site Notes

Soils on site are clayey profiles on Tertiary sediments. The clay fraction is likely to experience moderate ground surface movement from moisture fluctuations.

Site Classification

The site has been assessed and classified in accordance with AS2870:2011 “*Residential Slabs and Footings*”.

The site has been classified as:

Class M

Y^s range: **20-40mm**

Notes: that is a moderately reactive clay.

Wind Loading Classification

According to “AS4055:2021 - Wind Loads for Housing” the house site is classified below:

Wind Classification:	N2
Region:	A
Terrain Category:	2.5
Shielding Classification:	NS
Topographic Classification:	T1
Wind Classification:	N2
Design Wind Gust Speed – m/s ($V_{h,u}$):	40

Construction Notes & Recommendations

The site has been classified as **Class M** - Moderately reactive clay or silt site, which may experience moderate ground movement from moisture changes.

It is recommended the foundations be placed on the underlying bedrock to minimise the potential for foundation movement.

All earthworks on site must comply with AS3798:2012, and I further recommend that consideration be given to drainage and sediment control on site during and after construction. Care should also be taken to ensure there is adequate drainage in the construction area to avoid the potential for weak bearing and foundation settlement associated with excessive soil moisture.

I also recommend that during construction that I and/or the design engineer be notified of any major variation to the foundation conditions as predicted in this report.



Dr John Paul Cumming B.Agr.Sc (hons) PhD CPSS GAICD

Director

Explanatory Notes

1 Scope of Works

The methods of description and classification of soils used in this report are based largely on Australian Standard 1726 – Geotechnical Site Investigations (AS1726:2017), with reference to Australian Standard 1289 – Methods for testing soils for engineering purposes (AS1289), for eventual Site Classification according to Australian Standard 2870 (AS2870:2011) – Residential Slabs and Footings and Australian Standard 1547 (AS1547:2012) On-site domestic wastewater management.

1.1 Site Classification AS2870:2011

Site classification with reference to the above Australian Standards are based on site reactivity.

Class	Foundation Conditions	Characteristic Surface Movement
A	Most sand and rock sites with little or no ground movement from moisture changes.	0mm
S	Slightly reactive clay sites, which may experience only slight ground movement from moisture changes.	0 – 20mm
M	Moderately reactive clay or silt sites, which may experience moderate ground movement from moisture changes.	20 – 40mm
H-1	Highly reactive clay sites, which may experience high ground movement from moisture changes.	40 – 60mm
H-2	Highly reactive clay sites, which may experience very high ground movement from moisture changes.	60 – 75mm
E	Extremely reactive sites, which may experience extreme ground movement from moisture changes.	>75mm

*Note: Soils where foundation performance may be significantly affected by factors other than reactive soil movement are classified as **Class P**.*

A site is classified as **Class P** when:

- The bearing capacity of the soil profile in the foundation zone is generally less than 100kpa
- If excessive foundation settlement may occur due to loading on the foundation.
- The site contains uncontrolled fill greater than 0.8m in depth for sandy sites and 0.4m in depth for other soil materials.
- The site is subject to mine subsidence, landslip, collapse activity or coastal erosion.
- The site is underlain by highly dispersive soils with significant potential for erosion
- If the site is subject to abnormal moisture conditions which can affect foundation performance

1.2 Soil Characterisation

This information explains the terms of phrase used within the soil description area of the report.

It includes terminology for cohesive and non-cohesive soils and includes information on how the Unified Soil Classification Scheme (USCS) codes are determined.

NON COHESIVE – SAND & GRAVEL		
Consistency Description	Field Test	Dynamic Cone Penetrometer blows/100 mm
Very loose (VL)	Easily penetrated with 13 mm reinforcing rod pushed by hand.	0 - 1
Loose (L)	Easily penetrated with 13 mm reinforcing rod pushed by hand. Can be excavated with a spade; 50 mm wooden peg can be easily driven.	1 - 3
Medium dense (MD)	Penetrated 300 mm with 13 mm reinforcing rod driven with 2 kg hammer, - hard shovelling.	3 - 8
Dense (D)	Penetrated 300 mm with 13 mm reinforcing rod driven with 2 kg hammer, requires pick for excavation: 50 mm wooden peg hard to drive.	8 - 15
Very dense (VD)	Penetrated only 25 - 50 mm with 13 mm reinforcing rod driven with 2 kg hammer.	>15

