



Public Notice Details

Planning Application Details

Application No	DA2500100
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Property Details

Property Location	45 Ely Street Dysart
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Application Information

Application Type	Discretionary Development Application
Development Category	Outbuilding
Advertising Commencement Date	26/8/25
Advertising Closing Period	9/9/25
<small>If the Council Offices are closed during normal office hours within the above period, the period for making representations is extended.</small>	

Enquiries regarding this Application can be made via to Southern Midlands Council on (03) 6254 5050 or by emailing planningenquires@southernmidlands.tas.gov.au. Please quote the development application number when making your enquiry.

Representations on this application may be made to the General Manager in writing either by

Post: PO Box 21, Oatlands Tas 7120
Email: mail@southernmidlands.tas.gov.au
Fax: 03 6254 5014

All representations must include the authors full name, contact number and postal address and be received by the advertising closing date.



APPLICATION FOR PLANNING PERMIT DEVELOPMENT / USE

Use this form to apply for a permit in accordance with section 57 and 58 of the *Land Use Planning and Approvals Act 1993*

Proposed
use/development:
(Provide details of
proposed works and
use).

New residential shed with attached carport

Location of
Development:
(If the development
includes more than one
site, or is over another
property include address
of both Properties).

45 Ely Street Dysart

Certificate of Title/s
Volume Number/Lot
Number:

224101/1

Land Owners Name:

Stewart & Barbara Winkle

Full Name/s or Full Business/Company Name

Applicant's Name:

Stewart & Barbara Winkle

Full Name/s or Full Business/ Company Name (ABN if registered business or company name)

Contact details:

Postal address for correspondence: 45 Ely Street, Dysart

Telephone or Mobile: 0429 138 540

Email address: kiwistu69@gmail.com

(Please note it is your responsibility to provide your correct email address and to check your email for communications from the Council.)

Details

Tax Invoice for
application fees to be
in the name of:
(if different from
applicant)

Stewart Winkle

Full Name/s or Full Business or Company Name and ABN if registered business or company name

Print email address - kiwistu69@gmail.com

ABN

What is the estimated value of all the new work proposed

\$ 30,000

For Commercial Planning Permit Applications Only

Signage:

Is any signage proposed?

Yes

☐

No

☒

If yes, attach details: size, location and art work

Business Details:

Existing hours of operation

Hours	am	to	pm
Weekdays			
Sat			
Sun			

Proposed hours of new operation

Hours	am	to	pm
Weekdays			
Sat			
Sun			

Number of existing employees:

-

Number of proposed new employees:

-

Traffic Movements:

Number of commercial vehicles serving the site at present	-	Approximate number of commercial vehicles servicing the site in the future	-
Number of Car Parking Spaces:	-	How many new car spaces are proposed	-

Is the development to be staged:

Please tick ✓ answer

Yes ☐

☐

No ☐

x ☐

Please attach any additional information that may be required by Part 6.1 *Application Requirements* of the Tasmanian Planning Scheme – Southern Midlands.

Signed Declaration

I/we as owner of the land or person with consent of the owner hereby declare that:

1. I/we have read the Certificate of Title and Schedule of Easements for the land and I/we are satisfied that this application is not prevented by any restrictions, easements or covenants.
2. I/we provide permission by or on behalf of the applicant for Council officers to enter the site to assess the application.
3. The information given in this application is true and accurate. I/we understand that the information and materials provided with this application may be made available to the public. I/we understand that the Council may make such copies of the information and materials as, in its opinion, are necessary to facilitate a thorough consideration of the application.
4. I/we have secured the necessary permission from the copyright owner to communicate and reproduce the plans submitted with the application for assessment. I/we indemnify the Southern Midlands Council for any claim or action taken against it regarding a breach of copyright in respect of any of the information or material provided.
5. I/we declare that, in accordance with Section 52(1) of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their consent is attached and the application form signed by the Minister of the Crown responsible and/or the General Manager of the Council.

Applicant Signature
(If not the Title Owner)

Applicant Name (please print)

Date



A handwritten signature in black ink, appearing to be "D Lyne", is written inside a rectangular box.

David Lyne

13.08.2025

Land Owner(s) Signature

Land Owners Name (please print)

Date

Land Owner(s) Signature

Land Owners Name (please print)

Date

PRIVACY STATEMENT

The Southern Midlands Council abides by the Personal Information Protection Act 2004 and views the protection of your privacy as an integral part of its commitment towards complete accountability and integrity in all its activities and programs.

Collection of Personal Information: The personal information being collected from you for the purposes of the Personal Information Protection Act, 2004 and will be used solely by Council in accordance with its Privacy Policy. Council is collecting this information from you in order to process your application.

Disclosure of Personal Information: Council will take all necessary measures to prevent unauthorised access to or disclosure of your personal information. External organisations to whom this personal information will be disclosed as required under the Building Act 2000. This information will not be disclosed to any other external agencies unless required or authorised by law.

Correction of Personal Information: If you wish to alter any personal information you have supplied to Council please telephone the Southern Midlands Council on (03) 62545050. Please contact the Council's Privacy Officer on (03) 6254 5000 if you have any other enquires concerning Council's privacy procedures.

45 ELY STREET
DYSART, TASMANIA, 7030
STEWART WINKLE

REV P1 - ISSUED FOR PLANNING APPROVAL 12.08.2025

PLEASE READ CAREFULLY

THIS PLAN CERTIFIED CORRECT IS THE ONE REFERRED TO IN THE BUILDING CONTRACT AND I UNDERSTAND CHANGES HEREAFTER MAY NOT BE POSSIBLE.

FINAL PLAN : ANY REQUESTED VARIATIONS TO YOUR HOUSE PLAN WILL INCUR AN AMENDMENT / ADMINISTRATION MINIMUM FEE

SMC - KEMPTON

RECEIVED

14/08/2025

GENERAL INFORMATION:

DESIGNER: DAVID LYNE CC7063

CLIENT: BRAD ARNOLD

JOB NUMBER: 1674/25

CLASSIFICATION: 1a

TITLE REFERENCE: 96491/540

DESIGN WIND SPEED: N3

SOIL CLASSIFICATION: TBA

CLIMATE ZONE: 7

BAL: TBA

LOT SIZE: 697m²

PROPOSED ROOF AREA: 25.5m²

DRAWING REGISTER:

B00	COVER SHEET	N/A
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B01	NOTES SHEET 1	N/A
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B02	NOTES SHEET 2	N/A
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B03 SITE PLAN 1:200

B04 GROUND FLOOR PLAN 1:100

B05 ELEVATIONS SHEET 1:100

GENERAL NOTES:

- CHECK ALL DIMENSIONS, BOUNDARIES, EASEMENTS AND SERVICE LOCATIONS ON SITE.
- ALL WORK SHALL COMPLY WITH THE TASMANIAN BUILDING REGULATIONS 2016, AND RELEVANT CURRENT AUSTRALIAN STANDARDS.
- CHECK CAREFULLY ALL ASPECTS OF THESE DOCUMENTS BEFORE COMMENCING WORK.
- ANY ERRORS OR ANOMALIES TO BE REPORTED TO THE DRAWER BEFORE WORK IS CONTINUED.
- CONFIRM ALL SIZES AND HEIGHTS ON SITE. DO NOT SCALE OFF PLAN.
- ALL FRAMING TO COMPLY WITH AS 1684 RESIDENTIAL TIMBER-FRAMED CONSTRUCTION. NOTE: ALL TIMBER SIZES SPECIFIED ARE MINIMUM REQUIREMENT ONLY.
- SUBSTITUTES MAY BE USED AS LONG AS VERIFICATION OF EQUAL PERFORMANCE IS OBTAINED.
- ALL CONSTRUCTION IS TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA AND ALL RELEVANT AUSTRALIAN STANDARDS.
- WIND LOADS DETERMINED IN ACCORDANCE WITH AS 4055 WIND LOADS FOR HOUSING.
- THESE DOCUMENTS TO BE USED WITH THE DESIGNERS SPECIFICATIONS, SOIL TESTS AND ALL DOCUMENTATION PREPARED BY AN ENGINEER.
- THESE DOCUMENTS ARE INTENDED FOR COUNCIL APPLICATIONS AND NORMAL CONSTRUCTION.
- THIS DESIGN IS COVERED UNDER COPYRIGHT AND ANY CHANGES MUST BE CONFIRMED WITH THE DESIGNER. THE DESIGNER RETAINS ALL INTELLECTUAL PROPERTY.

P1	12.08.2025	PLANNING APPROVAL ISSUE
REV	DATE	REMARK

LYNE DESIGN

BUILDING DESIGN/ DRAFTING - BUSHFIRE MANAGEMENT
DAVID LYNNE ACCREDITED DESIGNER: CC7063
11 GRANVILLE AVENUE
GEILSTON BAY, TASMANIA 7015
MOBILE: 0421 852 987 dave_lyne@hotmail.com

PROJECT
45 ELY STREET
DYSART. TAS 7030

TITLE
COVER SHEET

Accepted STEWART WINKLE (Client 1)	Date
Accepted NOT APPLICABLE (Client 2)	Date
Approved NOT APPLICABLE (Builder)	Date

This document must be signed

SCALES @ A3	DESIGNED BY	DRAWN BY
N/A	D.LYNE	D.LYNE
	PLOT DATE	12/08/2025

DO NOT SCALE. Use only figured dimensions. Locations of structure, fittings, services etc on this drawing are indicative only. CONTRACTOR to check all other project drawings for co-ordination between structure, fabric, fixtures, fittings, services etc. CONTRACTOR to site check all dimensions and exact locations of all items. no responsibility shall be taken for dimensional information scaled or digitally derived from this document.

PLOT DETAILS ELY STREET.DWG

PROJECT NO. **TRA**

DWG NO. B00	REVISION P1
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NOT FOR CONSTRUCTION

GENERAL:

1. THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT. (THIS INCLUDES BUT IS NOT LIMITED TO THE OWNER, BUILDER, SUB-CONTRACTORS, CONSULTANTS, OPERATORS, RENOVATORS, MAINTAINERS AND DEMOLISHERS).
2. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE STRUCTURAL DESIGN DRAWINGS, ANY OTHER DRAWINGS BY OTHERS, SPECIFICATIONS AND OR REPORTS, AND WITH SUCH OTHER WRITTEN INSTRUCTION THAT MAY BE ISSUED.
3. ALL CONSTRUCTION WORK TO COMPLY WITH THE CURRENT BUILDING CODES AND REGULATIONS OF THE RELEVANT AUSTRALIAN STATE OR TERRITORY.
4. DIMENSIONS ARE EXPRESSED IN MILLIMETERS, UNO. DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THESE DRAWINGS. SETTING OUT DIMENSIONS SHALL BE VERIFIED BY LICENCED BUILDER/ SURVEYOR BEFORE COMMENCING WORK. ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND THE OTHER DRAWINGS IS TO BE ADVISED BEFORE PROCEEDING WITH ANY WORK.
5. THE PLANS AND SPECIFICATIONS ARE SUBJECT TO APPROVAL BY THE LOCAL BUILDING AUTHORITY PRIOR TO CONSTRUCTION.
6. THE BUILDING CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS, APPROVALS, AND INSPECTIONS AS REQUIRED BY LAW.
7. ALL STRUCTURAL ELEMENTS, INCLUDING FOOTINGS, FOUNDATIONS, WALLS, AND ROOF STRUCTURES, MUST BE DESIGNED BY A QUALIFIED STRUCTURAL ENGINEER AND COMPLY WITH THE APPROPRIATE AUSTRALIAN STANDARDS. REFER TO STRUCTURAL DRAWINGS BEFORE COMMENCING ANY WORKS.
8. THE MATERIALS AND FINISHES SPECIFIED MUST MEET THE REQUIRED AUSTRALIAN STANDARDS AND REGULATIONS FOR FIRE SAFETY, ACOUSTIC PERFORMANCE, ENERGY EFFICIENCY, AND DURABILITY.
9. THE BUILDER SHALL CARRY OUT REGULAR QUALITY INSPECTIONS DURING CONSTRUCTION TO ENSURE COMPLIANCE WITH THE PLANS AND SPECIFICATIONS.
10. THE HOUSE PLANS ARE COPYRIGHT PROTECTED, AND UNAUTHORIZED REPRODUCTION, OR USE WITHOUT THE WRITTEN CONSENT OF THE DESIGNER IS STRICTLY PROHIBITED.
11. THE FINAL COMPLETION OF THE PROJECT SHALL INCLUDE OBTAINING THE NECESSARY OCCUPANCY CERTIFICATE FROM THE LOCAL BUILDING AUTHORITY.

HEALTH AND SAFETY:

1. THERE ARE A NUMBER OF HAZARDS AND HENCE RISKS WHICH ARE NOT UNIQUE TO THIS PROJECT WHICH NEED TO BE MANAGED DURING THESE PHASES. A REMINDER TO CONSTRUCTORS, OPERATORS, MAINTAINERS AND DEMOLISHERS OF THEIR RESPONSIBILITIES UNDER WORK HEALTH & SAFETY ACTS AND REGULATIONS.
2. FOR ALTERATIONS TO OR DEMOLITION OF A BUILDING CONSTRUCTED PRIOR TO:
1990 - IT MAY CONTAIN ASBESTOS
1986 - IT IS LIKELY TO CONTAIN ASBESTOS EITHER IN CLADDING MATERIAL, OR IN FIRE-RETARDANT INSULATION MATERIAL.
IN EITHER CASE, THE BUILDER SHOULD CHECK, AND IF NECESSARY TAKE APPROPRIATE ACTION BEFORE DEMOLISHING, CUTTING, SANDING, DRILLING OR OTHERWISE DISTURBING THE EXISTING STRUCTURE.
3. MANY OTHER MATERIALS USED IN CONSTRUCTION OF THIS BUILDING SUCH AS (BUT NOT LIMITED TO) POWDERED MATERIALS, TREATED TIMBER, VOLATILE ORGANIC COMPOUNDS, SYNTHETIC MINERAL FIBER, CAN CAUSE HARM IF INHALED. ALL PERSONS WORKING ON OR IN THE BUILDING DURING DEMOLITION AND OR CONSTRUCTION SHOULD BE WEARING PERSONAL PROTECTION EQUIPMENT INCLUDING PROTECTION AGAINST INHALATION OF HARMFUL MATERIAL.

