



Public Notice Details

Planning Application Details

Application No	DA2500098
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Property Details

Property Location	5 Owens Hill Road Bagdad
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Application Information

Application Type	Discretionary Development Application
Development Category	Dwelling and Outbuilding
Advertising Commencement Date	14/8/25
Advertising Closing Period	28/8/25
<small>If the Council Offices are closed during normal office hours within the above period, the period for making representations is extended.</small>	

Enquiries regarding this Application can be made via to Southern Midlands Council on (03) 6254 5050 or by emailing planningenquires@southernmidlands.tas.gov.au. Please quote the development application number when making your enquiry.

Representations on this application may be made to the General Manager in writing either by

Post: PO Box 21, Oatlands Tas 7120
Email: mail@southernmidlands.tas.gov.au
Fax: 03 6254 5014

All representations must include the authors full name, contact number and postal address and be received by the advertising closing date.



APPLICATION FOR PLANNING PERMIT – USE AND DEVELOPMENT

Residential Use

Use this form to apply for planning approval in accordance with section 57 and 58 of the *Land Use Planning and Approvals Act 1993*

Applicant / Owner Details:

Owner / s Name

Lauren May Harwood and Mitchell Peter Gittus

Postal Address

Iden Road

Phone No:

0488 078 849 & 0458 013 160

Bagdad

7030

Fax No:

Email address:

lauren.harwood@outlook.com.au;mitchgittus@outlook.com

Applicant Name (if not owner)

Tassie Homes Pty Ltd

Postal Address:

Unit 4, 37 Ascot Drive

Phone No:

03 6283 3273

Huntingfield

7055

Fax No:

Email address:

info@tassiehomes.com.au

Description of proposed use and/or development:

Address of new use and development:

Lot 10 (No. 5) Owens Hill Road, Bagdad

Certificate of Title No:

Volume No

188332

Lot No:

10

Description of proposed use or development:

New dwelling and shed

ie: New Dwelling /Additions/
Demolition / /Shed / Farm Building
/ Carport / Swimming Pool or
detail other etc.

Current use of land and buildings:

vacant land

Eg. Are there any existing
buildings on this title?
If yes, what is the main building
used as?

Is the property Heritage Listed

Please tick ✓ answer

Yes

No



Proposed Material

What are the proposed
external wall materials

cladding (house) & colorbond (shed)

What is the proposed roof
material

colorbond

What are the proposed
external wall colours

TBC

What is the proposed roof colour

TBC

What is the proposed
new floor area m².

114.2 house & 72 shed

What is the estimated value of
all the new work proposed:

\$

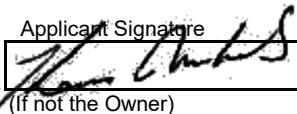
Please attach any additional information that may be required by Part 6.1 Application Requirements of the Tasmanian Planning Scheme.

Signed Declaration

I/we hereby apply for a planning approval to carry out the use or development described in this application and in the accompanying plans and documents, accordingly I declare that:

1. The information given is a true and accurate representation of the proposed development. I understand that the information and materials provided with this development application may be made available to the public. I understand that the Council may make such copies of the information and materials as, in its opinion, are necessary to facilitate a thorough consideration of the Development Application. I have obtained the relevant permission of the copyright owner for the communication and reproduction of the plans accompanying the development application, for the purposes of assessment of that application. I indemnify the Southern Midlands Council for any claim or action taken against it in respect of breach of copyright in respect of any of the information or material provided.
2. I am the applicant for the planning permit and I have notified the owner/s of the land in writing of the intention to make this application in accordance with Section 52(1) of the *Land Use Planning Approvals Act 1993* (or the land owner has signed this form in the box below in "Land Owner(s) signature);

Applicant Signature



(If not the Owner)

Applicant Name (Please print)

Keron Nichols

Date

05/08/2025

Land Owner(s) Signature

Land Owners Name (please print)

Date

Land Owner(s) Signature

Land Owners Name (please print)

Date

RESIDENTIAL DEVELOPMENT – Information & Checklist sheet

Use this check list for submitting your application

Submitting your application ✓

1. All plans and information required per Application Requirements of the Planning Scheme
www.iplan.tas.gov.au
ie: site plan showing all existing buildings, proposed buildings, elevation plans etc. ☐
2. Copy of the current Certificate of Title, Schedule of Easements and Title Plan (Available from Service Tasmania Offices) ☐
3. Any reports, certificates or written statements to accompany the Application (if applicable) required by the relevant zone or code. ☐
4. Prescribed fees payable to Council ☐

Information

If you provide an email address in this form then the Southern Midlands Council ("the Council") will treat the provision of the email address as consent to the Council, pursuant to Section 6 of the Electronic Transactions Act 2000, to using that email address for the purposes of assessing the Application under the Land Use Planning and Approvals Act 1993 ("the Act").

If you provide an email address, the Council will not provide hard copy documentation unless specifically requested.

It is your responsibility to provide the Council with the correct email address and to check your email for communications from the Council.

If you do not wish for the Council to use your email address as the method of contact and for the giving of information, **please tick ✓** the box ☐

Heritage Tasmania

If the Property is listed on the Tasmanian Heritage Register then the Application will be referred to Heritage Tasmania unless an Exemption Certificate has been provided with this Application. (Phone 1300 850 332 (local call cost) or email enquires@heritage.tas.gov.au)

TasWater

Depending on the works proposed Council may be required to refer the Application to TasWater for assessment (Phone 136992)

PRIVACY STATEMENT

The Southern Midlands Council abides by the Personal Information Protection Act 2004 and views the protection of your privacy as an integral part of its commitment towards complete accountability and integrity in all its activities and programs.

Collection of Personal Information: The personal information being collected from you for the purposes of the Personal Information Protection Act, 2004 and will be used solely by Council in accordance with its Privacy Policy. Council is collecting this information from you in order to process your application.

Disclosure of Personal Information: Council will take all necessary measures to prevent unauthorised access to or disclosure of your personal information. External organisations to whom this personal information will be disclosed as required under the Building Act 2000. This information will not be disclosed to any other external agencies unless required or authorised by law.

Correction of Personal Information: If you wish to alter any personal information you have supplied to Council please telephone the Southern Midlands Council on (03) 62545050. Please contact the Council's Privacy Officer on (03) 6254 5000 if you have any other enquires concerning Council's privacy procedures.

ADVICE: There is no connection between Planning approval and Building & Plumbing approvals. Owners are to ensure that the work is either Low Risk Building Work, Notifiable Building Work or Permit work in accordance with the Directors Determination – Categories of Building & Demolition Work v 1.4 dated 12 March 2021.

https://www.cbos.tas.gov.au/data/assets/pdf_file/0014/405014/Directors-determination-categories-of-building-and-demolition-work-2021.pdf

H1381 - Proposed Dwelling, HARWOOD & GITTUS

AT 5 OWENS HILL ROAD, BAGDAD



Climate Zone - 7
C.T. No. 188332/10
Wind Speed - N3
Corrosion Environment -
MODERATE
Soil Classification - M
Floor Area = 114.2m²
= 12.3 sq

Architectural
Drawing No.

Description

- 01Site Plan
- 02Drainage Plan
- 03Floor Plan
- 04Elevations
- 05Section
- 06Roof Plan
- 07Electrical Plan
- 08Flooring Layout Plan
- 09Lighting Calculations, Insulation & Window Schedule
- 10Compliance Notes
- 10aLiveable Housing Specifications Sheet 1 of 3
- 10bLiveable Housing Specifications Sheet 2 of 3
- 10cLiveable Housing Specifications Sheet 3 of 3
- 11Wet Area Specifications
- 11aStair Notes
- 11bBalustrade Notes
- 12Vegetation Overlay
- 13BAL Construction Requirements

PROTECTIVE COATINGS FOR STEELWORK

ENVIRONMENT	LOCATION	MINIMUM PROTECTIVE COATING	
		General structural steel members	Lintels in masonry
MODERATE More than 1 km from breaking surf or more than 100m from salt water not subject to breaking surf or non-heavy industrial areas	INTERNAL	No protection required	
	EXTERNAL	Option 1 Option 2 Option 3 Option 4	2 coats alkyd primer; or 2 coats alkyd gloss Hot dip galvanise 300 g/m ² min. Hot dip galvanise 100 g/m ² min. plus – (a) 1 coat solvent based vinyl primer; or (b) 1 coat vinyl gloss or alkyd

NOTES:
1. Heavy industrial areas means industrial environments around major industrial complexes. There are only a few such regions in Australia, examples of which occur around Port Pirie and Newcastle.
2. The outer leaf and cavity of an external masonry wall of a building, including walls under open carports are considered to be external environments. A part of an internal leaf of an external masonry wall which is located in the roof space is considered to be in an internal environment.
3. Where a paint finish is applied the surface of the steel work must be hand or power tool cleaned to remove any rust immediately prior to painting.
4. All zinc coatings (including Inorganic zinc) require a barrier coat to stop conventional domestic enamels from peeling.
5. Refer to the paint manufacturer where decorative finishes are required on top of the minimum coating specified in the table for protection of the steel against corrosion.
6. Internal locations subject to moisture, such as in close proximity to kitchen or bathroom exhaust fans are not considered to be in a permanently dry location and protection as specified for external locations is required.
7. For applications outside the scope of this table, seek specialist advice.

THIS PLAN IS ACCEPTED BY:

.....
PLEASE NOTE: no variations will be permitted after plans are signed by the client (with exception of Council requirements / approvals).
SIGNATURE:

DATE:

.....

BAL- 12.5

See sheet 13 for
Bushfire Attack Level
construction requirements

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Drafted by Phil Chamberlain, Accreditation CC5652Y

DRAWING: COVER SHEET
DATE: 05/08/25
FILE NAME: H1381 DA 080725.dgn
DRAWN BY: PC

DWG No:

COVER SHEET

11 JULY 2025

Preliminary drawings

5 AUGUST 2025

Development application drawings (DA)

Preliminary construction drawings
Engineer not to sign this copy, only
provide notes, additions & amendments

Final construction drawings (BA)

Approved by Engineer

Approved by Building Surveyor

REVISION	DATE	SHEETS	DESCRIPTION

5/08/2025

PLEASE NOTE: No variations will be permitted after plans are signed by the client (with exception of Council requirements / approvals).

SIGNATURE:

DATE:

IMPORTANT NOTES:

The builder shall ensure that all downpipes are connected to the stormwater drainage system as soon as possible to prevent any erosion, swelling or saturation of susceptible foundation soils.

Batter slopes to be in accordance with NCC Table 3.2.1. Provide retaining walls as required to comply with NCC requirements.

C.T. No. 188332/10
792m²

DRIVEWAY INFORMATION

Approximately 1:13.6 upslope from crossover to end of driveway. Provide grated drain and pit to end of driveway. Provide spoon drain to side of driveway. Connect spoon drain into grated pit. Connect pit into stormwater. Driveway and path to be concrete, by builder.

SEWER H/C
LID RL 170.71
INVERT RL 169

SW H/C
LID RL 170.84 —
INVERT RL 169.80

8.0m x 9.0m
shed by others

PIPELINE AND SERVICES EASEMENT &
DRAINAGE EASEMENT "E" 4.00 m WIDE

NOTES:

While all reasonable effort has been made to locate all visible above ground services, there may be other services which were not located during the field survey.

The title boundaries as shown on this plan were not marked at the time of the survey and have been determined by existing title dimensions and occupation (where available) only and not by field survey, and as a result are considered approximate only. This plan should not be used for building to boundary, or to prescribed set-backs, without further survey.

Prior to any demolition, excavation, final design or construction on this site, a full site inspection should be completed by the relevant engineers.











All survey data is 3D. The level (z-value) of any specific feature can be interrogated with a suitable CAD package. Spot heights of all features, including pipe inverts, are included in the model space but are not displayed on the PDF. Spot heights are organised into appropriate layers, and can be displayed as required.

DATUM - Vertical : AHD per SPM10144 with reputed AHD level of 156.834 from SURCOM on 17-06-2025

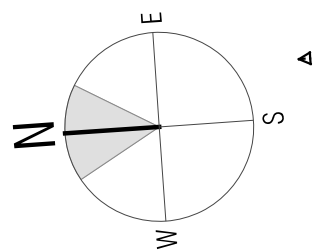
At the time of this survey, CT.188332/10 was owned by ELLIOTT DAVID BOOTH & JULIEANNE MARY BOOTH

Date of Survey : 06-06-2025

LEARY COX & CRIPPS
LAND & ENGINEERING SURVEYORS

 LOT BOUNDARY
 CULVERT 225
 BITUMEN EDGE
 KERB INVERT
 KERB BACK
 FOOTPATH
 DRIVEWAY
 SEWER UNDERGROUND
 WATER MAIN
 FENCE

- TITLE PEG
- NAIL
- SPIKE
- ✕ STORMWATER HOUSE CONNECTION
- ✕ CULVERT 225
- ✕ ELECTRICITY MAIN
- + CABLE HYDRO UNDERGROUND
- ▢ TELSTRA PIT
- + CABLE COMMS UNDERGROUND
- ✕ SEWER HOUSE CONNECTION
- ▣ WATER MAIN
- ✕ STOP VALVE
- ✕ METER WATER



Scale 1:200

PROPOSED DWELLING FOR HARWOOD & GITTUS
AT 5 OWENS HILL ROAD, BAGDAD



TASSIE HOMES

Unit 4/37 Ascot Drive, Huntingfield, Tasmania. 7055
Ph. (03) 62 833 273 www.tassiehomes.com.au

BAL-12.5

See sheet 13 for
Bushfire Attack Level
construction requirements

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DRAWING: SITE PLAN
DATE: 05/08/25
FILE NAME: H1381 DA 080725.dgn
DRAWN BY: PC

DWG No:

SMC - KEMPTON

THIS PLAN IS ACCEPTED BY:

RECEIVED

5/08/2025

PLEASE NOTE: No variations will be permitted after plans are signed by the client (with exception of Council requirements / approvals).