COHESIVE - SILT & CLAY		
Consistency Description	Field Test	Indicative undrained shear strength kPa
Very soft	Easily penetrated >40 mm by thumb. Exudes between thumb and fingers when squeezed in hand.	<12
Soft	Easily penetrated 10 mm by thumb. Moulded by light finger pressure	>12 and <25
Firm	Impression by thumb with moderate effort. Moulded by strong finger pressure	>25 and <50
Stiff	Slight impression by thumb cannot be moulded with finger.	>50 and <100
Very Stiff	Very tough. Readily indented by thumbnail.	>100 and <200
Hard	Brittle. Indented with difficulty by thumbnail.	>200

1.3 USCS Material Descriptions

Soils for engineering purposes are the unconsolidated materials above bedrock, they can be residual, alluvial, colluvial or aeolian in origin.

Major Divisions		Particle size mm	USCS Group Symbol	Typical Names	Laboratory Classification				
COARSE GRAINED SOILS (more than half of material less than 63 mm is larger than 0.075 mm)	BOULDERS	200			% < 0.075 mm (2)	Plasticity of fine fraction	$C_u = \frac{D_{60}}{D_{10}}$	$C_c = \frac{(D_{30})^2}{(D_{10})(D_{60})}$	NOTES
	COBBLES	63							
	GRAVELS (more than half of coarse fraction is larger than 2.36 mm)	coarse	GW	Well graded gravels and gravel-sand mixtures, little or no fines	0-5	—	>4	Between 1 and 3	(1) Identify fines by the method given for fine-grained soils. (2) Borderline classifications occur when the percentage of fines (fraction smaller than 0.075 mm size) is greater than 5% and less than 12%. Borderline classifications require the use of SP-SM, GW-GC.
		20	GP	Poorly graded gravels and gravel-sand mixtures, little or no fines, uniform gravels	0-5	—	Fails to comply with above		
		medium	GM	Silty gravels, gravel-sand-silt mixtures (1)	12-50	Below 'A' line or PI<4	—	—	
		fine	GC	Clayey gravels, gravel-sand-clay mixtures (1)	12-50	Above 'A' line and PI>7	—	—	
	SANDS (more than half of coarse fraction is smaller than 2.36 mm)	2.36	SW	Well graded sands and gravelly sands, little or no fines	0-5	—	>6	Between 1 and 3	
		coarse	SP	Poorly graded sands and gravelly sands, little or no fines	0-5	—	Fails to comply with above		
		0.6	SM	Silty sands, sand silt mixtures (1)	12-50	Below 'A' line or PI<4	—	—	
		medium	SC	Clayey sands, sand-clay mixtures (1)	12-50	Above 'A' line and PI>7	—	—	
		0.2							
		fine							
FINE GRAINED SOILS (more than half of material less than 63 mm is smaller than 0.075 mm)	SILTS & CLAYS (Liquid Limit ≤50%)	ML	Inorganic silts, very fine sands, rock flour, silty or clayey fine sands or clayey silts with slight plasticity	Plasticity Chart For classification of fine grained soils and fine fraction of coarse grained soils. Use the gradation curve of material passing 63 mm for classification of fractions according to the criteria given in 'Major Divisions'					
		CL	Inorganic clays of low to medium plasticity, gravelly clays, sandy clays, silty clays, lean clays						
		OL	Organic silts and clays of low plasticity						
	SILTS & CLAYS (Liquid Limit >50%)	MH	Inorganic silts, micaceous or diatomaceous fine sands or silts, elastic silts						
		CH	Inorganic clays of high plasticity, fat clays						
		OH	Organic silts and clays of high plasticity						
	HIGHLY ORGANIC SOILS	PT	Peat and other highly organic soils						

Grain size analysis is performed by two processes depending on particle size. Sand silt and clay particles are assessed using a standardised hydrometer test, and coarse sand and larger is assessed through sieving by USCS certified sieves. For more detail see the following section.