SITE PREPARATION AND EXCAVATION:

1. IN ACCORDANCE WITH PART H1D3 OF CURRENT N.C.C., AND TO LOCAL COUNCIL REQUIREMENTS.
2. THE SITE MUST BE PROPERLY PREPARED AND LEVELED BEFORE CONSTRUCTION BEGINS. ANY NECESSARY EARTHWORKS AND SITE PREPARATION ARE THE RESPONSIBILITY OF THE CONTRACTOR.
3. SURFACE DRAINS SHALL BE DESIGNED AND CONSTRUCTED TO AVOID WATER PONDING AGAINST OR NEAR THE FOOTINGS. THE GROUND IN THE IMMEDIATE VICINITY OF THE PERIMETER FOOTINGS, INCLUDING THE GROUND UPHILL FROM A SLAB ON CUT-AND FILL SITES, SHALL BE GRADED TO FALL 50mm MINIMUM OVER A DISTANCE OF 1m AND SHAPED TO PREVENT PONDING OF WATER. WHERE FILL IS PLACED ADJACENT TO THE BUILDING, THE FILL SHALL BE COMPACTED AND GRADED TO ENSURE DRAINAGE OF WATER AWAY FROM THE BUILDING.
4. INTERNAL FINISHED FLOOR LEVEL (FFL) TO BE MIN. 150mm ABOVE FINISHED EXTERNAL GROUND AREAS (FLOWER BEDS OR GRASSED AREAS) AND MIN. 50mm ABOVE FINISHED EXTERNAL SEALED SURFACES (PAVED AREAS). PROVIDE 50mm MIN. FALL FOR THE FIRST METER AWAY FROM BUILDING TOWARDS LOWER GROUND OR ALTERNATIVELY SUFFICIENT DRAINAGE PROVISIONS (AG DRAINS, SUMPS OR SIMILAR).

FOOTINGS & SLABS:

1. CONCRETE FOOTINGS AND SLABS ARE TO BE IN ACCORDANCE WITH PART 1104 OF CURRENT N.C.C. AND AS 2870.1 AND ENGINEERS DOCUMENTATION/ SPECIFICATIONS.
2. PROVIDE WALL CAVITY DRAINAGE WITH WEEPHOLES AT 960 MAX CENTERS ALONG LINE ABOVE FINISHED GROUND LEVEL. (SLAB AREA).

PLUMBING (SEWER & STORMWATER):

1. ALL PLUMBING WORK SHALL COMPLY WITH THE RELEVANT PLUMBING STANDARDS AND BE CARRIED OUT BY A LICENSED PLUMBER.
2. ADEQUATE PROVISIONS FOR STORMWATER DRAINAGE MUST BE MADE TO PREVENT WATERLOGGING AND FLOODING ON THE PROPERTY. THE DRAINAGE SYSTEM DESIGN SHOULD COMPLY WITH THE LOCAL COUNCIL'S GUIDELINES.

GLAZING:

1. ALL WINDOWS AND GLAZING MUST COMPLY WITH AS2047 AND AS1288 AND PART H1D1 OF CURRENT N.C.C. MANUFACTURER TO PROVIDE CERTIFICATION OF COMPLIANCE.
2. ALL WINDOW MEASUREMENTS SHOWN ARE NOMINAL ONLY AND ARE TO BE VERIFIED ON SITE, PRIOR TO ORDERING.

LIGHT:

1. NATURAL LIGHT TO BE IN ACCORDANCE WITH PART H4P4 OF CURRENT N.C.C.
2. NATURAL LIGHT MUST BE PROVIDED TO ALL HABITABLE ROOMS
3. REQUIRED WINDOWS MUST HAVE A LIGHT TRANSMITTING AREA OF AT LEAST 10% OF THE FLOOR AREA.
4. SANITARY COMPARTMENTS, BATHROOM, LAUNDRIES AND THE LIKE NOT PROVIDED WITH NATURAL LIGHT MUST BE PROVIDED WITH ARTIFICIAL LIGHT AT A RATE OF NOT LESS THAN 1 LIGHT FITTING PER 16m² OF FLOOR AREA AND IN ACCORDANCE WITH AS/NZS 1680.0

HEATING APPLIANCES:

1. IN ACCORDANCE WITH PART H7D5 OF CURRENT N.C.C AND AS/NZS 2918 FOR DOMESTIC SOLID-FUEL BURNING APPLIANCES.
2. ALL HEATING APPLIANCES TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.

BUILDING SEALING:

1. IN ACCORDANCE WITH CURRENT N.C.C. CHIMNEYS AND FLUE MUST BE FITTED WITH A DAMPER/FLAP THAT CAN BE CLOSED.
2. ROOFS,WALLS & FLOORS SEALED BY CAULKING,SKIRTING,ARCHITRAVES OR THE LIKE.
3. EXTERNAL WINDOWS AND DOORS TO BE FITTED WITH COMPRESSIBLE STRIP, FOAM, RUBBER OR FIBROUS SEAL TO ALL EXTERNAL WINDOW SASHES AND EXTERNAL DOORS.
4. EXTERNAL FANS TO BE SELF CLOSING DAMPER OR FILTER TO BE FITTED.
5. ALL DOWNLIGHTS TO BE SEALED.

SMOKE ALARMS:

1. SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH PART H3D6 OF CURRENT N.C.C. AND AS3786 REQUIREMENTS.
2. SMOKE ALARMS TO BE INSTALLED IN A CLASS 1a BUILDING ON OR NEAR THE CEILING IN: - ANY STOREY CONTAINING BEDROOMS (i) BETWEEN EACH PART OF THE DWELLING CONTAINING BEDROOMS AND THE REMAINDER OF THE DWELLING; AND (ii) WHERE BEDROOMS ARE SERVED BY A HALLWAY, IN THAT HALLWAY.
3. ALL SMOKE ALARMS MUST BE CONNECTED TO THE CONSUMER MAINS POWER WHERE CONSUMER POWER IS SUPPLIED TO THE BUILDING
4. SMOKE ALARMS TO BE INTERCONNECTED WHERE THERE IS MORE THAN 1 ALARM
5. SMOKE ALARMS TO HAVE BATTERY BACK UP IN CASE OF POWER OUTAGE. RECOMMENDED BATTERIES MUST BE CAPABLE OF SERVICING THE SMOKE ALARM WITH A FAULT FOR 1 YEAR.