SIGNATURE:

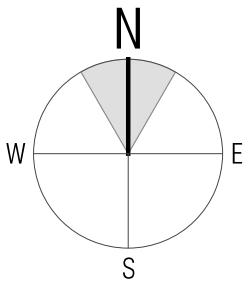
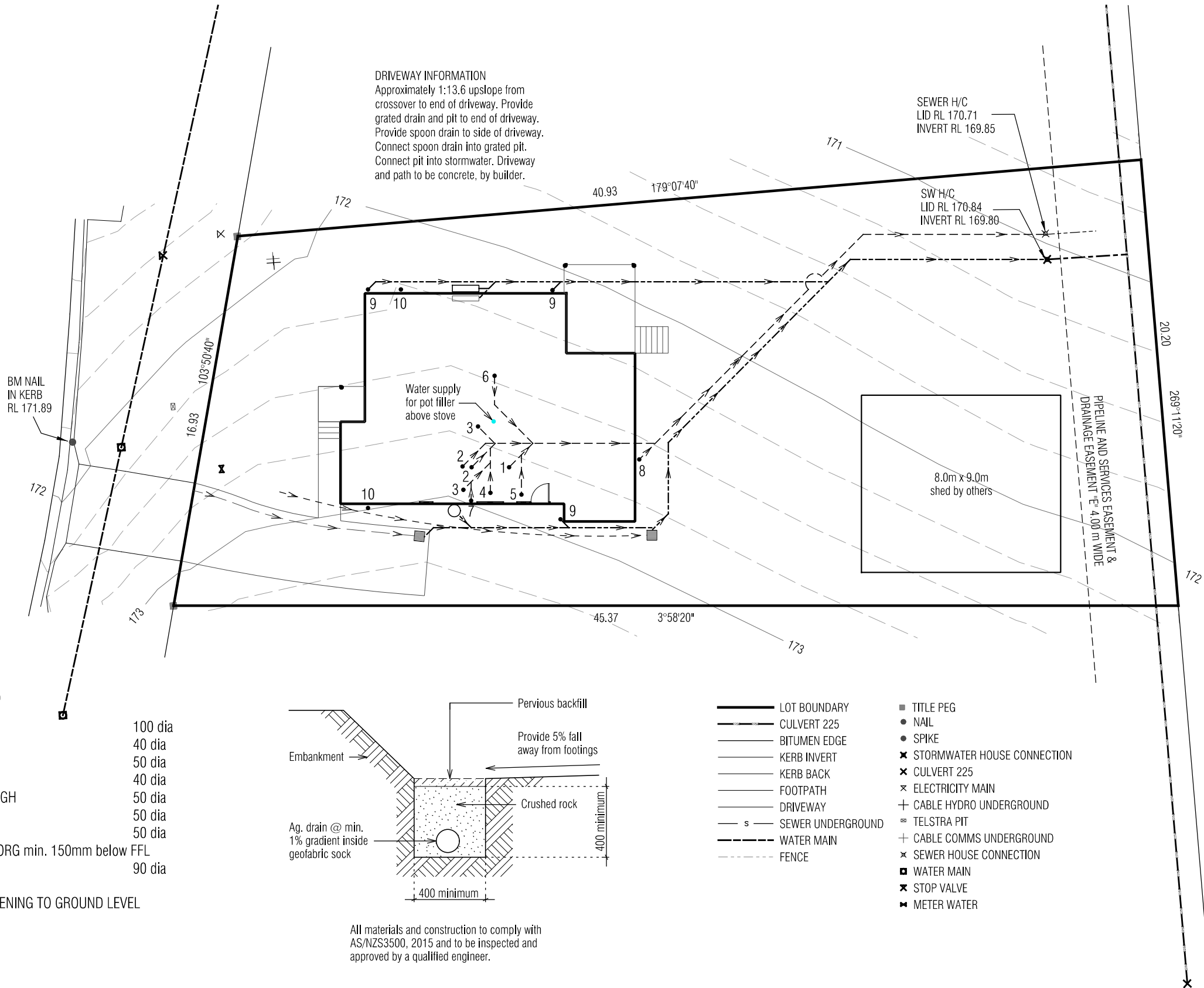
DATE:

TH

TASSIE HOMES

Unit 4/37 Ascot Drive, Huntingfield, Tasmania, 7055
Ph. (03) 62 833 273 www.tassiehomes.com.au

OWENS HILL ROAD



Scale 1:200

PROPOSED DWELLING FOR HARWOOD & GITTUS
AT 5 OWENS HILL ROAD, BAGDAD

BAL-12.5
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Bushfire Attack Level
construction requirements

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DRAWING: DRAINAGE PLAN
DATE: 05/08/25
FILE NAME: H1381 DA 080725.dgn
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SIGNATURE:

DATE:

Floor Area = 114.2m²

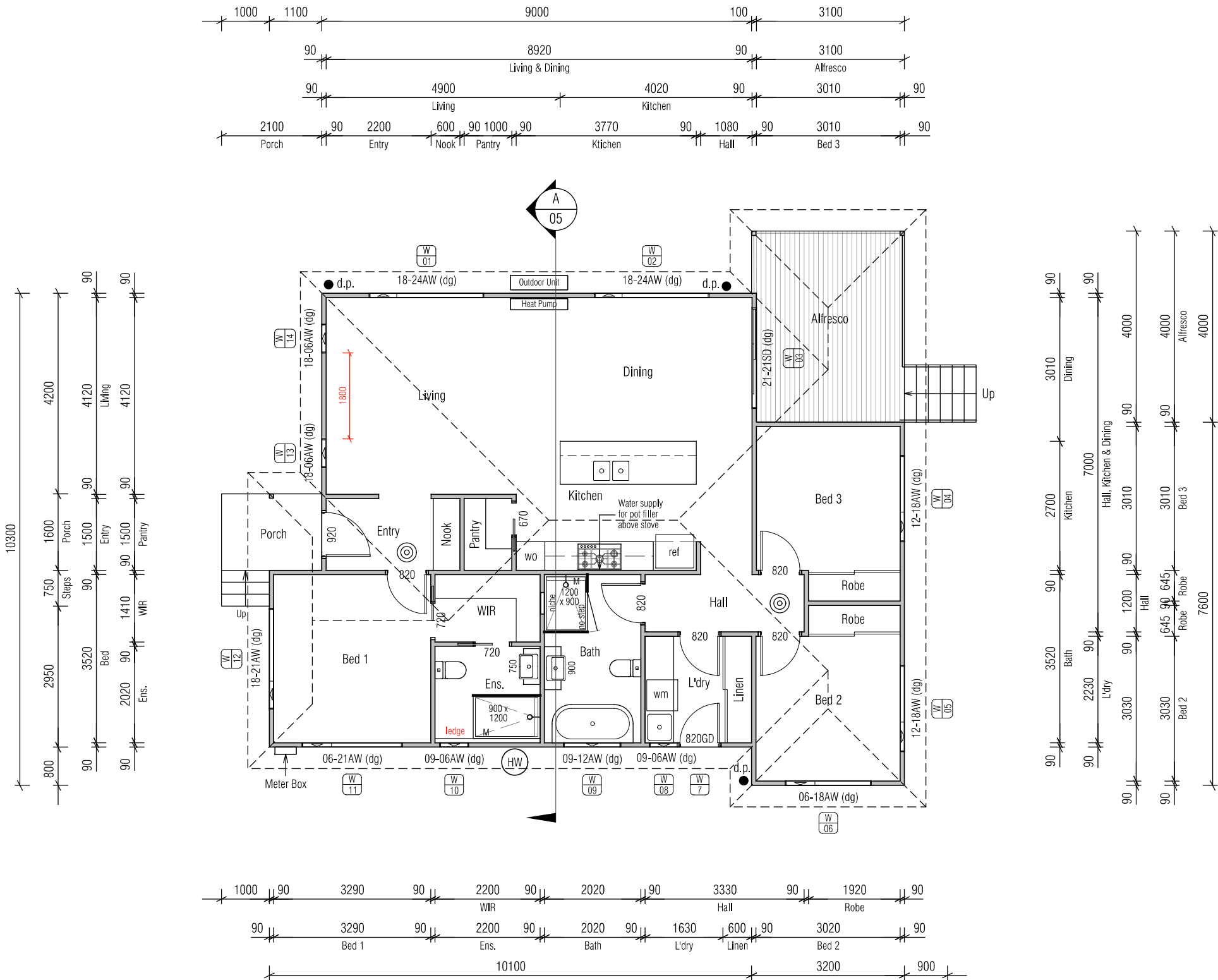
Porch Area = 4.1m²

Alfresco Area = 14.3m²

TH

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PROPOSED DWELLING FOR HARWOOD & GITTUS
AT 5 OWENS HILL ROAD, BAGDAD

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construction requirements

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DRAWING: FLOOR PLAN
DATE: 05/08/25
FILE NAME: H1381 DA 080725.dgn
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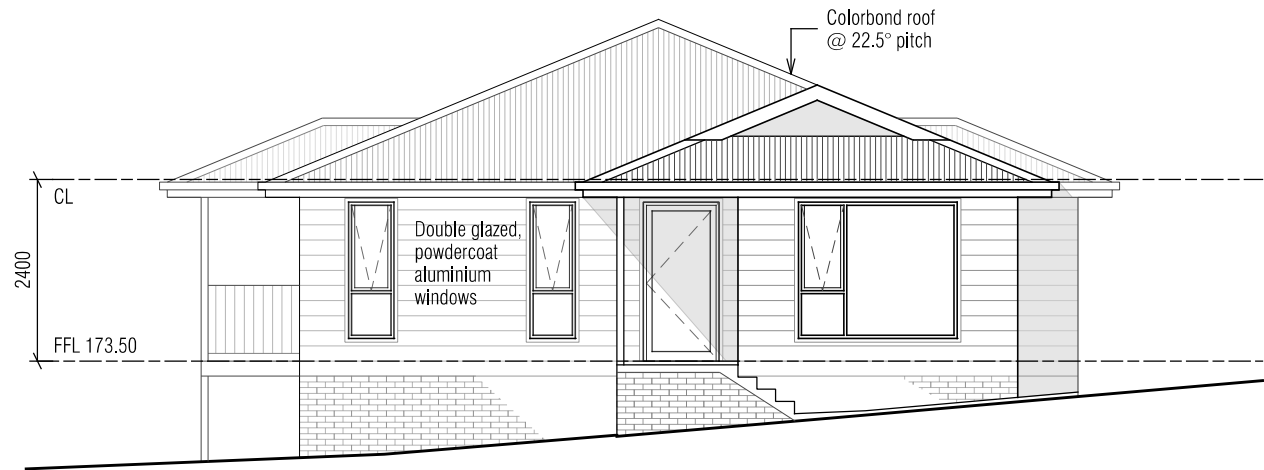
DATE:

IMPORTANT NOTE:
Cladding to be installed over min. 10mm battens to provide airflow between cladding and vapour permeable membrane.

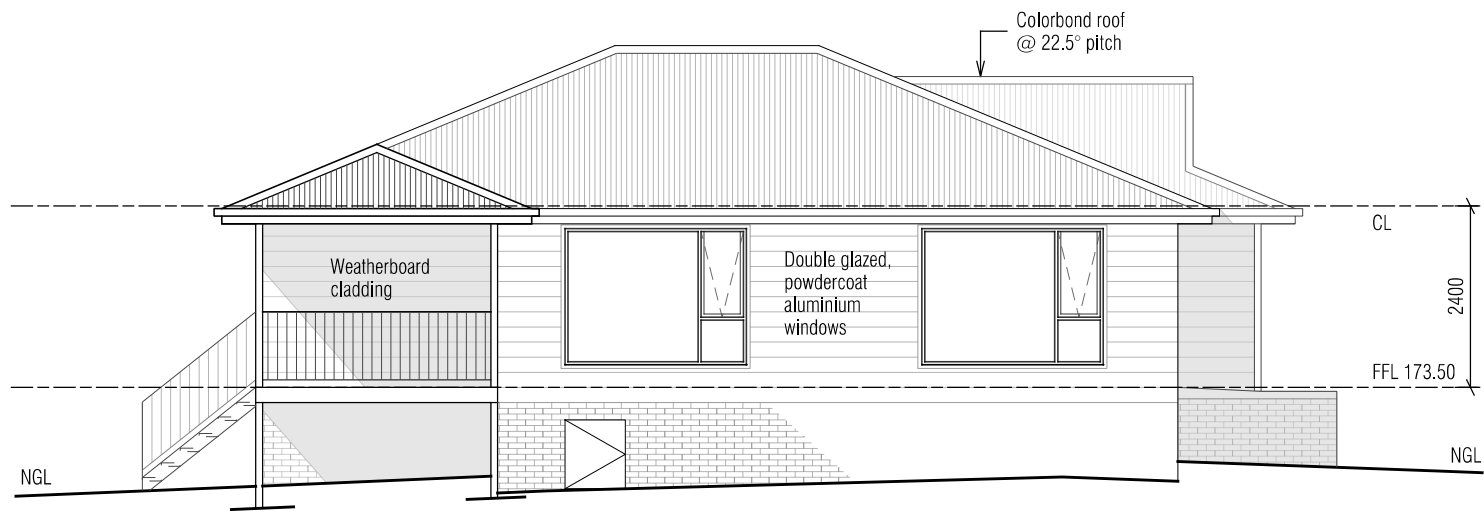
TH

TASSIE HOMES

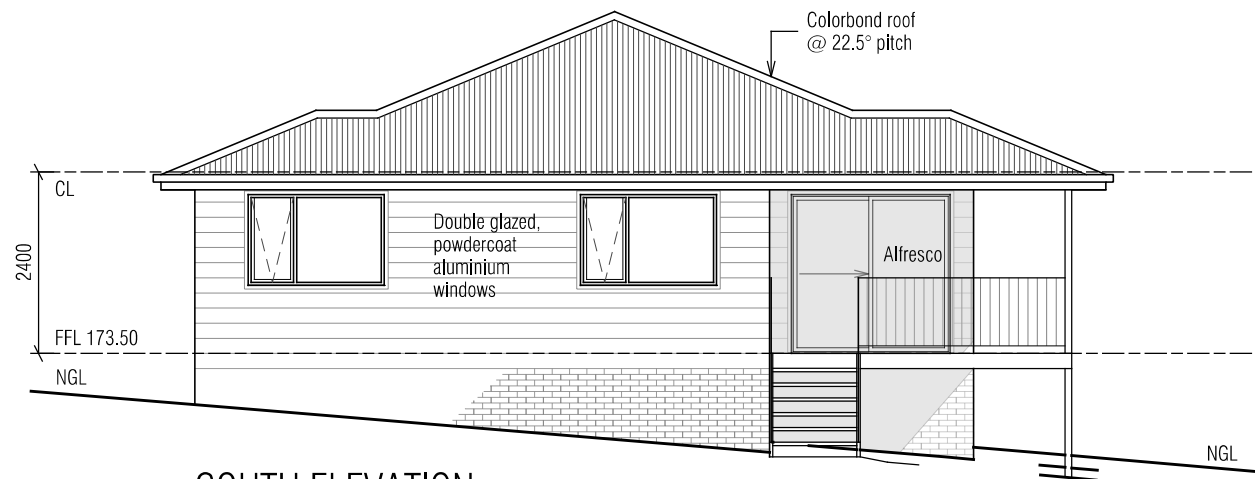
Unit 4/37 Ascot Drive, Huntingfield, Tasmania, 7055
Ph. (03) 62 833 273 www.tassiehomes.com.au