Soil Classification	Particle Size
Clay	Less than 0.002mm
Silt	0.002 – 0.06mm
Fine/Medium Sand	0.06 – 2.0mm
Coarse Sand	2.0mm – 4.75mm
Gravel	4.75mm – 60.00mm

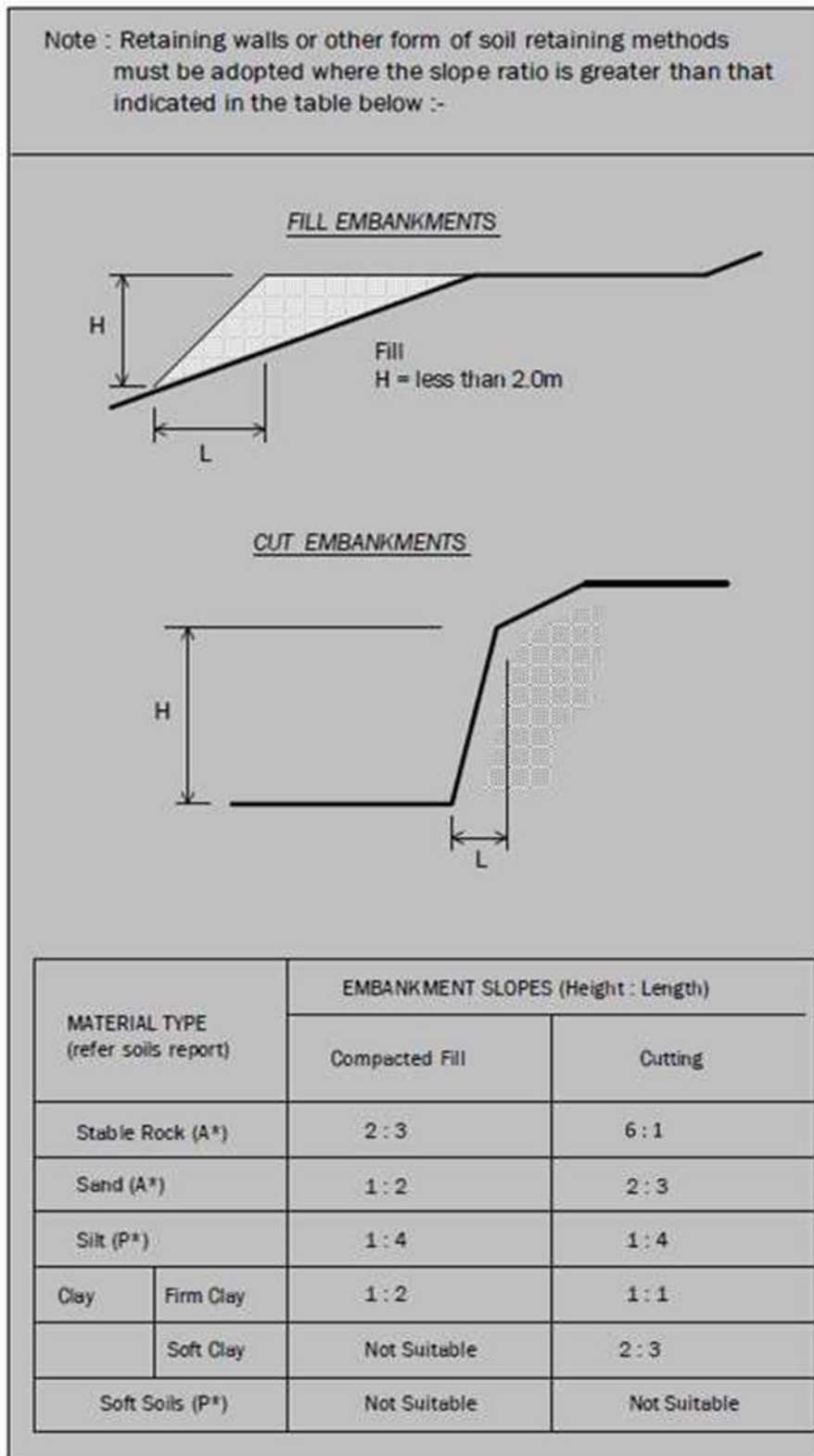
1.4 Bearing Capacities and DCP testing.

DCP and PSP weighted penetrometer tests – Dynamic Cone Penetrometer (DCP) and Perth Sand Penetrometer (PSP) tests are carried out by driving a rod into the ground with a falling weight hammer and measuring the blows for successive 100mm increments of penetration. Normally, there is a depth limitation of 1.2m but this may be extended in certain conditions by the use of extension rods. The methods for the two tests are quite similar.

- Dynamic Cone Penetrometer – a 16mm rod with a 20mm diameter cone end is driven with a 9kg hammer dropping 510mm (AS 1289, Test 6.3.2).
- Perth Sand Penetrometer – a 16mm diameter flat-ended rod is driven with a 9kg hammer, dropping 600mm (AS 1289 Test 6.3.3). This test was developed for testing the density of sands and is mainly used in granular soils and filling.