ROOF CLADDING, GUTTERING AND DOWNPIPES:

1. IN ACCORDANCE WITH H2D6 OF CURRENT N.C.C., AS/NZS 3500.3 AND AS/NZS 3500.5. SECTION 5 INSTALLATION TO BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
2. WHEREVER FULL SHEETS CAN'T BE UTILIZED PROVIDE THE DISTANCE FOR END LAPPING WHERE SHEETS MEET: - SLOPES 5-15 = A LAP OF 200mm - SLOPES 15 AND GREATER = A LAP OF 150mm.
3. GUTTERS MUST BE INSTALLED WITH A FALL OF NOT LESS THAN 1:500 FOR EAVES GUTTERS AND 1:100 FOR BOX GUTTERS.
4. DOWNPIPES MUST:
 - a) NOT SERVE MORE THAN 12m OF GUTTER LENGTH FOR EACH DOWNPIPE.
 - b) BE LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS AND IF THE DOWNPIPE IS MORE THAN 1.2m FROM A VALLEY, PROVISION FOR OVERFLOW MUST BE MADE TO THE GUTTER.

WET AREAS & EXTERNAL WATERPROOFING:

1. IN ACCORDANCE WITH PART H4D2 OF CURRENT N.C.C. AND AS/NZS 3740
2. BUILDING ELEMENTS IN WET AREAS MUST BE WATERPROOF OR WATER RESISTANT IN ACCORDANCE WITH TABLE UNDER H4D4.
3. WATERPROOFING MEMBRANES FOR EXTERNAL ABOVE GROUND USE MUST COMPLY WITH AS4654 PARTS 1 AND 2.

PLEASE READ CAREFULLY

THIS PLAN CERTIFIED CORRECT IS THE ONE REFERRED TO IN THE BUILDING CONTRACT AND I UNDERSTAND CHANGES HEREAFTER MAY NOT BE POSSIBLE.

FINAL PLAN : ANY REQUESTED VARIATIONS TO YOUR HOUSE PLAN WILL INCUR AN AMENDMENT / ADMINISTRATION MINIMUM FEE

SMC - KEMPTON

RECEIVED

14/08/2025

P1	CONSTRUCTION ISSUE
REV	DATE REMARK

LYNE DESIGN

BUILDING DESIGN/ DRAFTING - BUSHFIRE MANAGEMENT
DAVID LYNE ACCREDITED DESIGNER: CC7063
11 GRANVILLE AVENUE
GEILSTON BAY, TASMANIA 7015
MOBILE: 0421 852 987 dave_lyne@hotmail.com

PROJECT
45 ELY STREET
DYSART. TAS 7030

TITLE

NOTES SHEET

Accepted (Client 1)	STEWART WINKLE	Date
Accepted (Client 2)	NOT APPLICABLE	Date
Approved (Builder)	NOT APPLICABLE	Date

This document must be signed

SCALES @ A3	DESIGNED BY	DRAWN BY
N/A	D. LYNE	D. LYNE
	PLOT DATE	12/08/2025

DO NOT SCALE. Use only figured dimensions. Locations of structure, fittings, services etc on this drawing are indicative only. CONTRACTOR to check all other project drawings for co-ordination between structure, fabric, fixtures, fittings, services etc. CONTRACTOR to site check all dimensions and exact locations of all items, no responsibility shall be taken for dimensional information scaled or digitally derived from this document.

PLOT DETAILS ELY STREET.DWG

PROJECT NO. TDA

DWG NO.	REVISION
B01	P1

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NOT FOR CONSTRUCTION

STAIR CONSTRUCTION:

1. IN ACCORDANCE WITH PART H5D1 OF CURRENT N.C.C.
2. STAIRS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOW: (a) EACH FLIGHT MUST HAVE NOT MORE THAN 18 NOR LESS THAN 2 RISERS. (b) THE NOMINAL DIMENSION OF GOINGS AND RISERS OF A STAIR MUST BE CONSTANT THROUGHOUT EACH STAIR (c) TREADS MUST BE SOLID CONSTRUCTION IF THE STAIRWAY IS MORE THAN 10m HIGH OR 3 STOREYS. (d) A FLIGHT OF STAIRS MUST NOT HAVE MORE THAN 3 WINDERS (e) THE RISERS MUST NOT ALLOW A 125mm SPHERE TO PASS THROUGH BETWEEN THE TREADS (f) TREADS & NOSINGS MUST HAVE-(i) A SURFACE WITH A SLIP-RESISTANCE CLASSIFICATION NOT LESS THAN THAT LISTED IN TABLE UNDER H5D2 WHEN TESTED IN ACCORDANCE WITH AS4586

BARRIERS AND HANDRAILS:

1. IN ACCORDANCE WITH PART H5P1 OF CURRENT N.C.C.
2. (a) A CONTINUOUS BARRIER MUST BE PROVIDED ALONG THE SIDE OF -(i) ANY ROOF TO WHICH GENERAL ACCESS IS PROVIDED; AND (ii) ANY STAIRWAY OR RAMP; AND (iii) A FLOOR, CORRIDOR, HALLWAY, DECK, VERANDAH, MEZZANINE OR THE LIKE; AND (iv) ANY DELINEATED PATH OF ACCESS TO A BUILDING (b) THE REQUIREMENTS OF (a) DO NOT APPLY TO -(i) AREAS REFERRED TO IN H5D2; OR (ii) A RETAINING WALL, UNLESS THE RETAINING WALL FORMS PART OF, OR IS DIRECTLY ASSOCIATED WITH A DELINEATED PATH OF ACCESS TO A BUILDING FROM THE ROAD, OR A DELINEATED PATH OF ACCESS BETWEEN BUILDINGS; OR (iii) A BARRIER PROVIDED TO AN OPENABLE WINDOW COVERED BY H5D2
3. (a) THE HEIGHT OF A BARRIER REQUIRED BY H5D3 MUST BE IN ACCORDANCE WITH THE FOLLOWING: (i) THE HEIGHT MUST NOT BE LESS THAN 865mm ABOVE THE NOSINGS OF THE STAIR TREADS OR THE FLOOR OF A RAMP. (ii) THE HEIGHT MUST NOT BE LESS THAN -(A) 1m ABOVE THE FLOOR OF ANY ACCESS PATH, BALCONY, LANDING OR THE LIKE; OR (B) 865mm ABOVE THE FLOOR OF A LANDING TO A STAIR WHERE THE BARRIER IS PROVIDED ALONG THE INSIDE EDGE OF THE LANDING AND DOES NOT EXCEED A LENGTH OF 500mm (b) OPENINGS IN BARRIERS MUST NOT EXCEED 125mm (c) A BARRIER, EXCEPT A WINDOW SERVING AS A BARRIER, MUST BE DESIGNED TO TAKE LOADING FORCES IN ACCORDANCE WITH AS/NZS 1170.1 (d) FOR FLOORS MORE THAN 4m ABOVE THE SURFACE BENEATH, ANY HORIZONTAL ELEMENTS WITHIN THE BARRIER BETWEEN 150mm AND 760mm ABOVE THE FLOOR MUST NOT FACILITATE CLIMBING. (f) WHERE WIRE BALUSTRAUDING IS USED IT MUST COMPLY WITH PART H5D3.
4. (a) HANDRAILS TO A STAIRWAY OR RAMP MUST -(i) BE LOCATED ALONG AT LEAST 1 SIDE OF THE FLIGHT OR RAMP; AND (ii) BE LOCATED ALONG THE FULL LENGTH OF THE FLIGHT OR RAMP, EXCEPT WHERE IT MEETS A BARRIER (iii) HAVE A TOP SURFACE HANDRAIL HEIGHT OF NOT LESS THAN 865mm VERTICALLY ABOVE THE NOSING OF THE STAIRS.
5. (a) A WINDOW OPENING MUST BE PROVIDED WITH PROTECTION, IF THE FLOOR BELOW THE WINDOW IN A BEDROOM IS 2m OR MORE ABOVE THE SURFACE BENEATH. (b) WHERE THE LOWEST LEVEL OF THE WINDOW OPENING IS LESS THAN 1.7m ABOVE THE FLOOR, A WINDOW OPENING COVERED BY (a) MUST COMPLY WITH THE FOLLOWING: (i) THE OPENABLE PORTION OF THE WINDOW MUST BE PROTECTED WITH -(A) A DEVICE CAPABLE OF RESTRICTING THE WINDOW OPENINGS; OR (B) A SCREEN WITH SECURE FITTINGS (ii) A DEVISE OR SCREEN REQUIRED BY (i) MUST -(A) NOT PERMIT A 125mm SPHERE TO PASS THROUGH THE WINDOW OPENING OR SCREEN; AND (B) RESIST AN OUTWARD HORIZONTAL ACTION OF 250N AGAINST THE -(aa) WINDOW RESTRAINED BY A DEVICE; OR (bb) SCREEN PROTECTING THE OPENING; AND (C) HAVE A CHILD RESISTANT RELEASE MECHANISM IF THE SCREEN OR DEVICE IS ABLE TO BE REMOVED, UNLOCKED OR OVERRIDDEN.

ROOM HEIGHTS:

1. IN ACCORDANCE WITH PART H4D4 OF CURRENT N.C.C.
2. CEILING HEIGHTS MUST NOT BE LESS THAN: (a) IN A HABITABLE ROOM EXCLUDING A KITCHEN - 2.4m (b) IN A KITCHEN - 2.1m (c) IN A CORRIDOR, PASSAGEWAY OR THE LIKE - 2.1m (d) IN A BATHROOM, LAUNDRRY,WC,PANTRY,STOREROOM,GARAGE OR THE LIKE -2.1m (e) IN A ROOM WITH A SLOPING CEILING OR PROJECTIONS BELOW THE CEILING LINE WITHIN: (i) A HABITABLE ROOM -(A) IN AN ATTIC - NOT LESS THAN 2.2m FOR AT LEAST 2/3 OF THE FLOOR AREA OF THE ROOM (B) I OTHER ROOMS - NOT LESS THAN 2.4m OVER 2/3 OF THE FLOOR AREA OF THE ROOM (ii) A NON-HABITABLE ROOM - NOT LESS THAN 2.1m FOR AT LEAST 2/3 OF THE ROOM AREA (f) IN A STAIRWAY, RAMP OR LANDING - 2.0m MEASURE VERTICALLY ABOVE THE NOSING OR SURFACE.

AIR MOVEMENT:

1. IN ACCORDANCE WITH PART H4V3 OF CURRENT N.C.C.

BUSHFIRE PRONE AREAS:

1. IN ACCORDANCE WITH PART H7D4 OF CURRENT N.C.C AND AS3959-2018.
2. AN ASSESSMENT TO DETERMINE THE BAL RATING MUST BE UNDERTAKEN AND ANY REQUIREMENTS FROM THE SUBSEQUENT BAL LEVEL MUST BE APPLIED.
3. A CLASS 1 BUILDING WITHIN A DESIGNATED BUSHFIRE PRONE AREA MUST BE IN ACCORDANCE WITH TAS 3.7.4.1 VEHICULAR ACCESS AND TAS 3.7.4.2 WATER SUPPLY.

VENTILATION:

1. IN ACCORDANCE WITH PART H4P5 OF CURRENT N.C.C.
2. AN EXHAUST FAN OR OTHERS MEANS OF MECHANICAL VENTILATION MAY BE USED TO VENTILATE A SANITARY COMPARTMENT, LAUNDRY OR BATHROOM PROVIDED CONTAMINATED AIR EXHAUSTS-(i) DIRECTLY OUTSIDE THE BUILDING BY WAY OF DUCTS; OR (ii) INTO A ROOF SPACE-(A) IS ADEQUATLY VENTILATED BY OPEN EAVES, AND/OR ROOF VENTS (B) IS COVERED BY ROOF TILES WITHOUT SARKING.
3. SANITARY COMPARTMENTS MUST NOT OPEN DIRECTLY INTO A KITCHEN OR PANTRY UNLESS-(a) ACCESS IS BY AN AIRLOCK, HALLWAY OR OTHER ROOM (b) THE ROOM CONTAINING THE CLOSET PAN IS PROVIDED WITH MECHANICAL EXHAUST.

SOUND INSULATION:

1. IN ACCORDANCE WITH PART H4P6 OF CURRENT N.C.C.

FACILITIES:

1. IN ACCORDANCE WITH PART H4D5 OF CURRENT N.C.C
2. THE DOOR TO A SANITARY CLOSED COMPARTMENT MUST -(a) OPEN OUTWARDS OR (b) SLIDE OR (c) BE READILY REMOVABLE FROM THE OUTSIDE OF THE COMPARTMENT UNLESS THERE IS A CLEAR SPACE OF 1.2m BETWEEN THE PAN AND THE DOORWAY.