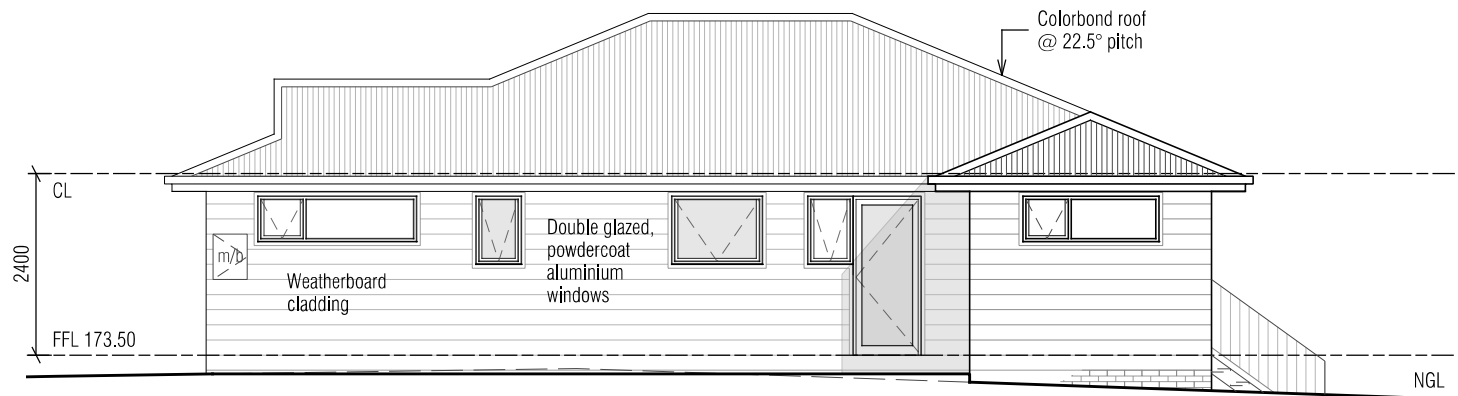
NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION

BAL-12.5
See sheet 13 for
Bushfire Attack Level
construction requirements

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DRAWING: ELEVATIONS
DATE: 05/08/25
FILE NAME: H1381 DA 080725.dgn
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DWG No:

Scale 1:100

PROPOSED DWELLING FOR HARWOOD & GITTUS
AT 5 OWENS HILL ROAD, BAGDAD

SMC - KEMPTON

THIS PLAN IS ACCEPTED BY:

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SIGNATURE:

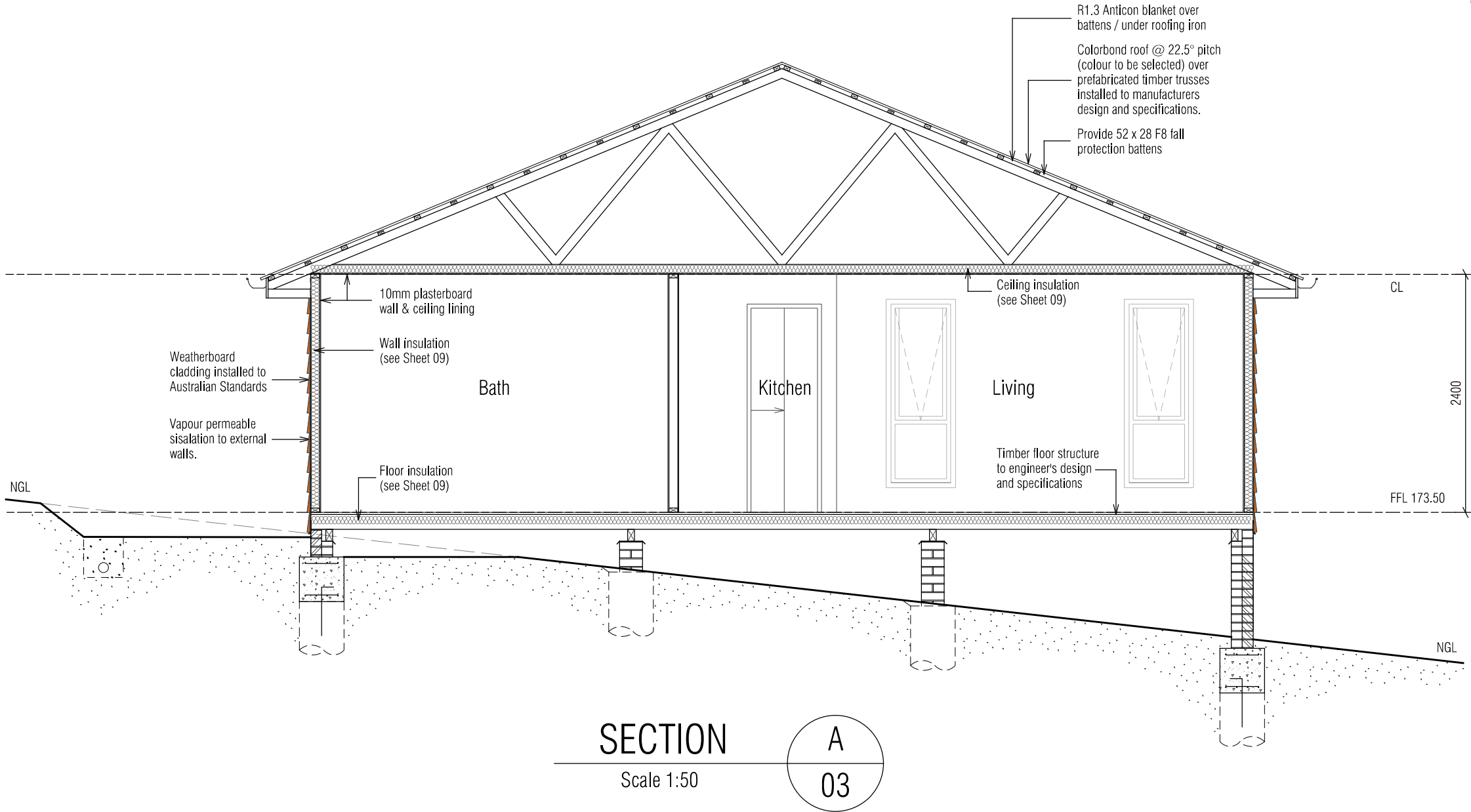
DATE:

IMPORTANT NOTE:
Cladding to be installed over min. 10mm battens to provide airflow between cladding and vapour permeable membrane.

TH

TASSIE HOMES

Unit 4/37 Ascot Drive, Huntingfield, Tasmania, 7055
Ph. (03) 62 833 273 www.tassiehomes.com.au



Scale 1:50

PROPOSED DWELLING FOR HARWOOD & GITTUS
AT 5 OWENS HILL ROAD, BAGDAD

BAL-12.5
See sheet 13 for
Bushfire Attack Level
construction requirements

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DRAWING: SECTION
DATE: 05/08/25
FILE NAME: H1381 DA 080725.dgn
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DWG No:

05

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SIGNATURE:

DATE:

Scale 1:100

ROOF VENTILATION CALCULATIONS
(23° hip roof)

200 x 400 eaves vents (0.08m²)
Ceiling area = 109.9m² / 300 = 0.366m²
30% of 0.366m² = 0.110m²
0.110m² / 0.08m² = 1.4 (x 2) = 3 ridge vents
70% of 0.366m² = 0.256m²
0.256m² / 0.08m² = 3.2 (x 2) = 7 eaves vents

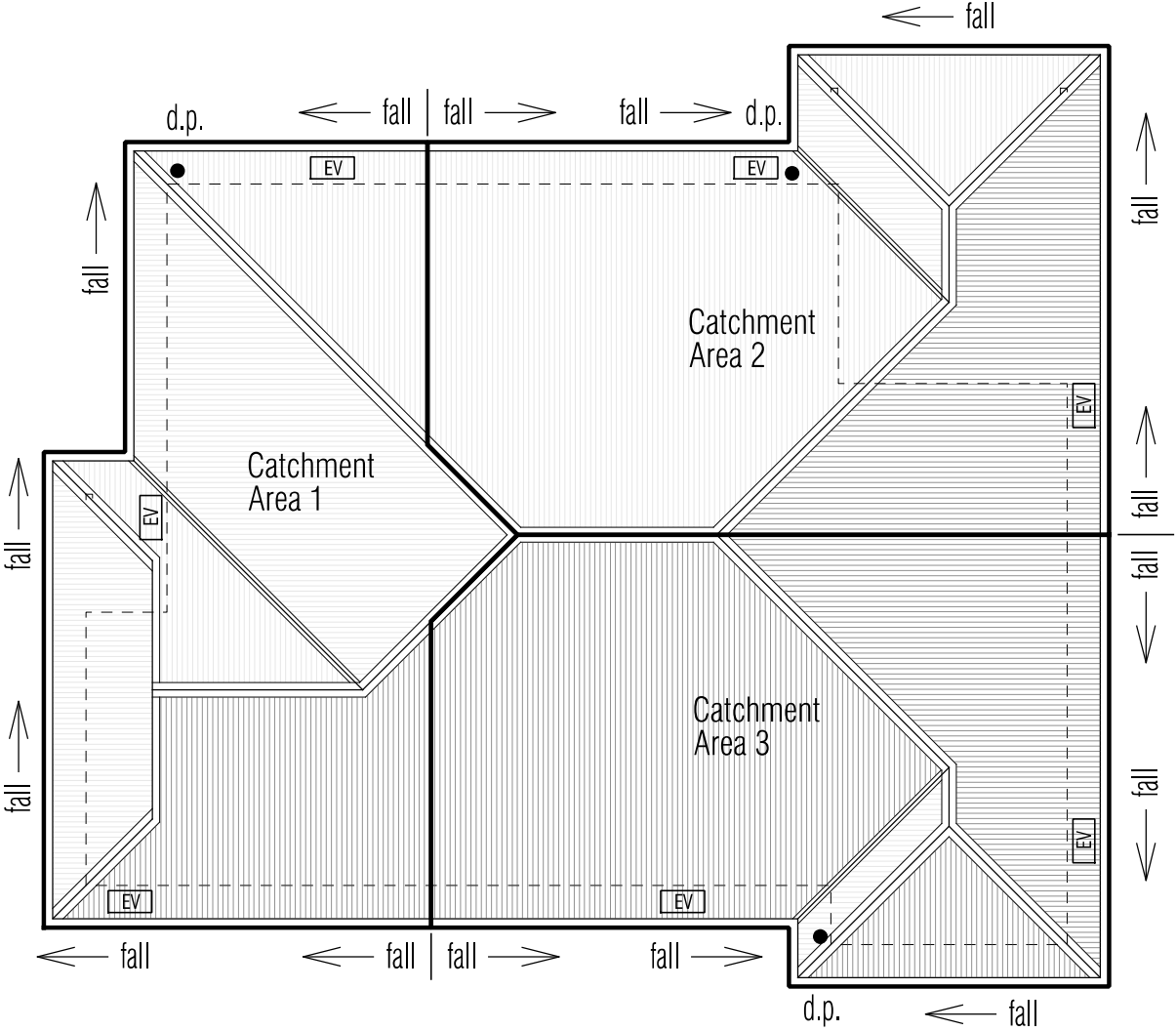
RV

200 x 400 ridge vent (50% opening)

EV

200 x 400 eaves vent (50% opening)

NOTE:
Ensure continuous gap in sarking at ridge to provide for ridge ventilation.



DOWNPIPE & ROOF CATCHMENT AREA CALCULATIONS (as per NCC Part 3.5.2)		
Ah	158.1	Area of roof (including 115mm Quad Gutter) (m²)
Ac	191.3	Ah x slope factor (determined from Table 3.2 from AS/NZS 3500.3) (m²)
Gutter type	A	Cross sectional area 6500mm² (determined from NCC Table 3.5.2.2)
DRI	85	Design Rainfall Intensity Hobart (determined from NCC Table 3.5.2.1)
Acdp	70	Catchment area per 90mm downpipe (determined from NCC Table 3.5.2.2)
Downpipes Required	3	$\frac{Ac}{Acdp}$
Downpipes Provided	3	

PROPOSED DWELLING FOR HARWOOD & GITTUS
AT 5 OWENS HILL ROAD, BAGDAD

TH

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Ph. (03) 62 833 273 www.tassiehomes.com.au

CATCHMENT AREA NOTES:
Colorbond hip roof @ 22.5° pitch
CATCHMENT AREA 1 = 63.4m²
CATCHMENT AREA 2 = 65.3m²
CATCHMENT AREA 3 = 62.6m²

- denotes roof area
- d.p. ●

denotes downpipe
- ↔

denotes direction of fall
- RV

denotes 200 x 400 ridge vent
- EV

denotes 200 x 400 eaves vent

IMPORTANT NOTES:
The position and quantity of downpipes are not to be altered without consulting with designer.
Areas shown are surface / catchment areas NOT plan areas.
All roof areas shown are indicative only and not to be used for any other purpose.
Roof space must be vented. Eave vents must be fitted to the soffit with BAL compliant, non-combustible ember mesh installed. Vents must be in accordance with the NCC, BCA 2022, Volume 2, Part 10.8.3 'Ventilation of Roof Spaces' and AS 3959.