Site Anomalies – During construction GES will need to be notified of any major variation to the foundation conditions as predicted in this report.

1.5 Batter Angles for Embankments (Guide Only)



Glossary of Terms

Bearing Capacity – Maximum bearing pressure that can be sustained by the foundation from the proposed footing system under service loads which should avoid failure or excessive settlement.

Clay – (Mineral particles less than 0.002mm in diameter). Fine grained cohesive soil with plastic properties when wet. Also includes sandy clays, silty clays, and gravelly clays.

Dynamic Cone Penetrometer (DCP) – Field equipment used to determine underlying soil strength and therefore bearing capacity (kPa) by measuring the penetration of the device into the soil after each hammer blow.

Dispersive soil – A soil that has the ability to pass rapidly into suspension in water.

Footing – Construction which transfers the load from the building to the foundation.

Foundation – Ground which supports the building

Landslip – Foundation condition on a sloping site where downhill foundation movement or failure is a design consideration.

Qualified Engineer – A professional engineer with academic qualifications in geotechnical or structural engineering who also has extensive experience in the design of the footing systems for houses or similar structures.

Reactive Site – Site consisting of clay soil which swells on wetting and shrinks on drying by an amount that can damage buildings on light strip footings or unstiffened slabs. Includes sites classified as S, M, H-1, H-2 & E in accordance with AS2870-2011.

Sand – (Mineral particles greater than 0.02mm in diameter). Granular non-cohesive, non-plastic soil that may contain fines including silt or clay up to 15%.

Services – Means all underground services to the site including but not limited to power, telephone, sewerage, water & storm water.

Silt – (Mineral particles 0.002 – 0.02mm in diameter). Fine grained non-cohesive soil, non-plastic when wet. Often confers a silky smoothness of field texture, regularly includes clay and sand to form clayey silts, sandy silts and gravelly silts.

Site – The site title, as denoted by address, lot number, or Certificate of Title (CT) number, or Property Identification Number (PID).

Surface Movement (Ys) – Design movement (mm) at the surface of a reactive site caused by moisture changes.

Disclaimer

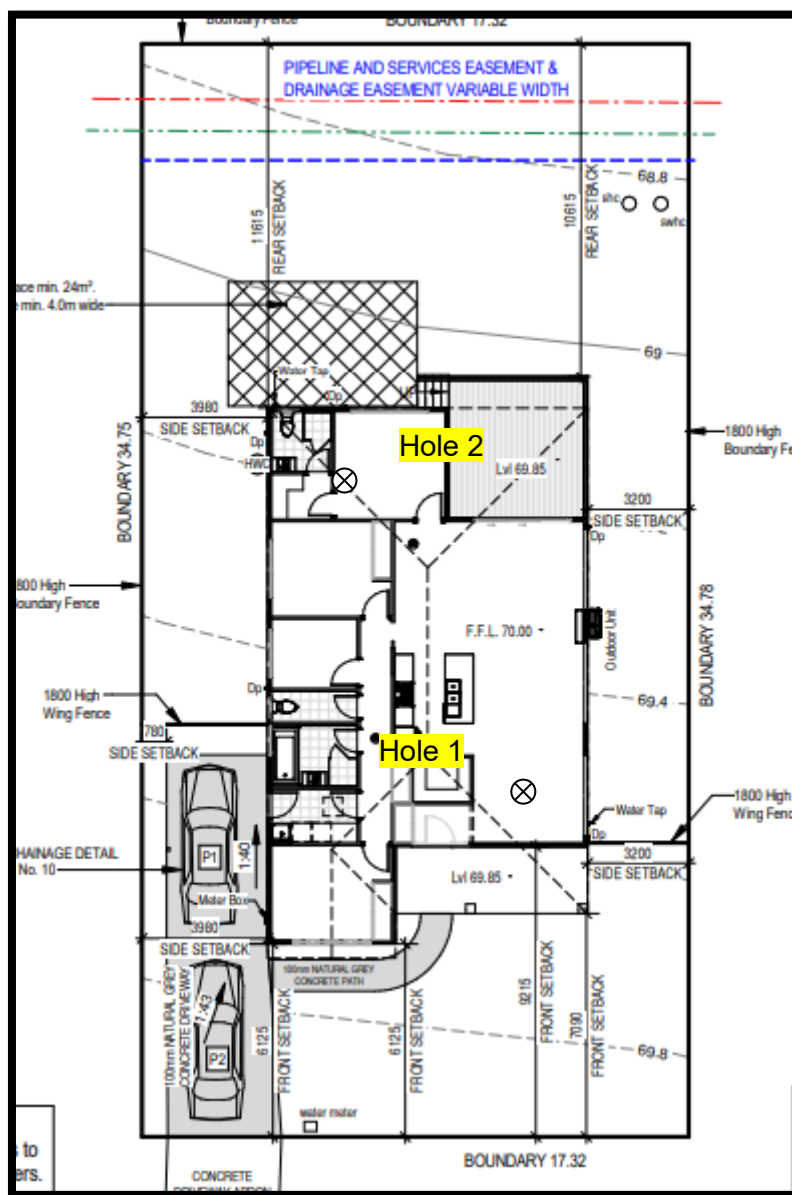
This Report has been prepared in accordance with the scope of services between Geo-Environmental Solutions Pty. Ltd. (GES) and the Client. To the best of GES's knowledge, the information presented herein represents the client's requirements at the time of printing of the Report. However, the passage of time, manifestation of latent conditions or impacts of future events may result in findings differing from that discussed in this Report. In preparing this Report, GES has relied upon data, surveys, analyses, designs, plans and other information provided by the Client and other individuals and organisations referenced herein. Except as otherwise stated in this Report, GES has not verified the accuracy or completeness of such data, surveys, analyses, designs, plans and other information.