PLEASE READ CAREFULLY

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FINAL PLAN : ANY REQUESTED VARIATIONS TO YOUR HOUSE PLAN WILL INCUR AN AMENDMENT / ADMINISTRATION MINIMUM FEE

SMC - KEMPTON

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14/08/2025

P1		CONSTRUCTION ISSUE
REV	DATE	REMARK

LYNE DESIGN

BUILDING DESIGN/ DRAFTING - BUSHFIRE MANAGEMENT
DAVID LYNE ACCREDITED DESIGNER: CC7063
11 GRANVILLE AVENUE
GELLSTON BAY, TASMANIA 7015
MOBILE: 0421 852 987 dave_lyne@hotmail.com

PROJECT
45 ELY STREET
DYSART. TAS 7030

TITLE
NOTES SHEET

Accepted (Client 1)	STEWART WINKLE	Date
Accepted (Client 2)	NOT APPLICABLE	Date
Approved (Builder)	NOT APPLICABLE	Date

This document must be signed

SCALES @ A3	DESIGNED BY	DRAWN BY
N/A	D. LYNE	D. LYNE
	PLOT DATE	12/08/2025

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PLOT DETAILS ELY STREET.DWG

PROJECT NO.	TBA
DWG NO.	B02
REVISION	P1

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NOT FOR CONSTRUCTION

ALL SITE WORKS SHALL BE IN ACCORDANCE WITH N.C.C., CSIRO BTF 18,19,22 AND AS2870
MINIMAL SITE DISTURBANCE IS TO BE CARRIED OUT.
SEDIMENT CONTROL; 'GEOLAB' SILT FENCE 1000 OR SIMILAR. TOPSOIL STOCKPILES REMAINING ON THE SITE TO BE COVERED WITH PLASTIC, ADEQUATELY RETAINED ALONG ALL EDGES. UNUSED STOCKPILES TO BE REMOVED FROM SITE OR USED FOR FUTURE LANDSCAPING.

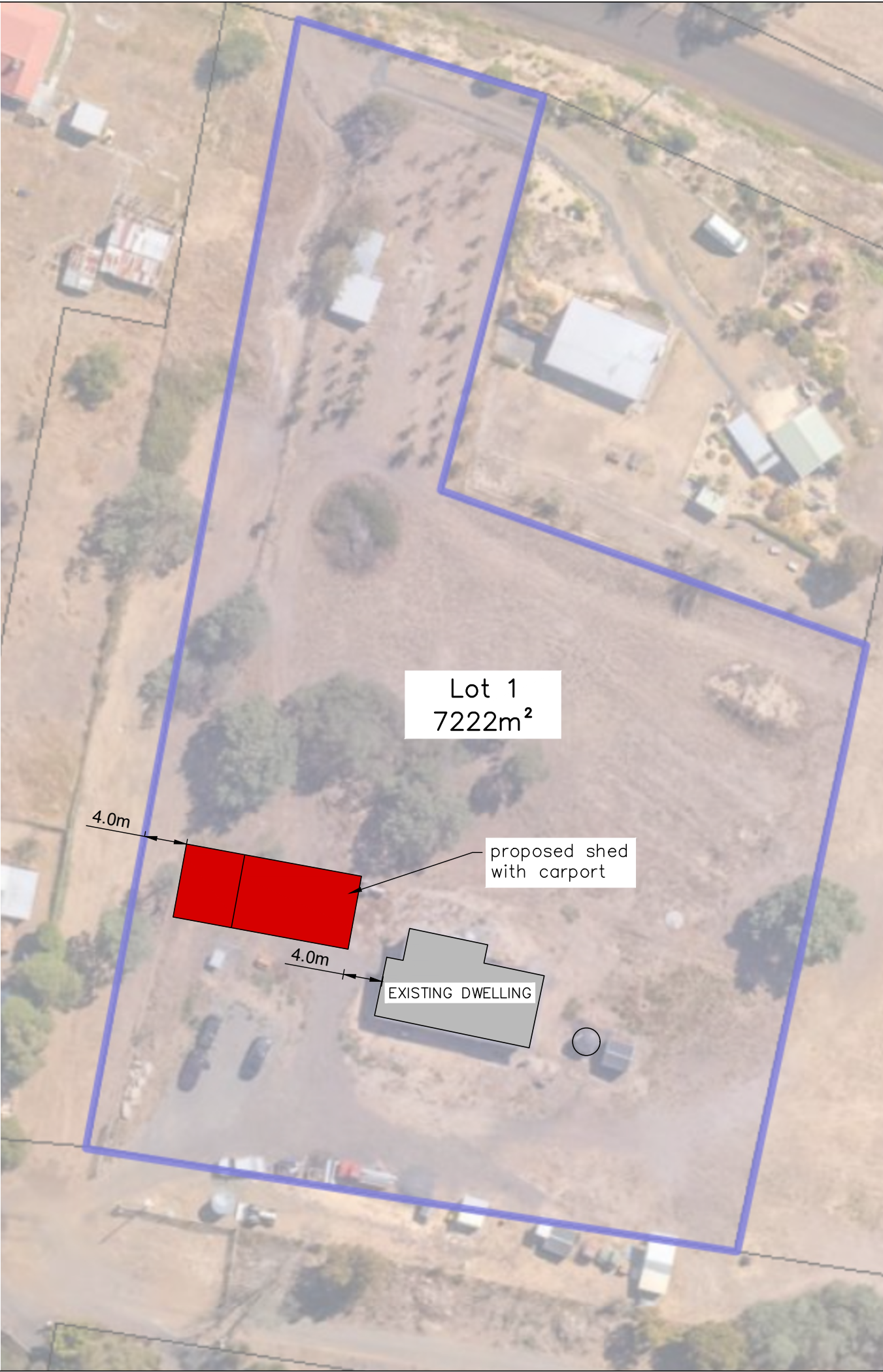
SITE PREPARATION AND EXCAVATION

IN ACCORDANCE WITH PART 3.1 OF CURRENT N.C.C., AND TO LOCAL COUNCIL REQUIREMENTS.

INTERNAL FINISHED FLOOR LEVEL (FFL) TO BE MIN. 150mm ABOVE FINISHED EXTERNAL GROUND AREAS (FLOWER BEDS OR GRASSED AREAS) AND MIN. 50mm ABOVE FINISHED EXTERNAL SEALED SURFACES (PAVED AREAS). PROVIDE 50mm MIN. FALL FOR THE FIRST METER AWAY FROM BUILDING TOWARDS LOWER GROUND OR ALTERNATIVELY SUFFICIENT DRAINAGE PROVISIONS (AG DRAINS, SUMPS OR SIMILAR).

SITE PLAN

SCALE: 1:200



PLEASE READ CAREFULLY

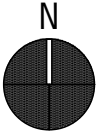
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P1	CONSTRUCTION ISSUE
REV	REMARK

LYNE DESIGN

BUILDING DESIGN/ DRAFTING - BUSHFIRE MANAGEMENT
DAVID LYNE
11 GRANVILLE AVENUE
GEILSTON BAY, TASMANIA 7015
MOBILE: 0421 852 987 dave_lyne@hotmail.com

PROJECT
45 ELY STREET
DYSART. TAS 7030

SITE PLAN

Accepted (Client 1)	STEWART WINKLE	Date
Accepted (Client 2)	NOT APPLICABLE	Date
Approved (Builder)	NOT APPLICABLE	Date

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SCALES @ A3	DESIGNED BY	DRAWN BY
1:200	D.LYNE	D.LYNE
	PLOT DATE	12/08/2025

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PLOT DETAILS ELY STREET.DWG

PROJECT NO. TBA

DWG NO.	REVISION
B03	P1

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CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH
AS1684.2 AND AS 3959 FOR BUSHFIRE ATTACK LEVEL - BAL-N/A
GLAZING TO BE IN ACCORDANCE WITH AS1288 AND AS2047
WIND SPEED 43m/s N3