BAL-12.5
See sheet 13 for
Bushfire Attack Level
construction requirements

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DRAWING: ROOF PLAN
DATE: 05/08/25
FILE NAME: H1381 DA 080725.dgn
DRAWN BY: PC

DWG No:

06

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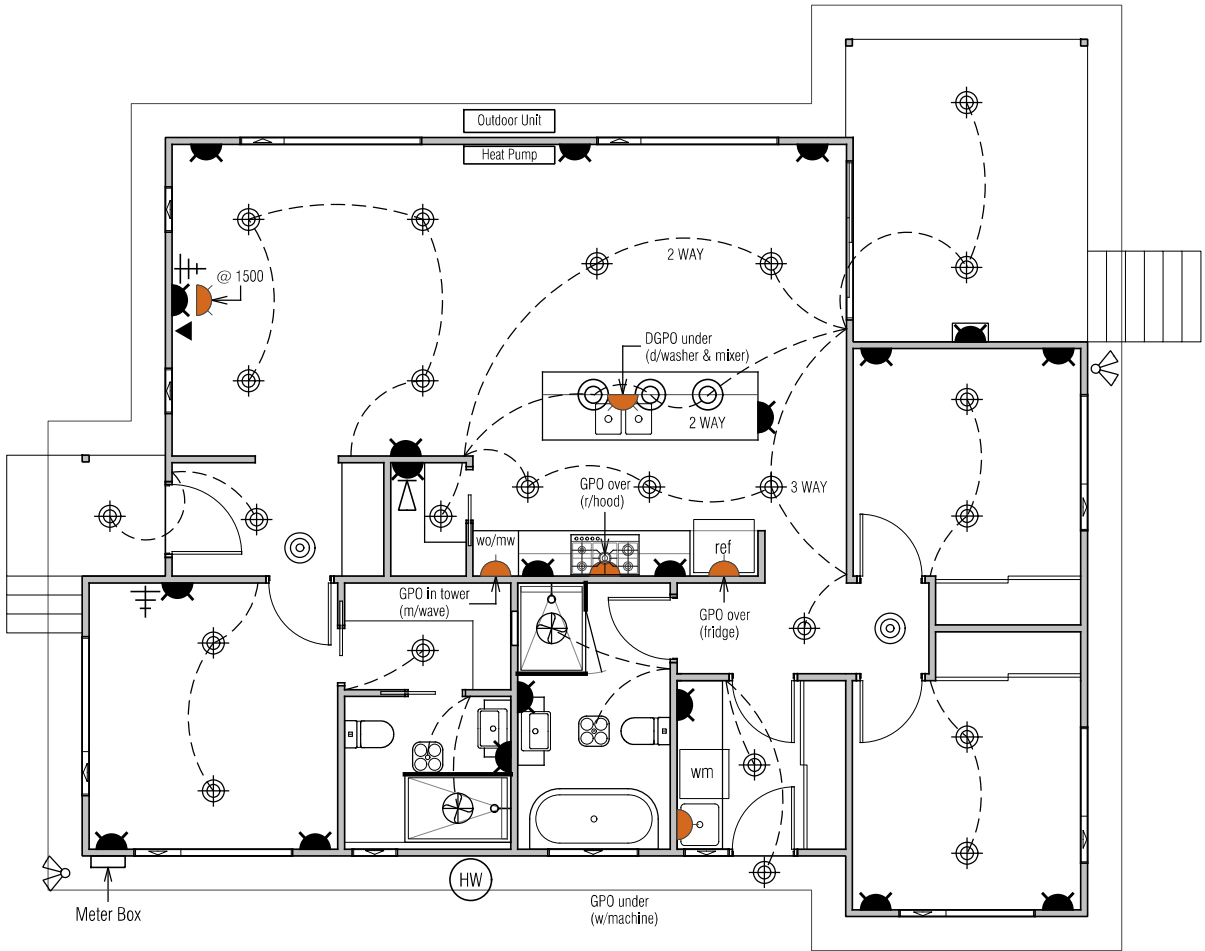
SIGNATURE:

DATE:

TH

TASSIE HOMES

Unit 4/37 Ascot Drive, Huntingfield, Tasmania, 7055
Ph. (03) 62 833 273 www.tassiehomes.com.au



- Ducted exhaust fan
- LED spotlight (sensor)
- 4-light Tastic (10W centre light only)
- Pendant light (28W)
- LED downlight (12W)
- Single GPO
- Double GPO
- Double GPO (exterior)
- Smoke alarm
- Phone / NBN point
- TV point
- Data point

IMPORTANT NOTES:
Smoke alarms are to be installed in accordance with the NCC 9.5. Smoke alarms are to be interconnected where more than one alarm is installed.
Toilet & bathroom fans to be min. 25L/s and to be ducted directly to outside where possible.
Kitchen & laundry fans to be min. 40L/s and to be ducted directly to outside where possible.
All downlights are to be sealed and IC-F rated.

BAL-12.5
See sheet 13 for
Bushfire Attack Level
construction requirements

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DRAWING: ELECTRICAL PLAN
DATE: 05/08/25
FILE NAME: H1381 DA 080725.dgn
DRAWN BY: PC
DWG No:

Scale 1:100

PROPOSED DWELLING FOR HARWOOD & GITTUS
AT 5 OWENS HILL ROAD, BAGDAD

SMC - KEMPTON

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5/08/2025

THIS PLAN IS ACCEPTED BY:

PLEASE NOTE: No variations will be permitted after plans are signed by the client (with exception of Council requirements / approvals).

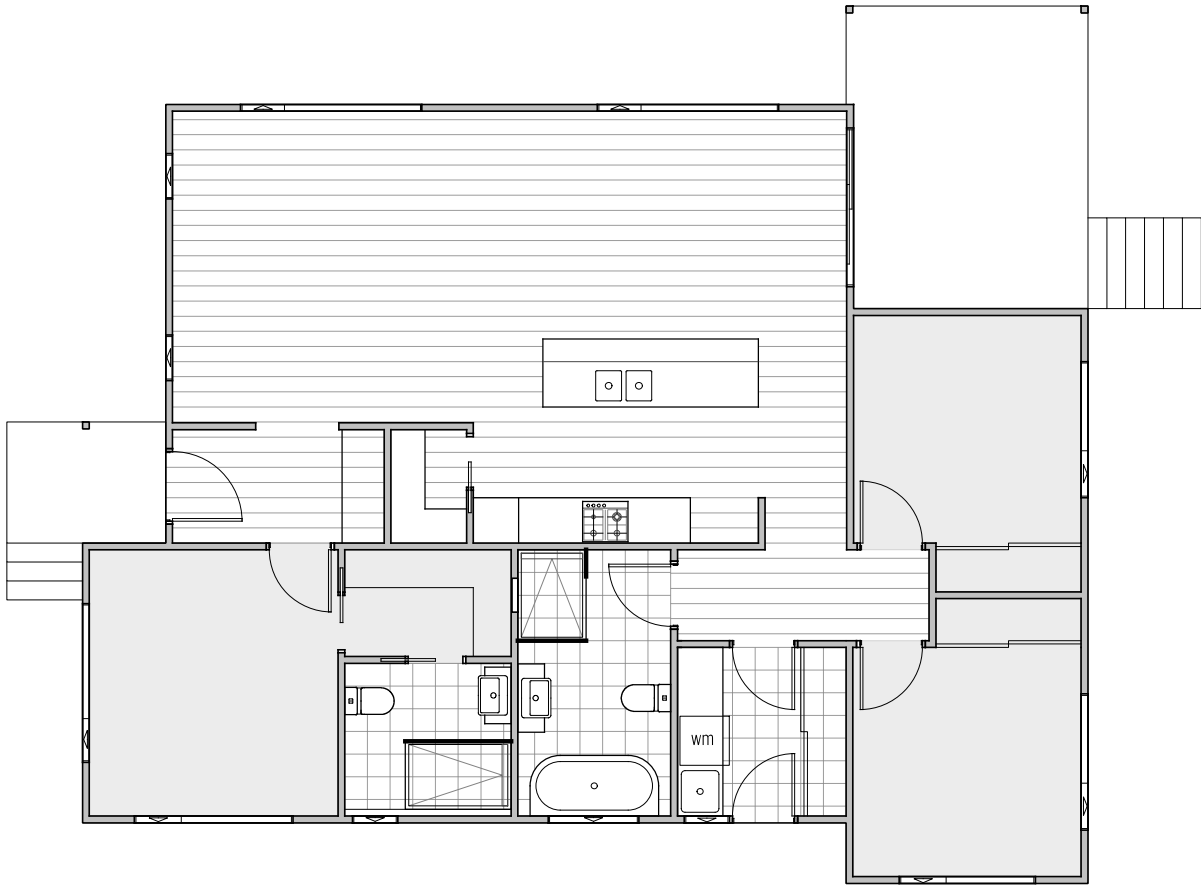
SIGNATURE:

DATE:

TH

TASSIE HOMES

Unit 4/37 Ascot Drive, Huntingfield, Tasmania, 7055
Ph. (03) 62 833 273 www.tassiehomes.com.au



FLOORING LEGEND

Floating Flooring

Carpet

Tiles

PROPOSED DWELLING FOR HARWOOD & GITTUS
AT 5 OWENS HILL ROAD, BAGDAD

Scale 1:100

BAL-12.5
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construction requirements

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DRAWING: FLOORING LAYOUT PLAN
DATE: 05/08/25
FILE NAME: H1381 DA 080725.dgn
DRAWN BY: PC

DWG No:

08

SMC - KEMPTON

RECEIVED

5/08/2025

THIS PLAN IS ACCEPTED BY:

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SIGNATURE:

DATE:



Unit 4/37 Ascot Drive, Huntingfield, Tasmania, 7055
Ph. (03) 62 833 273 www.tassiehomes.com.au

LIGHTING CALCULATIONS

ABCBAustralian Building Codes Board

National Construction Code

Calculator

Building name/description10 Owens Hill Road, BAGDAD

ClassificationClass 1

Number of rows preferred in table below12(as currently displayed)

Separate aggregate allowances are calculated for Class 1 cases: for a verandah or balcony; or for a Class 10 building. The % of allowance used* outcomes refer to these aggregate allowances.

ID	Description	Type of space	Floor area of the space	Design lamp or illumination power load	Location	Adjustment factor			SATISFIES PART 13.7.6		
						Adjustment factors	Dimming % area	Dimming % of full power	Design lumen depreciation factor	Lamp or illumination power density	System share of % of aggregate allowance used
									System allowance	System design	
1	Living, Dining & Kitchen	Living Room	44.6 m²	192 W	Class 1 building				5.0 W/m²	4.3 W/m²	12% of 64%
2	Bed 3	Bedroom	10.3 m²	24 W	Class 1 building				5.0 W/m²	2.3 W/m²	7% of 64%
3	Bed 2	Bedroom	10.4 m²	24 W	Class 1 building				5.0 W/m²	2.3 W/m²	7% of 64%
4	L'dry	Laundry	5.0 m²	12 W	Class 1 building				5.0 W/m²	2.4 W/m²	7% of 64%
5	Hall	Corridor	4.0 m²	12 W	Class 1 building				5.0 W/m²	3.0 W/m²	9% of 64%
6	Bath	Bathroom	7.1 m²	10 W	Class 1 building				5.0 W/m²	1.4 W/m²	4% of 64%
7	Ens.	Bathroom	4.4 m²	10 W	Class 1 building				5.0 W/m²	2.3 W/m²	7% of 64%
8	WIR	Other	3.1 m²	12 W	Class 1 building				5.0 W/m²	3.9 W/m²	11% of 64%
9	Bed 1	Bedroom	11.6 m²	24 W	Class 1 building				5.0 W/m²	2.1 W/m²	6% of 64%
10	Entry	Corridor	4.2 m²	12 W	Class 1 building				5.0 W/m²	2.9 W/m²	8% of 64%
11	Pantry	Other	1.5 m²	12 W	Class 1 building				5.0 W/m²	8.0 W/m²	23% of 64%
12	Alfresco	Verandah or balcony	12.5 m²	24 W	Verandah or balcony				4.0 W/m²	1.9 W/m²	100% of 48%

118.7 m²368 W

Class 1 buildingVerandah or balcony

5.0 W/m²4.0 W/m²3.2 W/m²1.9 W/m²

if inputs are valid

✓

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WINDOW SCHEDULE

WINDOW MANUFACTURER: GLASS SUPPLIES						
Window Number	Type	ID	Size	Glass	Uw	SHGC
W01	AW	AWS-008-01	18-24	Clear	4.30	0.55
W02	AW	AWS-008-01	18-24	Clear	4.30	0.55
W03	SD	AWS-013-01	21-21	Clear	4.00	0.61
W04	AW	AWS-008-01	12-18	Clear	4.30	0.55
W05	AW	AWS-008-01	12-18	Clear	4.30	0.55
W06	AW	AWS-008-01	06-18	Clear	4.30	0.55
W07	FD	AWS-019-01	21-09	Opaque	4.10	0.50
W08	AW	AWS-008-01	09-06	Clear	4.30	0.55
W09	AW	AWS-008-01	09-12	Opaque	4.30	0.55
W10	AW	AWS-008-01	09-06	Opaque	4.30	0.55
W11	AW	AWS-008-01	06-21	Clear	4.30	0.55
W12	AW	AWS-008-01	18-21	Clear	4.30	0.55
W13	AW	AWS-008-01	18-06	Clear	4.30	0.55
W14	AW	AWS-008-01	18-06	Clear	4.30	0.55
LEGEND: SW = Sliding window, AW = Awning window, FW = Fixed window, SD = Sliding door, BF = Bi-fold Door or Window, FD = French door, TW = Transom Window						
NOTE: Windows supplied MUST HAVE Uw, SHGC & Air infiltration performance values EQUAL TO or BETTER THAN those specified above. * Glass specification may change to comply with BAL requirements (Refer to sheet 13)						

INSULATION

INSULATION SCHEDULE	
AREA	INSULATION DETAILS
Roof	R1.3 anticon blanket under iron / over battens.
Ceiling	R4.0 bulk insulation (or equivalent).
Walls (external)	R2.0 bulk insulation (or equivalent) with 1 layer of vapour permeable sisalation.
Walls (internal)	R2.0 bulk insulation (or equivalent) to all internal walls adjoining unconditioned spaces.
Floors	R2.0 bulk insulation (or equivalent) to all timber floors above sub-floor and other unconditioned spaces below.
NOTE: Clearance is required for uncompressed installation of bulk insulation and timbers should be sized accordingly: 220mm for R4.1 bulk insulation; 240mm for R5.0 bulk insulation; 260mm for R6.0 bulk insulation; 290mm for R7.0 bulk insulation. These dimensions are nominal and may vary depending on the type of insulation to be installed.	

BAL-12.5

See sheet 13 for
Bushfire Attack Level
construction requirements

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DATE: INSULATION & WINDOW SCHEDULE
FILE NAME: 05/08/25
DRAWN BY: H1381 DA 080725.dgn
PC

DWG No:

09

NOTES:
3.12.5.5 - ARTIFICIAL LIGHTING
* Lamp power density or illumination power density of artificial lighting, excluding heaters that emit light, must not exceed the allowance of:
(i) 5W per m² in Class 1 building;
(ii) 4W per m² on a verandah, balcony or the like attached to a Class 1 building (not including eave perimeter lights);
(iii) 3W per m² in a Class 10a building associated with a Class 1 building.
* The illumination power density allowance must be increased by dividing it by the illumination power density adjustment factor for a control device as per BCA 2014 Table 3.12.5.3.