The scope of this study does not allow for the review of every possible geotechnical parameter or the soil conditions over the whole area of the site. Soil and rock samples collected from the investigation area are assumed to be representative of the areas from where they were collected and not indicative of the entire site. The conclusions discussed within this report are based on observations and/or testing at these investigation points.

This report does not purport to provide legal advice. Readers of the report should engage professional legal practitioners for this purpose as required.

No responsibility is accepted for use of any part of this report in any other context or for any other purpose by third a party.

Site Plan



APPENDIX 1 - DCP Results Table

Dynamic Cone Penetration (DCP) Conversion to Californian Bearing Ratio
(ref: Australian Standard AS 1289.6.3.2 - 1997)

DCP Location BH1

Depth (mm)	DCP (Blows/100mm)	DCP (mm/Blow)	DCP Resistance (mPa)	Allowable Bearing Capacity (kPa)	CBR (Rounded Up)
0-100	4	25.0	1.3	139	8
100-200	6	16.7	1.9	208	13
200-300	5	20.0	1.6	174	10
300-400	6	16.7	1.9	208	13
400-500	6	16.7	1.9	208	13
500-600	6	16.7	1.9	208	13
600-700	7	14.3	2.2	243	15
700-800	7	14.3	2.2	243	15
800-900	8	12.5	2.5	278	17
900-1000	11	9.1	3.4	382	25
1000-1100	11	9.1	3.4	382	25
1100-1200	15	6.7	4.7	521	35
1200-1300	20	5.0	6.3	694	48

Appendix 2 – Site Photos



CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE ITEM

Section 321

Form **55**

To: Owner /Agent
 Address
 Suburb/postcode

Qualified person details:

Qualified person:
Address: Phone No:
 Fax No:
Licence No: Email address:

Qualifications and Insurance details: (description from Column 3 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

Speciality area of expertise: (description from Column 4 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

Details of work:

Address: Lot No:
 Certificate of title No:
The assessable item related to this certificate: (description of the assessable item being certified)
Assessable item includes –
- a material;
- a design
- a form of construction
- a document
- testing of a component, building system or plumbing system
- an inspection, or assessment, performed

Certificate details:

Certificate type: (description from Column 1 of Schedule 1 of the Director's Determination - Certificates by Qualified Persons for Assessable Items n)

This certificate is in relation to the above assessable item, at any stage, as part of - (tick one)

building work, plumbing work or plumbing installation or demolition work ☒
or

a building, temporary structure or plumbing installation: ☐

In issuing this certificate the following matters are relevant –

Documents:	The attached soil report for the address detailed above in 'details of work'
Relevant calculations:	Reference the above report.
References:	AS2870:2011 residential slabs and footings AS1726:2017 Geotechnical site investigations CSIRO Building technology file – 18.

Substance of Certificate: (what it is that is being certified)

Site Classification consistent with AS2870-2011.

Scope and/or Limitations

The classification applies to the site as inspected and does not account for future alteration to foundation conditions as a result of earth works, drainage condition changes or variations in site maintenance.