PLEASE READ CAREFULLY

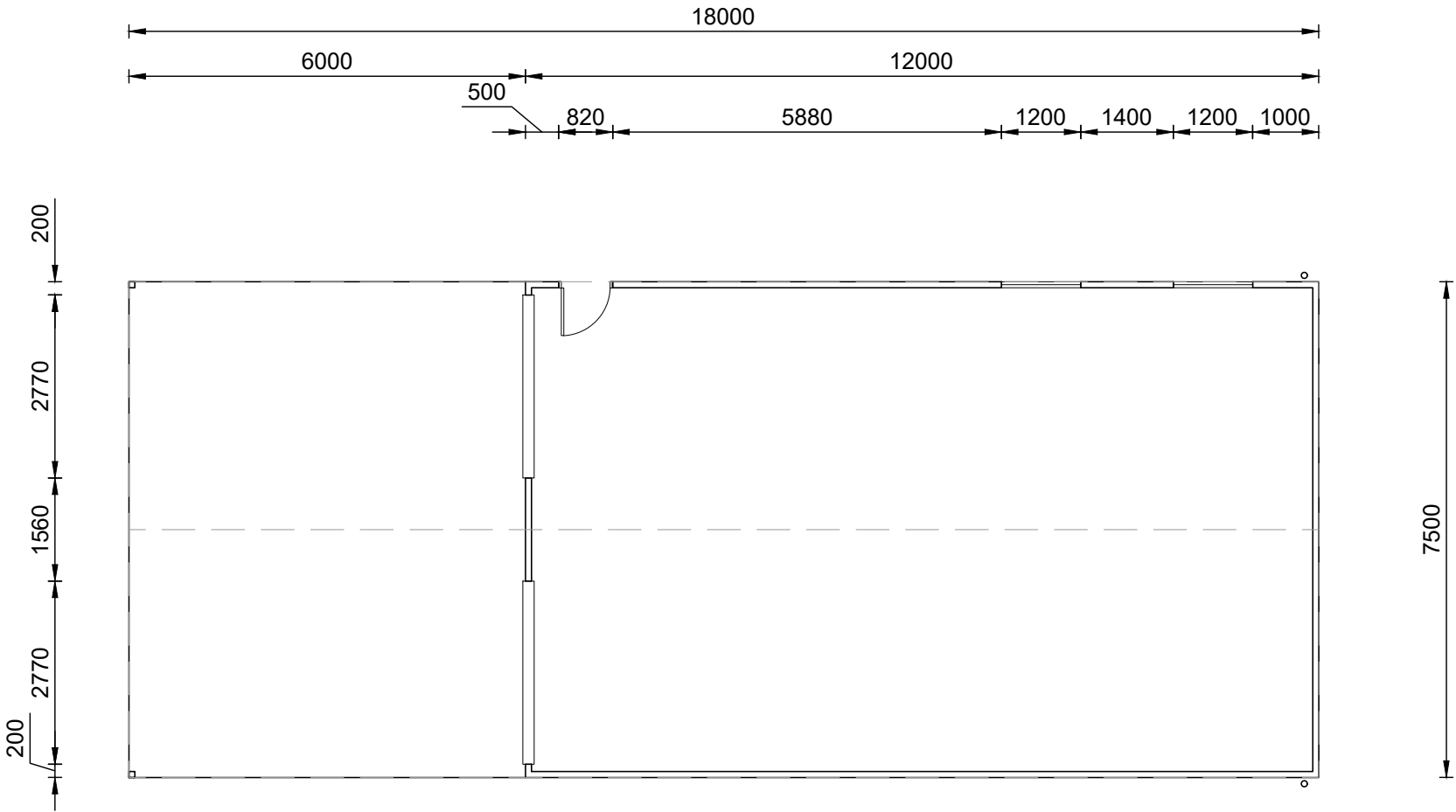
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SHED PLAN

SCALE: 1:100



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P1		CONSTRUCTION ISSUE
REV	DATE	REMARK

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DAVID LYNE ACCREDITED DESIGNER: CC7063
11 GRANVILLE AVENUE
GEILSTON BAY, TASMANIA 7015
MOBILE: 0421 852 987 dave_lyne@hotmail.com

PROJECT
45 ELY STREET
DYSART. TAS 7030

TITLE
ROOF PLAN

Accepted (Client 1)	STEWART WINKLE	Date
Accepted (Client 2)	NOT APPLICABLE	Date
Approved (Builder)	NOT APPLICABLE	Date