PROPOSED DWELLING FOR HARWOOD & GITTUS
AT 5 OWENS HILL ROAD, BAGDAD

NCC VOLUME 2, CLASS 1 & 1a COMPLIANCE NOTES

SITE PREPARATION

Excavation and filling of site to be in accordance with NCC Part 3.1 and AS 2870.

Drainage works to be in accordance with NCC Part 3.1 & AS 3500.3.2.

Surface drainage - finished ground to fall away from building 50mm in 1000mm.

Finished slab level to be;

- Minimum 150 above finished ground;
- Minimum 50 above paved surfaces;

Prevent ponding of water under suspended floors.

All embankments that are left exposed must be stabilised with vegetation or similar to prevent erosion.

Embankments cannot exceed 2.0m in height without the aid of retaining walls or other approved types of soil retaining methods.

All unprotected embankments must comply with the slope ratios for soil type in NCC Table 3.2.1.

SOIL TYPE / CLASSIFICATION	EMBANKMENT SLOPE	
	Cut	Compacted Fill
STABLE ROCK (A)	8:1	3:3
SAND (A)	1:2	1:2
FIRM CLAY (M-E)	1:1	1:2
SOFT CLAY (M-E)	2:3	Not Suitable

FOOTINGS AND SLABS

Generally to be in accordance with NCC Part 4.2 (H1D4) and AS 2870.

Preparation for placement of concrete and reinforcement to be to AS 2870.

Concrete & steel reinforcement to be in accordance with AS 2870 & AS/NZS 3500.

The site classification to be in accordance with AS 2879.

Alternatively, footings & slabs to be in accordance with structural engineers design & specifications.

MASONRY

Generally masonry walls to be constructed in accordance with NCC Part 5 & AS 3700.

Un-reinforced masonry to NCC 5.2 & 5.3;

Reinforced masonry to NCC 5.4;

Masonry accessories to NCC 5.6;

Vertical articulation joints to NCC 5.6.8;

Weatherproofing of to NCC 5.7.

FRAMING

Timber framing to be in accordance with AS 1684.

Manufactured timber members to be in accordance with prescribed framing manual.

Sub-floor ventilation in accordance with NCC 6.2.

Sub-floor area to be clear of organic materials & rubbish.

Provide vent openings in substructure walls at a rate of not less than 6000mm²per meter of wall length, with vents not more than 600mm from corners.

150mm clearance required to underside of floor framing members unless specified otherwise by flooring material specification.

Tie down and bracing of frame to be in accordance with AS 1684 & AS 4055.

Structural steel framing to be in accordance with NCC 6.3, AS 1250, AS 4100 & structural engineers design & specifications.

ROOF AND WALL CLADDING

Generally to be in accordance with NCC 3.5.

Roof cladding to be in accordance with NCC 3.5.1 and;

Roof tiles to AS 2049 & AS 2050;

Metal sheet roofing to AS 1562.1;

Plastic sheet roofing to AS 4256.1, .2, .3 & .5 and AS 1562.3;

Gutters and downpipes, generally to be in accordance with NCC 7.4 & AS 3500.3.2 and The Tasmanian Plumbing Code.

Eaves, internal and valley guttering to have cross sectional area of 6500mm².

Roof space must be vented. Eave vents must be fitted to the soffit with BAL compliant, non-combustible ember mesh installed. Vents must be in accordance with the NCC 10.8.3 'Ventilation of Roof Spaces' and AS 3959.

Wall cladding to be installed in accordance with NCC 7.5 and manufacturer's specification. Flashings and cappings to NCC 7.2.7.

GLAZING

Generally glazing to be in accordance with NCC Part 8 and AS 1288.

Refer to window legend for sizes and type.

Windows to comply with NCC 8.4 'Protection of Openable Windows'.

Glazing to comply with NCC (H1D8) 8.2, 8.3 & 8.4.

BAL REQUIREMENTS:

Glazing to comply with AS 3959 – 2009 Section 3.9 'Construction of Buildings in Bushfire-prone Areas' where applicable. Window weatherproofing to AS 2047.

FIRE SAFETY

Generally to be in accordance with NCC Part 9.

Fire separation to be in accordance with NCC 9.2. External walls and gable ends constructed within 900 of boundary are to extend to underside of non-combustible roofing / eaves and are to be constructed of a masonry skin 90 thick with FRL of 60/60/60.

Sarking to have a flammability index less than 5.

Roof lights not to be placed closer than 900 from boundary.

Smoke alarm installations to be in accordance with NCC 9.5. Locations indicated on the floor plan.

Smoke alarms are to be interconnected where more than 1 smoke alarm is installed.

Installation locations;

CEILINGS – 300 away from wall junction;

CATHEDRAL CEILINGS – 500 down from apex;

WALLS – 300 down from ceiling junction.

Heating appliances generally to NCC 12.4 and to be in compliance with AS 2918. Also refer to manufacturer's details and specifications for setbacks to adjacent combustible surfaces, flue installation and required hearth dimensions.

Construction in Bush Fire Area to be in accordance with AS 3959.

HEALTH AND AMENITY

Generally wet area waterproofing to be in accordance with NCC 10.2 and AS 3740.

Ceiling heights to be in accordance with NCC 10.3.

Construction of sanitary compartments to NCC 10.4.2.

Required facilities to NCC 10.4.1.

Provision of natural light to be in accordance with NCC 10.5.1. Windows / roof lights to provide light transmission area equal to 10% of the floor area of the room

Artificial lighting to NCC 10.5.2.

Ventilation generally to NCC Part 10.6. Exhaust fan from kitchen, laundry, bathroom & WC to be vented to outside for steel roof and to roof space for tile roof.Natural ventilation to be provided at a rate of 5% of room floor area, in accordance with NCC 10.6.2.

Mechanical ventilation to be in accordance with NCC 10.6.3 (b) & 10.8.2 or AS 1668.2

Sound insulation requirements generally to NCC Part 10.7.

SAFE MOVEMENT AND ACCESS

Stair and ramp construction to be in accordance with NCC 11.2.

Maximum of 18 risers to each flight;Riser opening to be less than 125;

Treads to have non-slip surface or nosing;

- RISERS – min. 115, max. 190;
- TREADS min. 240, max. 355.

Balustrade is generally in accordance with NCC 11.3.

Balustrade is required where area is not bounded by a wall or where level exceeds 1000 above floor level or ground level. 865 high on stairs, measured from line of stair nosing.1000 high above floor or landing. Openings between balusters / infill members to be constructed so as not to allow 125 sphere to pass between members. Where floor level exceeds 4000 above lower level, infill members between 150 and 760 above floor level, to be constructed so as to restrict climbing.

Protection from openable windows for rooms other than bedrooms to NCC 11.3.8.

ANCILLARY PROVISIONS

Generally in accordance with NCC Part 12.

Heating appliances, fireplaces, chimneys and flues to NCC Part 12.4.

OPEN FIREPLACE CONSTRUCTION to NCC 12.4.2;

CHIMNEY CONSTRUCTION to NCC 12.4.3;

INSERT FIREPLACES AND FLUES to NCC 12.4.4;

FREESTANDING HEATING APPLICANCES to NCC 12.4.5

ENERGY EFFICIENCY

Generally in accordance with BCA 2019 Part 3.12

Climate Zone 7 applicable to Tasmania (Zone 8 applicable to Alpine areas)

BUILDING FABRIC INSULATION-

Insulation to be fitted to form continuous barrier to roof / ceiling, walls and floors.

REFLECTIVE BUILDING MEMBRANE-

To be 'vapour permeable' with a minimum value of 4ug/Ns, installed to form 20mm airspace between reflective faces and external lining/ cladding, fitted closely up to penetrations/ openings, adequately supported and joints to be lapped minimum 150.

BULK INSULATION-

To maintain thickness and position after installation.Continuous cover without voids except around services/fittings.

ROOF INSULATION-

Roof construction to achieve minimum additional R Value of R4.0 unless noted otherwise.Roof lights to comply with 3.12.1.3.

EXTERNAL WALLS-

External wall construction to achieve minimum additional R Value of R2.5 unless noted otherwise.Wall surface density minimum - 220kg/m²

FLOORS-

Generally in accordance with 3.12.1.5.Suspended floor with an unenclosed perimeter required to achieve a minimum Total R Value of R2.0.Concrete slab on ground with an in slab heating system to be insulated to R1.0 around vertical edge of slab perimeter.

ATTACHED CLASS 10a BUILDING-

External wall or separating wall between Class 1 building is required to achieve minimum Total R-Value of R1.9.

All hot water plumbing to be insulated in accordance with AS/NZS 3500:

Plumbing and Drainage, Part 4 Heated Water Services.

Thermal insulation for central heating piping to NCC 13.7.2 and 13.7.3.

Heating and cooling ductwork to NCC 13.7.4

Chimneys or flues to be fitted with sealing damper or flap.Roof lights to habitable rooms to be fitted with operable or permanent seal to minimise air leakage.External windows & doors to habitable rooms / conditioned spaces to be fitted with air seal to restrict air infiltrations.Exhaust fans to habitable rooms / conditioned spaces to be fitted with self-closing damper or filter.Building envelope to be constructed to minimise air leakage. Construction joints and junctions or adjoining surfaces to be tight fitting and sealed by caulking, skirting, architraves and cornices.Windows and external door weatherproofing to AS 2047.

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TASSIE HOMES

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BAL-12.5

See sheet 13 for
Bushfire Attack Level
construction requirements

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DRAWING: COMPLIANCE NOTES
DATE: 05/08/25
FILE NAME: H1381 DA 080725.dgn
DRAWN BY: PC

DWG No:

PROPOSED DWELLING FOR HARWOOD & GITTUS
AT 5 OWENS HILL ROAD, BAGDAD

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STEP-FREE ACCESS PATH

A continuous path to a dwelling entrance door must be provided from -

- (1) The pedestrian entry at the allotment boundary from the ground level of the adjoining land; or

(a) an appurtenant Class 10a garage or carport; or

(b) a car parking space within the allotment that is provided for the exclusive use of the occupants of the dwelling.

(c) Access for the purposes of (1) must be -
- (2) via a pathway that -

(a) has no steps; and

(i) except for a step ramp provided under (5), has a maximum gradient of 1:14 in the direction of travel; and

(ii) if crossfall is provided, has a crossfall not more than 1:40; and

(iii) has a minimum width of 1000mm; and

(iv) if it incorporates a section suspended above finished ground level, is able to take loading forces in accordance with AS/NZS 1170.1; and

(vi) connects to a dwelling entrance door that complies with Section 2; or

(vi) provided directly from an attached Class 10a garage or carport, via a door complying with the requirements of Section 2, other than Clause 2.3.
- (3) For the purposes of (2), the following applies:

(a) Any gates along the access path must have a minimum clear opening width of 820mm, measured as if the gate were an entrance door.

(b) A deck or boardwalk-style path constructed in accordance with AS 1684 or NASH Standard – Residential and Low-rise Steel Framing would satisfy the requirements of (2)(a)(v).
- (4) Where one or more ramps are used, the following applies:

(a) The aggregate length of ramping (excluding landings) must not be more than—

(i) 9 m for a 1:14 gradient; or

(ii) 15 m for a 1:20 gradient; or

(iii) a length determined by linear interpolation for ramps with a gradient between 1:14 and 1:20.

(b) The minimum width of the ramp must be maintained at 1000mm between any handrails and/or kerbs (if provided) at each side of the ramp.

(c) At each end of a ramp there must be a landing that is -

(i) not less than 1200mm long; and

(ii) at least as wide as the ramp to which it connects; and

(iii) level, or has a gradient not more than 1:40 if a gradient is necessary for drainage.

(d) A landing area required by Clause 2.3 may also be counted as a landing for the purposes of (c).
- (5) The access path may incorporate one step ramp having a -

(a) height of not more than 190mm; and

(b) gradient not more than 1:10; and

(c) width of at least 1000mm or equivalent to that of the access path, whichever is the greater; and

(d) maximum length of 1900mm.
- THRESHOLD NOTES:
- The threshold of an entrance door must -
- (a) be level; or

(b) have a sill height of not more than 5mm if the lip is rounded or bevelled: or

(c) have a ramped threshold that -

(i) does not extend beyond the depth of the door jamb; and

(ii) has a gradient not steeper than 1:8; and

(iii) is at least as wide as the minimum clear opening width of the entrance door; and

(iv) does not intrude into the minimum dimensions of the required landing area; or

(d) where the requirements of (a), (b) or (c) cannot meet the weatherproofing requirements of the NCC for external entrance doors containing a raised door sill -

(i) have no lip or upstand greater than 15mm within the sill profile; and

(ii) have no more than 5mm height difference between the edge of the top surface of the sill and the adjoining finished surface.
- LANDING AREA NOTES:
- An entrance door must have a space of at least 1200mm x 1200mm on the external (arrival) side of the door that is -
- (a) unobstructed (other than by a gate or a screen door); and

(b) level, or has a gradient of not more than 1:40 if a gradient is necessary to allow for drainage.
- WEATHERPROOFING FOR EXTERNAL STEP-FREE ENTRANCE
- Weatherproofing for an external step-free entrance must be provided in accordance with one or a combination of the following:
- (a) where the external surface is concrete or another impermeable surface, a channel drain that meets the requirements of Volume Two H2D2 is to be provided for within the entrance.

(b) Where the external trafficable surface is decking or another raised permeable surface, a drainage surface below the trafficable surface is provided that meets the requirements of Volume T20 H2D2, and drainage gaps in the trafficable surface, such as those between decking boards, are no greater than -

(i) 8mm; or

(ii) in a 'designated bushfire prone area' that is permitted by AS 3959.