I, John-Paul Cumming certify the matters described in this certificate.

Qualified person:

Signed:

Certificate No:

Date:

J12262

10/10/2025



A handwritten signature in black ink, appearing to be 'John Paul Cumming', written over a light grey circular stamp.

SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 185626

PAGE 1 OF 4 PAGES

EASEMENTS AND PROFITS:

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

Easements

Lot 14 on the Plan is subject to a right of drainage over the land marked "DRAINAGE EASEMENT 3.00 WIDE" shown on the Plan in gross in favour of the Southern Midlands Council.

Lot 13 on the Plan is subject to a right of drainage over the land marked "DRAINAGE EASEMENT 2.50 WIDE" shown on the Plan in gross in favour of the Southern Midlands Council.

Lots 9, 10, 11, 12 & 13 on the Plan are each subject to a right of drainage over the land marked "PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE" shown on the Plan in gross in favour of the Southern Midlands Council.

Lots 3, 4, 5, 6, 7 & 8 on the Plan are each subject to a right of drainage over the land marked "PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT VARIABLE WIDTH" shown on the Plan in gross in favour of the Southern Midlands Council.

Lots 3, 4, 5, 6, 7 & 8 on the Plan are each subject to a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the area marked "PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT VARIABLE WIDTH" as shown on the Plan.

Lots 9, 10, 11, 12 & 13 on the Plan are each subject to a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the area marked "PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE" as shown on the Plan.

Covenants

The owner of each lot on the plan covenants with the Vendors and the owners for the time being of every other lot shown on the plan to the intent that the burden of this covenant may run with and bind the Covenantor's lot and every part thereof and that the benefit shall be annexed to and devolve with each and every part of every other lot shown on the plan to observe the following stipulations:

(USE ANNEXURE PAGES FOR CONTINUATION)	
SUBDIVIDER: Mayfair Group Holdings Pty Ltd	PLAN SEALED BY: Southern Midlands Council
FOLIO REF: C/T 168424/2	DATE: 21/11/2023
SOLICITOR & REFERENCE: Butler McIntyre & Butler 231411	SA1600014
	REF NO. Council Delegate
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 4 PAGES	Registered Number SP 185626
SUBDIVIDER: Mayfair Group Holdings Pty Ltd FOLIO REFERENCE: C/T 168424/2	

1. Not without the prior written consent of the Vendor to construct or allow to be constructed, any kit home or relocatable dwelling on such lot.
2. Not without the prior written consent of the Vendor to construct any walls of any residential building on such lot from any material except weatherboard, brick, finished rendered surface or masonry without the prior written consent of the Vendor, PROVIDED THAT the use of timber, non-brick or non-masonry materials not exceeding thirty percent (30%) of the total external wall area is permitted.
3. Not without the prior written consent of the Vendor to construct on any such lot, a dwelling with a liveable floor area of less than 140 square metres, (which area shall not include patios, verandas and carports) except if the dwelling is one of a greater number of multiple dwellings on that lot.
4. Not to use galvanised iron or other reflective materials in the construction of any dwelling nor any shed or outbuilding on a lot.
5. Not to erect or permit to be erected or remain on a lot any hoarding or advertising sign whatsoever except for a "for sale" sign during the period the lot is for sale.

Fencing ~~Provision~~ Covenant

The owner of each lot on the Plan covenants with Mayfair Group Holdings Pty Ltd (ACN 609 879 941) ("the Vendor") that the Vendor shall not be required to fence.

Definitions

"Pipeline and Services Easement" means:-

FIRSTLY, THE FULL AND FREE RIGHT AND LIBERTY for TasWater and its employees, contractors, agents and all other persons duly authorised by it, at all times to:

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure;
- (4) run and pass sewage, water and electricity through and along the Infrastructure;
- (5) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (a) without doing unnecessary damage to the Easement Land; and
 - (b) leaving the Easement Land in a clean and tidy condition;

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 4 PAGES	Registered Number SP 185626
SUBDIVIDER: Mayfair Group Holdings Pty Ltd FOLIO REFERENCE: C/T 168424/2	

- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land; and
- (7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

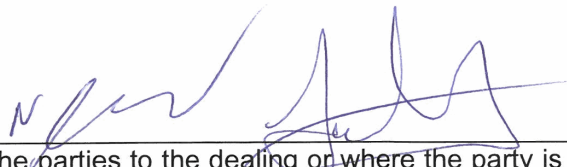
SECONDLY, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described.