This document must be signed

SCALES @ A3	DESIGNED BY	DRAWN BY
1:100	D.LYNE	D.LYNE
1:20	PLOT DATE	12/08/2025

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PLOT DETAILS ELY STREET.DWG

PROJECT NO. TBA

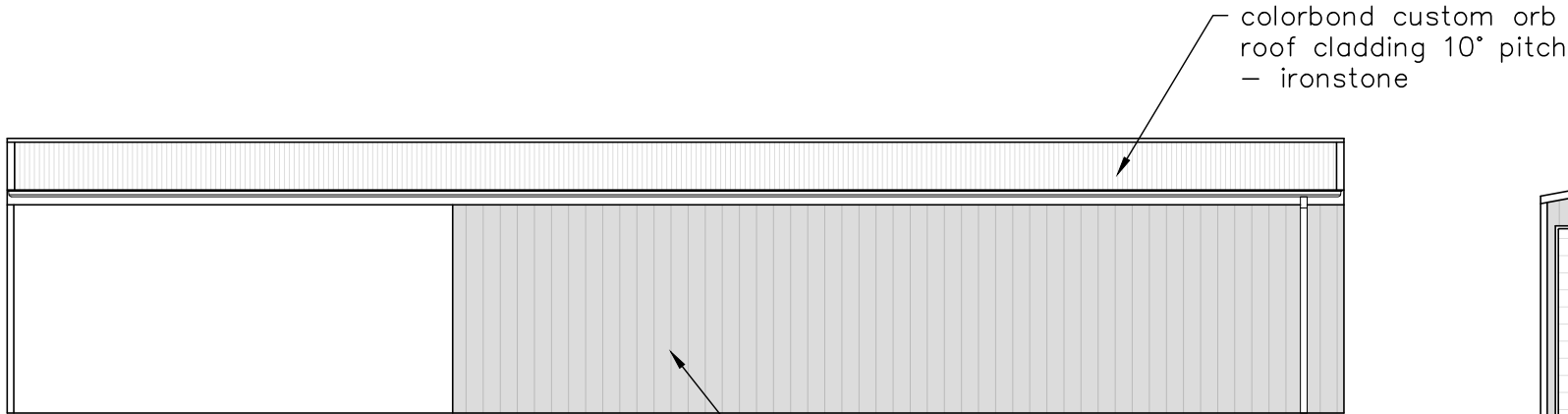
DWG NO.	REVISION
B04	P1

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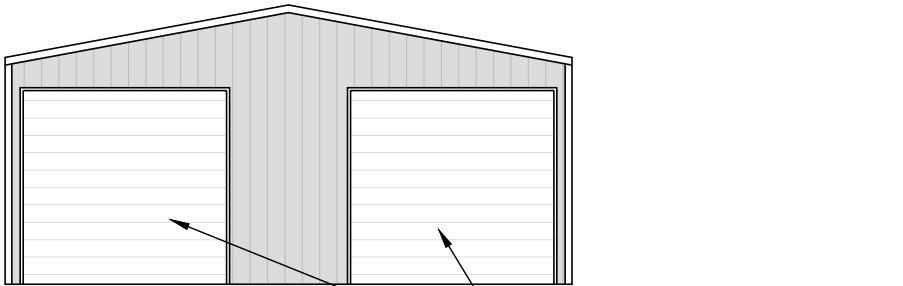
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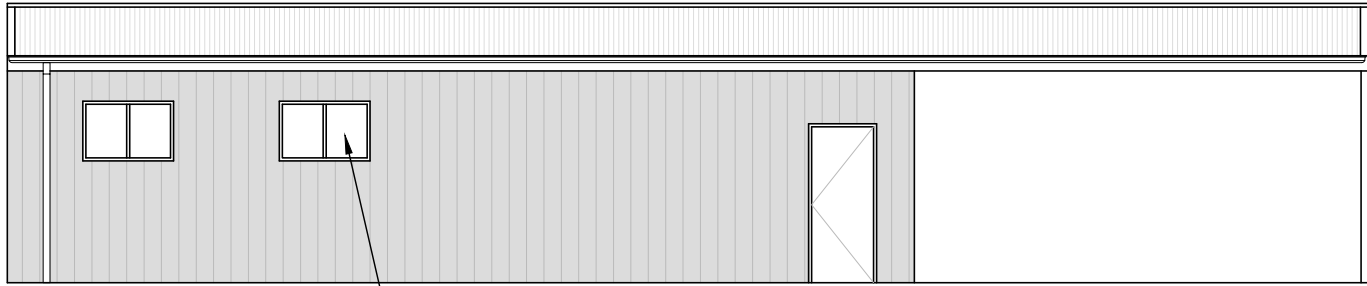
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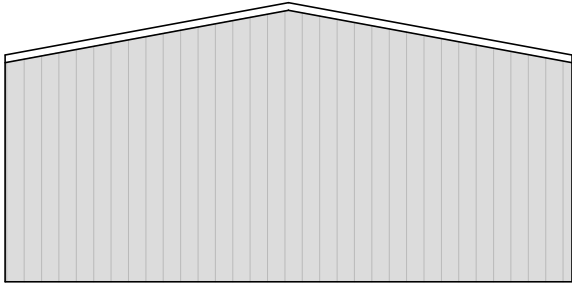
SOUTHERN ELEVATION
SCALE: 1:100



WESTERN ELEVATION
SCALE: 1:100



NORTHERN ELEVATION
SCALE: 1:100



EASTERN ELEVATION
SCALE: 1:100

P1	CONSTRUCTION ISSUE
REV	DATE
	REMARK

LYNE DESIGN

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DAVID LYNE
11 GRANVILLE AVENUE
GEILSTON BAY, TASMANIA 7015
MOBILE: 0421 852 987 dave_lyne@hotmail.com

PROJECT
45 ELY STREET
DYSART. TAS 7030

TITLE
ELEVATIONS SHEET

Accepted (Client 1)	STEWART WINKLE	Date
Accepted (Client 2)	NOT APPLICABLE	Date
Approved (Builder)	NOT APPLICABLE	Date

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SCALES @ A3	DESIGNED BY	DRAWN BY
1:100	D.LYNE	D.LYNE
	PLOT DATE	12/08/2025

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PLOT DETAILS ELY STREET.DWG

PROJECT NO. TBA

DWG NO.	REVISION
B05	P1

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SEARCH OF TORRENS TITLE

VOLUME 224101	FOLIO 1
EDITION 4	DATE OF ISSUE 05-Aug-2021

SEARCH DATE : 31-Mar-2025

SEARCH TIME : 11.48 AM

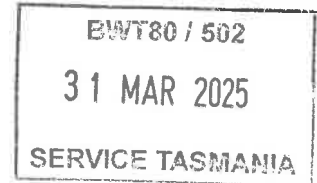
DESCRIPTION OF LAND

Town of SHEPTON-MONTACUTE

Lot 1 on Plan 224101

Derivation : Part of 2A-1R-19P Sec G Gtd to J Rhodes

Prior CT 2809/70



SCHEDULE 1

M852938 TRANSFER to STEWART PAUL WINKLE and BARBARA ANN
WINKLE Registered 02-Dec-2020 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

E270624 MORTGAGE to B&E Ltd Registered 05-Aug-2021 at 12.01
PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

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ORIGINAL - NOT TO BE REMOVED FROM TITLES OFFICE

L. 1469

TASMANIA

REAL PROPERTY ACT, 1862, as amended



CERTIFICATE OF TITLE

Register Book

Vol. Fol.

2809 70

I certify that the person described in the First Schedule is the registered proprietor of an estate in fee simple in the land within described together with such interests and subject to such encumbrances and interests as are shown in the Second Schedule. In witness whereof I have hereunto signed my name and affixed my seal.

[Signature]

ACTING Recorder of Titles.



DESCRIPTION OF LAND

TOWN OF SHEPTON MONTACUTE

ONE ACRE THREE ROODS NINE PERCHES on the Plan hereon

FIRST SCHEDULE (continued overleaf)

SAMUEL GEORGE REEVE of Dysart, Pensioner

SECOND SCHEDULE (continued overleaf)
NIL.

CANCELLED

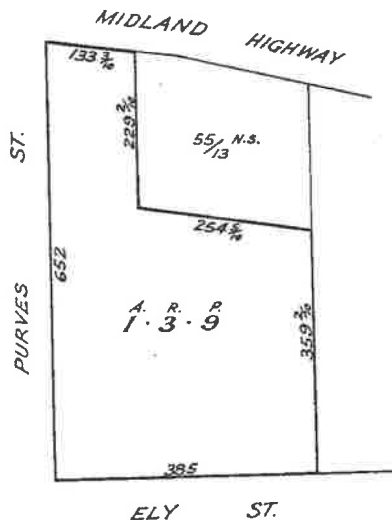
- 1 FEB 1995

[Signature]
RECORDER OF TITLES
NEW TITLE ISSUED

Let 1 of this plan consists of all the land comprised in the above-mentioned cancelled folio of the Register.

REGISTERED NUMBER

224101



Part of 2A.1R.19Ps. (Section G.) Gtd. to J.Rhodes.Meas.are in links

FIRST Edition. Registered

23 DEC 1970

Derived from C.T.Vol. 175 Fol.11 Transfer A288580 N.J.Ransley.