(c) A roof covering an area no smaller than 1200mm by 1200mm, where the area is provided with a fall away from the building not greater than 1:40.
- LIVEABLE HOUSING NOTES
- Internal doorways must provide a minimum clear opening width of 820mm,
- At least one shower must have a hobless and step-free entry. A lip not more than 5mm in height may be provided for water retention purposes.
- Internal corridors, hallways, passageways or the like, if connected to a door that is subject to Clause 3.1, must have a minimum clear width of 1000mm, measured between the finished surfaces of opposing walls.
- MEASUREMENT OF CLEAR OPENING WIDTH

820 min.
Clear opening

820 min.
Clear opening

OPENING TO BE CLEAR OF
DOOR LEAF AND FRAMES

OPENING TO BE CLEAR OF
DOOR LEAF AND FRAMES
- TH

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- BAL-12.5
- See sheet 13 for
Bushfire Attack Level
construction requirements
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- DRAWING: LIVEABLE HOUSING NOTES 1 of 3
DATE: 05/08/25
FILE NAME: H1381 DA 080725.dgn
DRAWN BY: PC
- DWG No:
- PROPOSED DWELLING FOR HARWOOD & GITTUS
AT 5 OWENS HILL ROAD, BAGDAD
- 10a

SMC - KEMPTON

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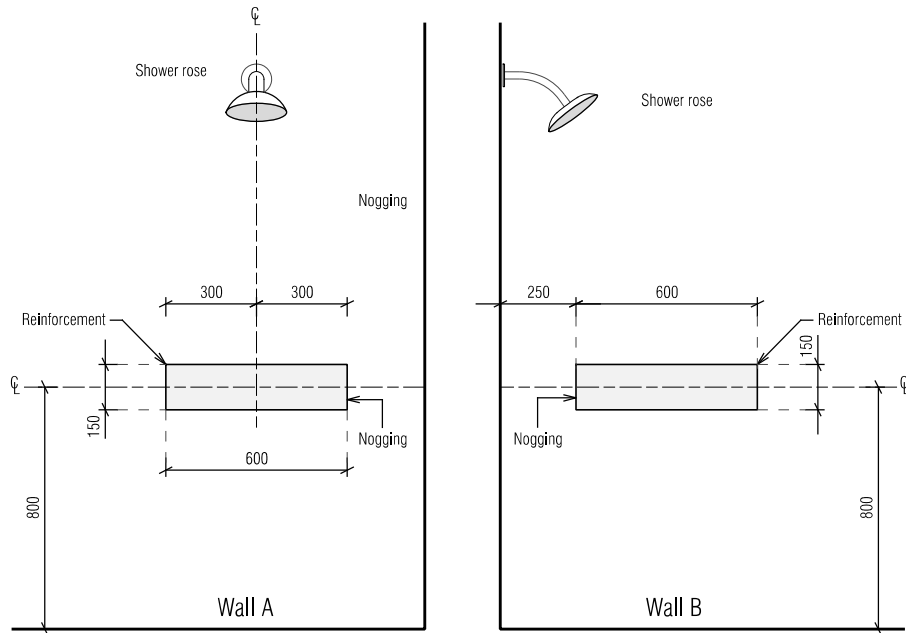
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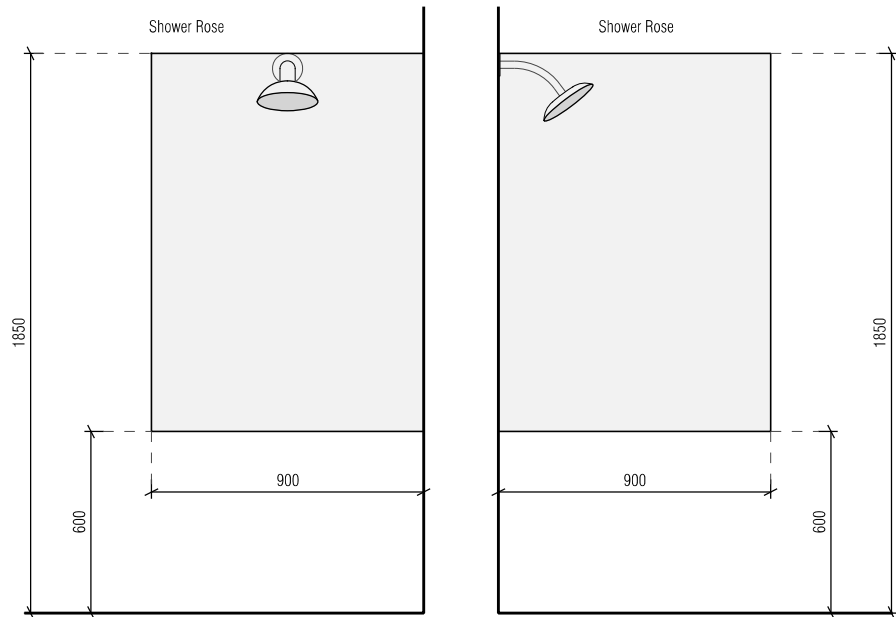
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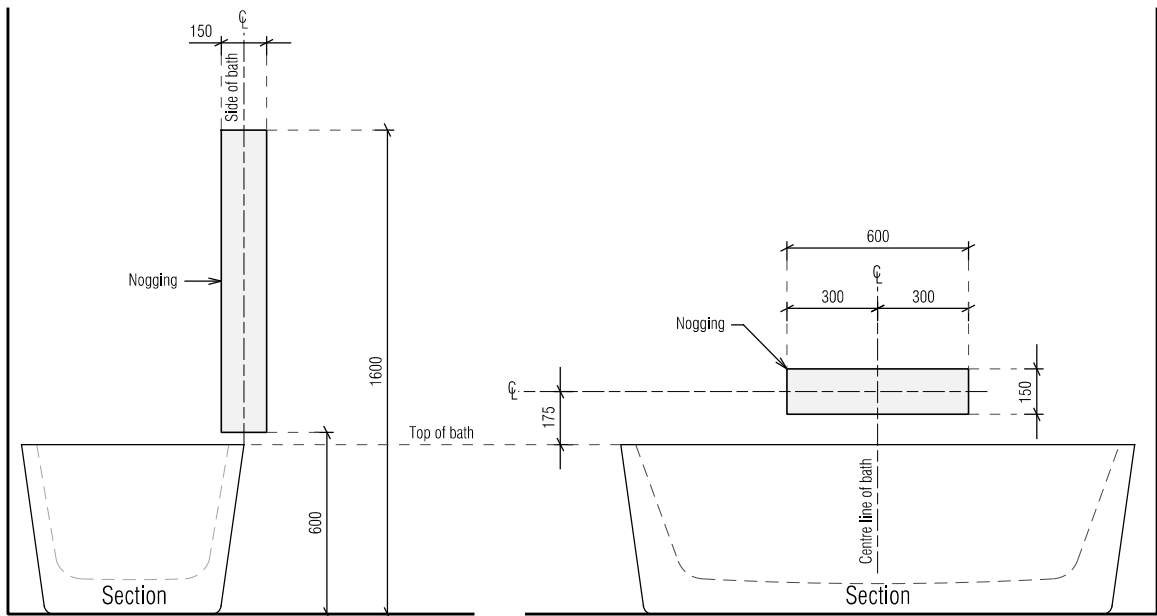
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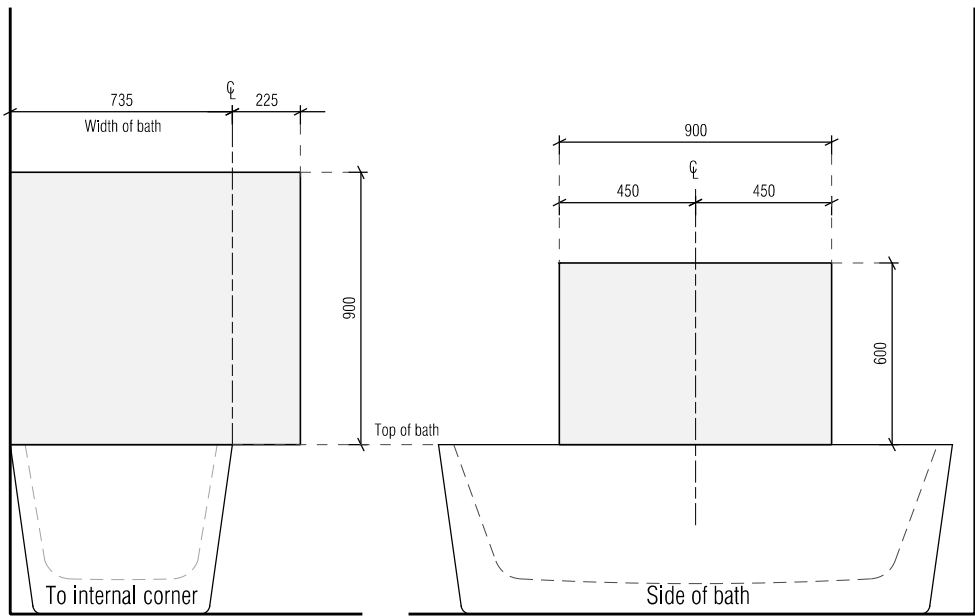
LOCATION OF NOGGINGS FOR SHOWER WALLS



LOCATION OF SHEETING FOR SHOWER WALLS



LOCATION OF NOGGINGS FOR WALLS SURROUNDING A BATH



LOCATION OF SHEETING FOR WALLS SURROUNDING A BATH

BAL-12.5

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DATE: 05/08/25
FILE NAME: H1381 DA 080725.dgn
DRAWN BY: PC

DWG No:

PROPOSED DWELLING FOR HARWOOD & GITTUS
AT 5 OWENS HILL ROAD, BAGDAD

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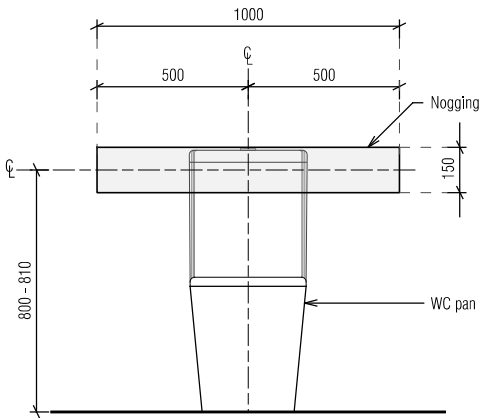
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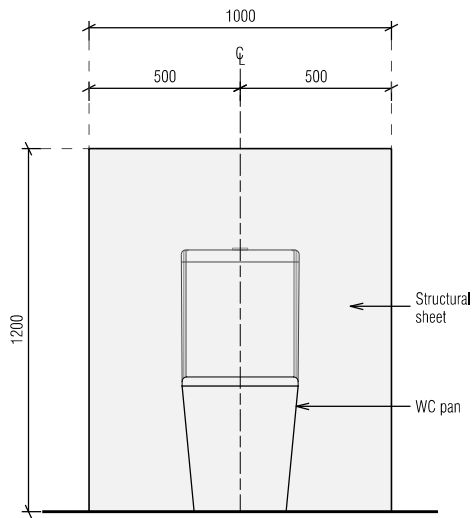
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SIGNATURE:

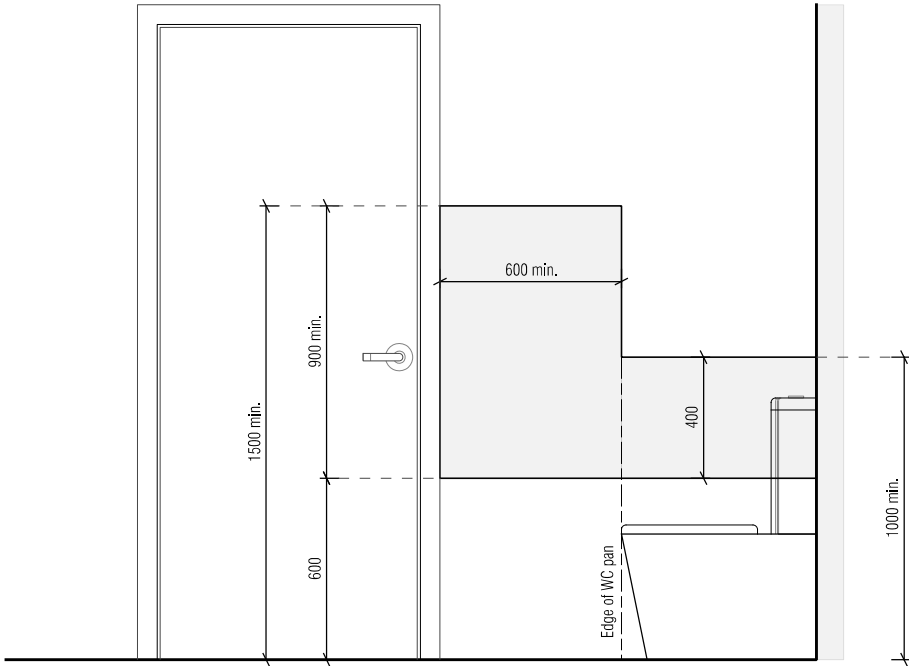
DATE:



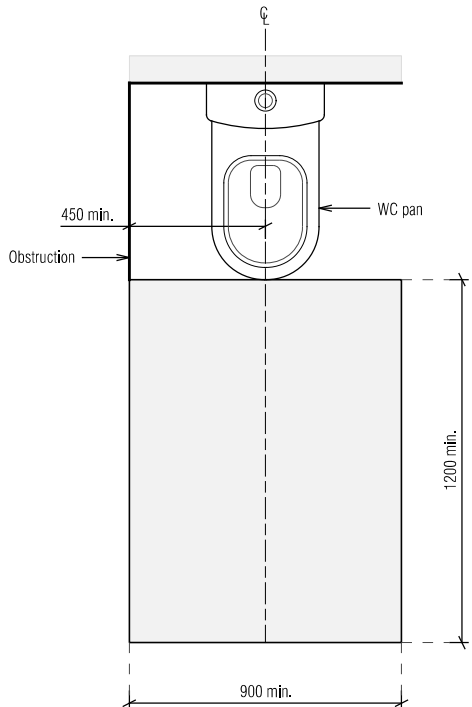
LOCATION OF NOGGINGS FOR
A WALL BEHIND TOILET PAN



LOCATION OF SHEETING
BEHIND TOILET PAN



MINIMUM EXTENT OF SHEETING FOR
A WALL ADJACENT TO A TOILET PAN



CIRCULATION SPACE
FOR A TOILET PAN

TH

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PROPOSED DWELLING FOR HARWOOD & GITTUS
AT 5 OWENS HILL ROAD, BAGDAD

BAL-12.5

See sheet 13 for
Bushfire Attack Level
construction requirements

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DRAWING: LIVEABLE HOUSING NOTES 3 of 3
DATE: 05/08/25
FILE NAME: H1381 DA 080725.dgn
DRAWN BY: PC