Interpretation:

"Infrastructure" means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) electricity assets and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure;
- (f) anything reasonably required to support, protect or cover any other Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

"TasWater" means Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653), its successors and assigns.



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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 4 OF 4 PAGES	Registered Number SP 185626
SUBDIVIDER: Mayfair Group Holdings Pty Ltd FOLIO REFERENCE: C/T 168424/2	

Executed by **MAYFAIR GROUP HOLDINGS PTY LTD** (ACN 609 879 941) pursuant to section 127(1) of the *Corporations Act 2001* (Cth)

By:

NICHOLAS LAMBRAKIS
Name of Director

[Signature]
Signature of Director

ZACHARIAS LAMBRAKIS
Name of Director/Secretary
(strike out which is inapplicable)

[Signature]
Signature of Director/Secretary
(strike out which is inapplicable)

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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SEARCH OF TORRENS TITLE

VOLUME 185626	FOLIO 7
EDITION 1	DATE OF ISSUE 18-Dec-2023

SEARCH DATE : 08-Oct-2025

SEARCH TIME : 10.32 AM

DESCRIPTION OF LAND

Town of CAMPANIA

Lot 7 on Sealed Plan [185626](#)

Derivation : Part of Lot 25553 (5A-0R-39P) Henry William Gregg pur.

Prior CT [168424/2](#)

SCHEDULE 1

[E30255](#) TRANSFER to MAYFAIR GROUP HOLDINGS PTY LTD
Registered 10-Aug-2017 at noon

SCHEDULE 2

[E30255](#) & [M489559](#) Land is limited in depth to 15 metres,
excludes minerals and is subject to reservations
relating to drains sewers and waterways in favour of
the Crown

[SP185626](#) EASEMENTS in Schedule of Easements

[SP185626](#) COVENANTS in Schedule of Easements

[SP185626](#) FENCING COVENANT in Schedule of Easements

[E30255](#) FENCING PROVISION in Transfer

[M899953](#) MORTGAGE to Butler McIntyre Investments Ltd
Registered 16-Jul-2021 at noon

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

OWNER MAYFAIR GROUP HOLDINGS PTY LTD FOLIO REFERENCE C.T.168424/2 GRANTEE PART OF LOT 25553 (5A-OR-39P) HENRY WILLIAM GREGG PUR.	PLAN OF SURVEY BY SURVEYOR SAMUEL FRANKLIN HARVEY ROGERSON AND BIRCH SURVEYORS UNIT 1 - 2 KENNEDY DRIVE, CAMBRIDGE PARK PH 6248-5898 MOB. 0402-476-360 TOWN OF CAMPANIA SCALE 1: 800 LENGTHS IN METRES	REGISTERED NUMBER SP185626 APPROVED EFFECTIVE FROM 18 DEC 2023 <i>Deanna</i> Recorder of Titles
INDEX PLAN	PRIORITY FINAL PLAN ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN	
<i>[Signature]</i> Registered Land Surveyor 01/08/2023 Date	<i>[Signature]</i> Council Delegate 2/11/23 Date	

PLAN OF SURVEY ANNEXURE SHEET SHEET 1 OF 2 SHEETS	OWNER: MAYFAIR GROUP HOLDINGS PTY LTD FOLIO REFERENCE: C.T.168424/2 SCALE 1:400 LENGTH IN METRES	Registered Number SP. 185626
SIGNED FOR IDENTIFICATION PURPOSES <i>[Signature]</i> 2/11/23 Council Delegate Date	THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN. <i>[Signature]</i> 01/08/2023 Registered Land Surveyor Date	APPROVED EFFECTIVE FROM 18 DEC 2023 <i>[Signature]</i> Recorder of Titles