DWG No: 10c

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Vessels or area where the fixture is installed	Floors and horizontal surfaces	Walls	Wall junctions and joints	Penetrations
Enclosed shower with hob	Waterproof entire enclosed shower area, including hob.	Waterproof to not less than 150mm above the shower floor substrate or not less than 25mm above the maximum retained water level which ever is the greater with the remainder being water resistant to a height of not less than 1800mm above the finished floor level.	Waterproof internal and external corners and horizontal joints within a height of 1800mm above the floor level with not less than 40mm width either side of the junction.	Waterproof all penetrations.
Enclosed shower without hob	Waterproof entire enclosed shower area, including waterstop.	Waterproof to not less than 150mm above the shower floor substrate with the remainder being water resistant to a height of not less than 1800mm above the finished floor level.	Waterproof internal and external corners and horizontal joints within height of 1800mm above the floor level with not less than 40mm width either side of the junction.	Waterproof all penetrations.
Enclosed shower with step down	Waterproof entire enclosed shower area, including the step down.	Waterproof to not less than 150mm above the shower floor substrate or not less than 25mm above the maximum retained water level whichever is the greater with the remainder being water resistant to a height of not less than 1800mm above the finished floor level.	Waterproof internal and external corners and horizontal joints within a height of 1800mm above the floor level with not less than 40mm width either side of the junction.	Waterproof all penetrations.
Enclosed shower with preformed shower base	N/A	Water resistant to a height of not less than 1800mm above finished floor level.	Waterproof internal and external corners and horizontal joints within a height of 1800mm above the floor level with not less than 40mm width either side of the junction.	Waterproof all penetrations.
Unenclosed showers	Waterproof entire enclosed shower area.	Waterproof to not less than 150mm above the shower floor substrate or not less than 25mm above the maximum retained water level which ever is the greater with the remainder being water resistant to a height of not less than 1800mm above the finished floor level.	Waterproof internal and external corners and horizontal joints within a height of 1800mm above the floor level with not less than 40mm width either side of the junction.	Waterproof all penetrations.
Areas outside the shower area for concrete and compressed fibre cement sheet flooring	Water resistant to entire floor	N/A	Waterproof all wall / floor junctions. Where a flashing is used the horizontal leg must be not less than 40mm.	N/A
Areas outside the shower area for timber floors including particleboard, plywood and other timber based flooring materials	Waterproof entire floor.	N/A	Waterproof all wall / floor junctions. Where a flashing is used the horizontal leg must be not less than 40mm.	N/A

Vessels or area where the fixture is installed	Floors and horizontal surfaces	Walls	Wall junctions and joints	Penetrations
Areas adjacent to baths and spas for concrete and compressed fibre cement sheet flooring.	Water resistant to entire floor.	Water resistant to a height of not less than 150mm above the vessel and exposed surfaces below the vessel lip to floor level.	Waterproof edges of the vessel and junction of bath enclosure with floor. Where the lip of the bath is supported by a horizontal surface, this must be waterproof for showers over bath and water resistant for all other cases.	Waterproof all tap and spout penetrations where they occur in a horizontal surface.
Areas adjacent to baths and spas (see note 1) for timber floors including particleboard, plywood and other timber based flooring materials.	Waterproof entire floor.	Water resistant to a height of not less than 150mm above the vessel and exposed surfaces below the vessel lip to floor level.	Waterproof edges of the vessel and junction of bath enclosure with floor. Where the lip of the bath is supported by a horizontal surface, this must be waterproof for showers over bath and water resistant for all other cases.	Waterproof all tap and spout penetrations where they occur in a horizontal surface.
Inserted baths	N/A for floor under bath. Waterproof entire shelf area, incorporating waterstop under the bath lip and project not less than 5mm above the tile surface.	N/A for wall under bath. Waterproof to not less than 150mm above the lip of the bath.	N/A for wall under bath.	Waterproof all tap and spout penetrations where they occur in a horizontal surface.
Walls adjoining other vessels (eg. sinks, laundry tubs and basins)	N/A	Water resistant to a height of not less than 150mm above the vessel if the vessel is within 75mm of the wall.	Where the vessel is fixed to a wall, waterproof edges for extent of vessel.	Waterproof all tap and spout penetrations where they occur in a horizontal surface.
Laundries and WCs	Water resistant to entire floor.	Waterproof all wall / floor junctions to not less than 25mm above the finished floor level, sealed to floor.	Waterproof all wall / floor junctions. Where a flashing is used the horizontal leg must be not less than 40mm.	N/A

IMPORTANT NOTES:
1. If a shower is included above a bath, refer to the requirements for shower area walls and penetrations.
2. N/A means not applicable. Wet areas waterproofing by licensed and accredited installer (eg Wet Seal).
3. Certification to be provided to the Building Surveyor.
4. Contractor or builder to determine the appropriate waterproofing in accordance with NCC Volume 2, H4D2 & H4D3 and to notify the Building Surveyor for inspection arrangements during installation.
5. The above information is for general guidance and is indicative only. Waterproofing installers to comply with all current codes of legislation which takes precedence over this specification.

NOTES TO THE OCCUPANT
Due to potential problems with condensation in residential buildings which can lead to structural damage over time and which may also be detrimental to the health of the occupants, the following strategies are recommended:
1. Open windows every day for a few minutes especially when showering and cooking. Not every window needs to be opened, just those required to provide cross ventilation and extraction of moisture laden air;
2. Ensure extractor fans are used every time when bathing;
3. Ensure extractor fans are ducted to the outside; *
4. Ensure non-condensing clothes dryers are ducted to the outside; **
5. Install a rangehood or limit steam from cooking activities. i.e. by keeping lids on pots etc;
6. Avoid the use of unflued gas heaters;
7. Do not store large quantities of firewood inside the home in unventilated spaces;
8. Avoid plants and water features in unventilated spaces;
9. Ensure covers are kept on aquariums;
10. Dry clothes in rooms that are warm, have adequate ventilation and are separated from the main house;
* these details are also noted on the plans for the builders.
** or install separate air extractor on ceiling. However, direct ducting is recommended.

BAL-12.5

See sheet 13 for Bushfire Attack Level construction requirements

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DRAWING: WET AREA SPECIFICATIONS
DATE: 05/08/25
FILE NAME: H1381 DA 080725.dgn
DRAWN BY: PC

DWG No:

PROPOSED DWELLING FOR HARWOOD & GITTUS
AT 5 OWENS HILL ROAD, BAGDAD

SMC - KEMPTON
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TIMBER DECKING SPECIFICATIONS

TIMBER TYPE	THICKNESS (mm)	RECOMMENDED MAXIMUM JOIST SPACING (mm)
Kwila, jarrah, other hardwoods	19	500
Treated pine	22 dressed	450
	19 sawn (25 actual thickness)	500
Cypress	21	400
	25	500

BOLTS FOR BEARER TO STUMP/POST CONNECTIONS

BOLT TYPE	MAXIMUM ALLOWABLE DECK AREA SUPPORTED PER BOLT (m²) - REFER NOTES			
	Seasoned Hardwood (F17) Minimum timber thickness: 35mm		Treated Pine (F5) Minimum timber thickness: 35mm	
	Bearer to one side only (fig. 18)	Spaced Bearer (fig. 19)	Bearer to one side only (fig. 18)	Spaced Bearer (fig. 19)
M10	1.0	1.7	0.8	1.3
M12	1.3	2.0	1.0	1.5
M16	1.7	2.7	1.2	2.0
M20	2.1	3.4	1.5	2.5

TIMBER STAIR TREADS

TIMBER TYPE	STAIR WIDTH (mm)				
	750	1000	1200	1500	1800
	RECOMMENDED THICKNESS OF TREAD (mm)				
Treated Pine, Cypress	45	50	55	65	80
Jarrah, other hardwoods	45	45	45	55	60
	SCREW TYPE / NUMBER				
	3#10	3#10	3#10	3#12	3#12

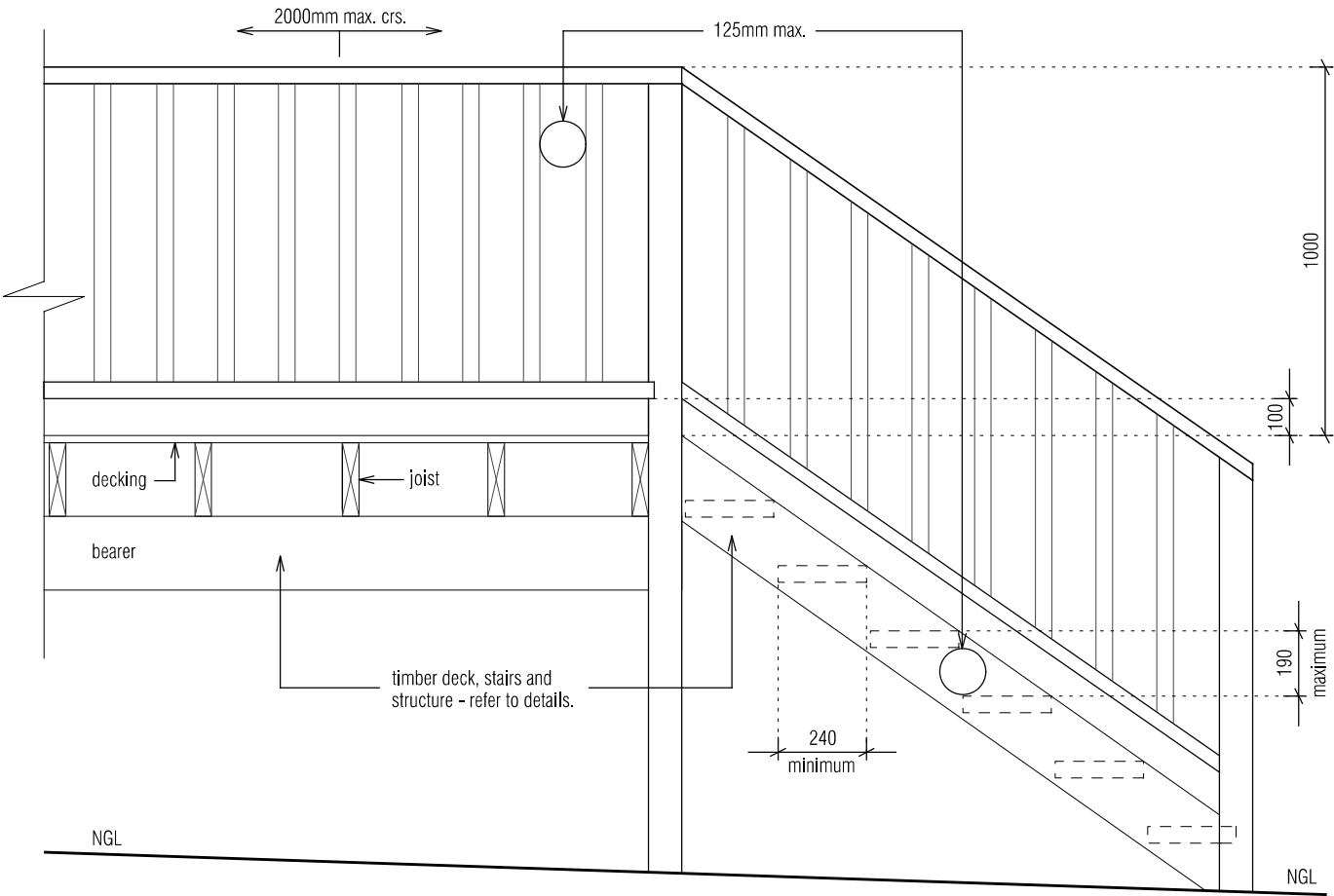
STRINGER TO WALL FIXING

INTERNAL	14 gauge, 75mm bugle screws into wall studs
EXTERNAL	M10 masonry anchors into masonry @ 600 centres

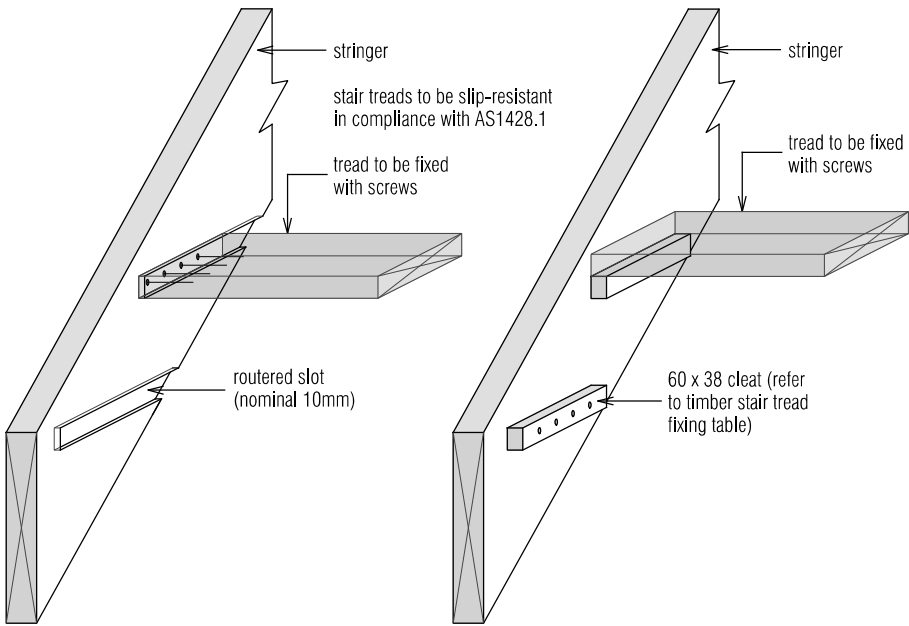
19mm THICK DECKING BOARD FIXING REQUIREMENTS

DECKING SPECIES	JOIST SPECIES	NAILING			
		Machine Driven		Hand Driven	
Hardwood, Cypress	Hardwood, Cypress	50 x 2.5 Flat Head		50 x 2.8 Flat Head	
	Seasoned Treaded Pine, Oregon	50 x 2.5 DS Flat Head	65 x 2.5 Flat Head	50 x 2.8 DS Flat Head	65 x 2.8 Flat Head
Seasoned Treated Pine	Hardwood, Cypress	50 x 2.5 Flat Head		50 x 2.8 Flat Head	
	Seasoned Treaded Pine, Oregon	50 x 2.5 DS Flat Head	65 x 2.5 Flat Head	50 x 2.8 DS Flat Head	65 x 2.8 Flat Head

- NOTES:
- DS - Deformed shank
1. Nails to be hot dipped galvanised or stainless steel (mechanical galvanised plated not recommended).
2. In areas subjected to extreme wetting and drying conditions (e.g. around swimming pools), consideration should be given to increasing the nail diameter and/or length.
3. Dome head nails may be used in lieu of flat head nails.