100 ROAD 1901m²

8 600m²

7 602m²

6 604m²

5 612m²

4 607m²

3 604m²

14 8448m²

CLIMIE STREET

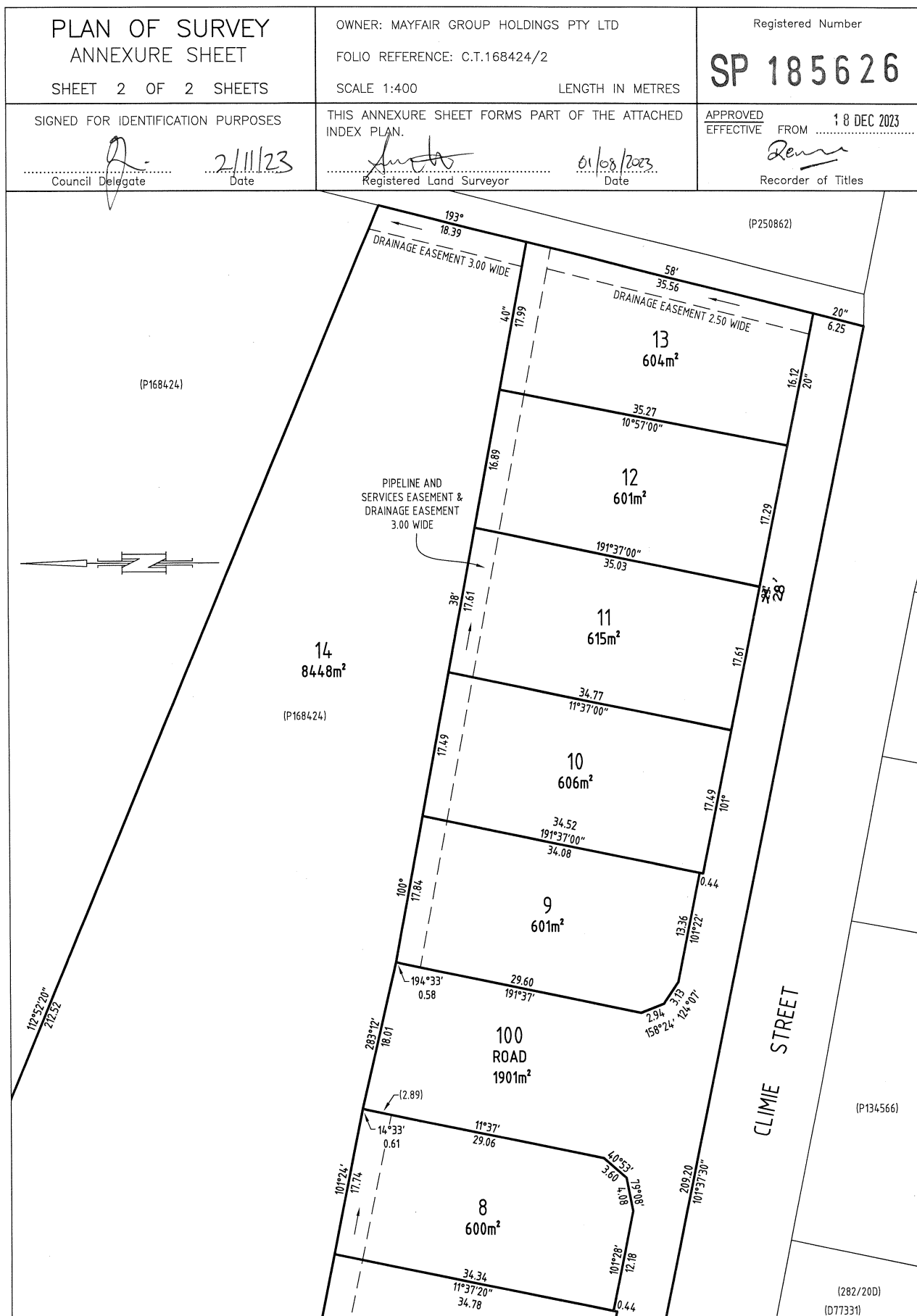
PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT VARIABLE WIDTH

(P168424)

(P210677)

(P50)

(P210677)





www.taylorandbeeson.com.au
ABN 44 604 954 592

Nathan: 0419 874 230
E: admin@taylorandbeeson.com.au

AGENT FORM – TO BE COMPLETED BY THE OWNER/S.

To: Taylor and Beeson Building Pty Ltd
PO BOX 2017
HOWRAH TAS 7018

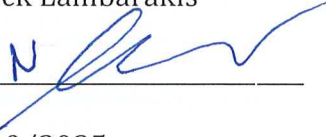
To whom it may concern,

I/We, (owner/s) Nick Lambrakis & Marios John (Mayfair Group Holdings Pty Ltd)

Authorise Nathan Taylor of Taylor and Beeson Building Pty Ltd to act as my
agent regarding obtaining a Certificate of Likely Compliance and for the agent
to authorise for Tas Water, Building & Plumbing permit from Southern Midlands
Council relating to our/my property at Lot 7 Climie Street, Campania.

Name: Nick Lambarakis

Marios John

Signed: 



Date: 8/10/2025