TREAD TO STRINGER FIXING OPTIONS



PROPOSED DWELLING FOR HARWOOD & GITTUS
AT 5 OWENS HILL ROAD, BAGDAD

TH

TASSIE HOMES

Unit 4/37 Ascot Drive, Huntingfield, Tasmania. 7055
Ph. (03) 62 833 273 www.tassiehomes.com.au

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BAL-12.5

See sheet 13 for
Bushfire Attack Level
construction requirements

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DRAWING: STAIR NOTES
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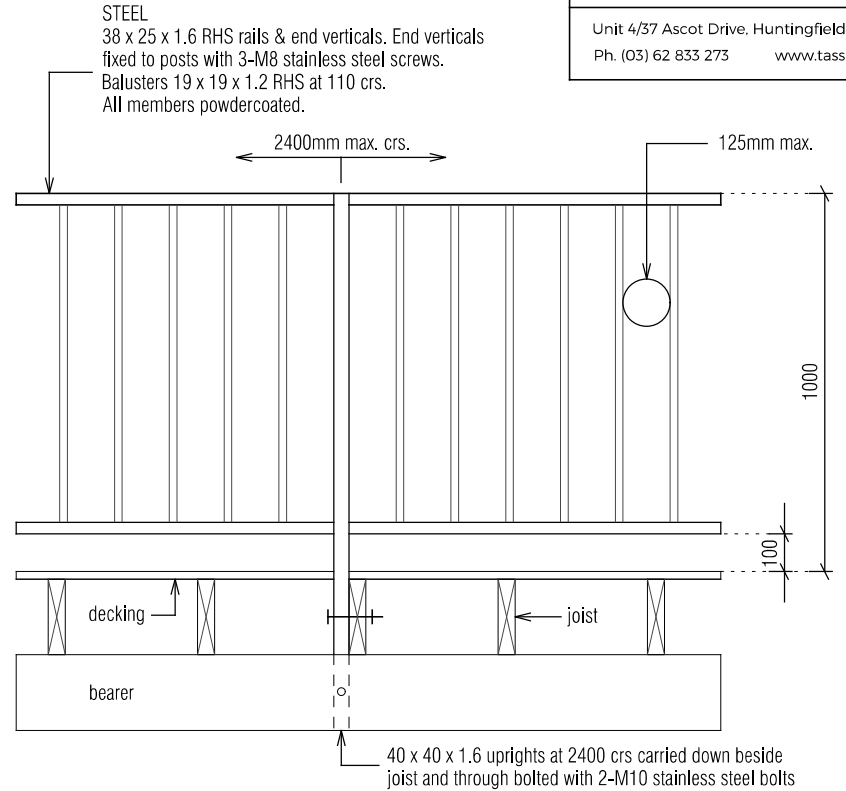
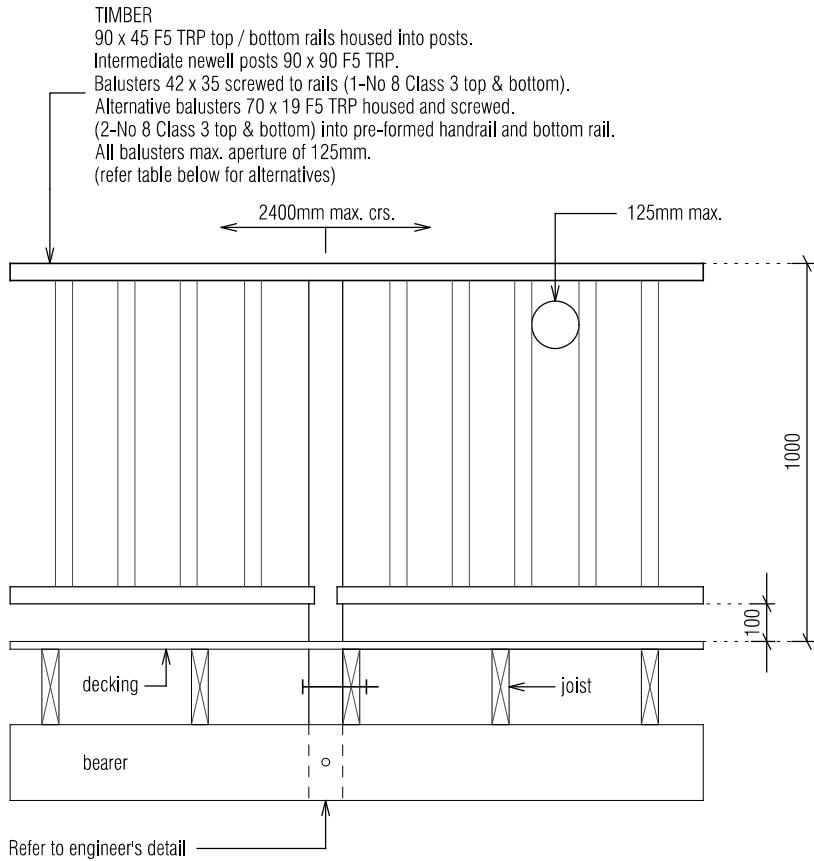
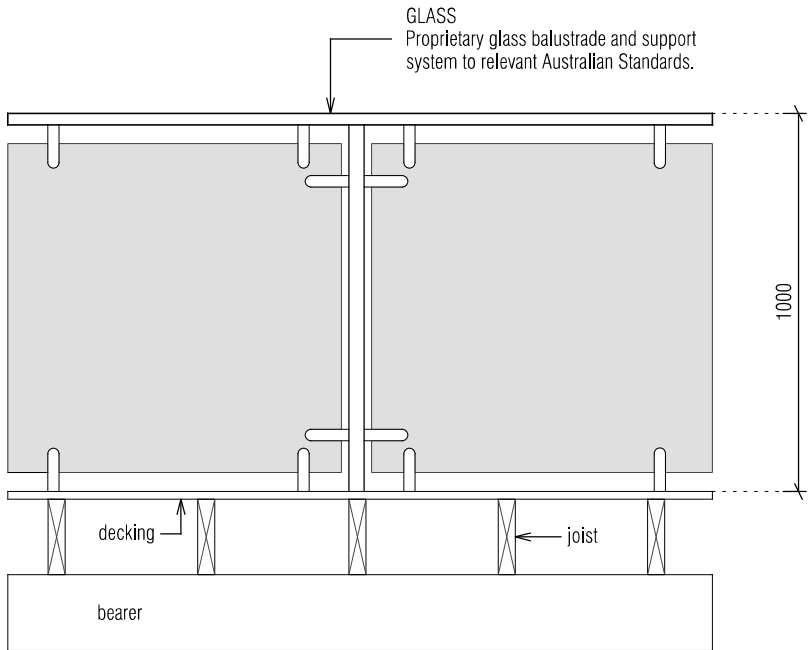
DWG No:

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TASSIE HOMES

Unit 4/37 Ascot Drive, Huntingfield, Tasmania. 7055
Ph. (03) 62 833 273 www.tassiehomes.com.au

TIMBER STRINGERS

TIMBER TYPE	SECTION* SIZES (mm)	STAIR WIDTH (mm)				
		750	1000	1200	1500	1800
		MAXIMUM NUMBER OF RISERS				
Treated Pine, Cypress	190 x 35	10	8	8	7	6
	190 x 45	11	10	9	8	7
	240 x 35	12	11	10	9	8
	240 x 45	14	12	11	10	9
	290 x 35	15	13	12	11	10
	290 x 45	17	15	14	12	11
Jarrah, other hardwoods or Kwila	190 x 35	13	12	11	10	10
	190 x 45	14	13	12	11	11
	240 x 35	16	15	14	13	12
	240 x 45	18	16	15	14	13
	290 x 35	18	18	17	16	15
	290 x 45	18	18	8	17	16

* Sizes stated are minimum sizes.

NOTE:
The building regulations limit the number of risers in a single flight of stairs to a maximum of 18.

SIZES OF HANDRAILS

HANDRAIL TIMBER	SUPPORT SPACING (mm)				
	900	1200	1500	1800	2400
	RECOMMENDED HANDRAIL SIZE* (mm)				
Treated Pine, Cypress	70 x 35	120 x 35	170 x 35	290 x 35	240 x 45
	70 x 45	70 x 45	70 x 45	140 x 45	
Jarrah, other hardwoods	70 x 35	70 x 35	90 x 35	170 x 35	290 x 35
	70 x 45	70 x 45	70 x 45	90 x 45	140 x 45
Kwila	70 x 35	70 x 35	70 x 35	170 x 35	290 x 35
	70 x 45	70 x 45	70 x 45	70 x 45	120 x 45

* Section sizes can be used in either a vertical or horizontal position.

- NOTES:
- Handrails for 900, 1200 and 1500mm support spacings have been designed as continuous over two spans (continuous lengths of 1800, 2400 and 3000mm respectively).
 - The sizes shown are minimum allowable dressed sections sizes. Sections sizes shall not be less than those stated.

* WIRE HANDRAILS AS PER NCC Part 11.3.6
* STAIR BALUSTRADES MIN 865mm ABOVE NOSE OF STAIR TREAD

TYPICAL SHRINKAGE VALUES FOR DECKING BOARDS

TIMBER TYPE	BOARD WIDTH (mm)	APPROXIMATE SHRINKAGE (mm)
Kwila	70	2 (unseasoned)
Jarrah	65	0 (seasoned)
		5 (unseasoned)
Treated Pine	70	0 (seasoned)
Cypress	70	2 (unseasoned)

EXAMPLE:
For a 6mm final gap using 70mm Kwila decking boards, the required spacer thickness would be $6 - 2 = 4$ mm

BAL-12.5

See sheet 13 for
Bushfire Attack Level
construction requirements

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DRAWING: BALUSTRADE NOTES
DATE: 05/08/25
FILE NAME: H1381 DA 080725.dgn
DRAWN BY: PC

DWG No:

PROPOSED DWELLING FOR HARWOOD & GITTUS
AT 5 OWENS HILL ROAD, BAGDAD

SMC - KEMPTON

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PROPOSED DWELLING FOR HARWOOD & GITTUS
AT 5 OWENS HILL ROAD, BAGDAD

BAL-12.5
See sheet 13 for
Bushfire Attack Level
construction requirements

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DRAWING: VEGETATION OVERLAY
DATE: 05/08/25
FILE NAME: H1381 DA 080725.dgn
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DWG No:

CONSTRUCTION SCHEDULE BAL-12.5

Construction shall be in accordance with Bushfire Attack Level 12.5 (BAL-12.5) as specified in AS 3959-2018 Construction of Buildings in Bushfire Prone Areas, Sections 3 and 5.

SUBFLOOR shall be either slab-on-ground or timber on isolated piers with brick perimeter. The standard does not provide construction requirements for either of these subfloor construction methods. Refer section 5.3.1 for detail.

EXTERNAL WALLS shall be timber framing, externally lined with sarking and clad with brick veneer or Weathertex cladding respectively. (Weathertex is stated as having a density of 990kg/m3. Any exposed timber shall bushfire resistant timber (AS 3959-2018 Appendix E1 or Appendix F compliant). Compliant timbers include Tas Oak (as Messmate, Peppermint & Manna Gum) or Southern Blue Gum as long as the density is 750 kg/m3 or greater. Refer section 5.4.1 for detail.

JOINTS IN EXTERNAL WALLS are to be covered, sealed, overlapped, backed or butt-jointed to prevent gaps greater than 3mm. Refer section 5.4.2 for detail.

VENTS, WEEPHOLES AND GAPS IN EXTERNAL WALLS greater than 3mm are to be fitted with 2mm minimum aperture, corrosion resistant steel, bronze or aluminium mesh. Refer section 5.4.3 for detail.

BUSHFIRE SHUTTERS when used, shall protect the whole window/door assembly and shall be fixed to the building and be non-removable with gaps no greater than 3mm between the shutter and the wall, sill or head. They must be manually openable from either inside or outside. They shall be made of non-combustible material or bushfire resistant timber (AS 3959-2018 Appendix F compliant). Perforations must have an area no greater than 20% of the shutter and be uniformly distributed with gaps no greater than 3mm (or no greater than 2mm when the openable portion of the window is not screened).

SCREENS shall be fitted internally or externally to openable portions of windows. Screens shall be aluminium framed with 2mm minimum aperture, corrosion resistant steel, bronze or aluminium mesh. No gaps between the perimeter of the screen assembly and the building are to be greater than 3mm. Refer section 5.5.1A for detail. Alternatively, compliant bushfire shutters may be installed.

WINDOWS AND GLAZED SLIDING DOORS and their frames, joinery and architraves can be aluminium framed but can also be PVC which is shown to be bushfire resistant or bushfire resistant timber (AS 3959-2018 Appendix E2 or Appendix F compliant). Compliant timbers include Celery Top, Blackwood, Myrtle, Southern Blue Gum, some Tas Oak (as Messmate, Alpine Ash, Mountain Ash, Silvertop Ash, Peppermint & Manna Gum) or Plantation Ash (as Shining Gum) as long as the density is 650 kg/m3 or greater.

Windows less than 400mm from the ground or less than 400mm above decks, carport roofs, veranda roofs and awnings which have an angle less than 18 degrees shall be a minimum of 4mm Grade A safety glass. When using double glazing this requirement applies to the external face only. Windows above 400mm (when specific glazing is not required by other relevant Standards) may use annealed glass. Sliding doors shall be glazed with a minimum of Grade A safety glass. Refer section 5.5.2 for detail. Alternatively, compliant bushfire shutters may be installed. Care should be taken to ensure that the energy assessor for this project is aware of the minimum glazing requirements for this BAL classification so as to avoid conflict with glazing specifications.

SIDE HUNG EXTERNAL DOORS can be either non-combustible or solid timber with a minimum thickness of 35mm, or hollow core with a non-combustible kick plate on the outside for the first 400mm above the threshold. Glazed doors including French doors and bi-fold must have glazing that complies with the glazing requirements for windows and the frame can be aluminium framed or PVC which is shown to be bushfire resistant or bushfire resistant timber (AS 3959-2018 Appendix E2 or Appendix F compliant). Compliant timbers include Celery Top, Blackwood, Myrtle, Southern Blue Gum, some Tas Oak (as Messmate, Alpine Ash, Mountain Ash, Silvertop Ash, Peppermint & Manna Gum) or Plantation Ash (as Shining Gum) as long as the density is 650 kg/m3 or greater. Refer section 5.5.3 for detail.

DOOR JAMBS AND ARCHITRAVES can be aluminium framed or PVC which is shown to be bushfire resistant or bushfire resistant timber (AS 3959-2018 Appendix E2 or Appendix F compliant). Compliant timbers include Celery Top, Blackwood, Myrtle, Southern Blue Gum, some Tas Oak (as Messmate, Alpine Ash, Mountain Ash, Silvertop Ash, Peppermint & Manna Gum) or Plantation Ash (as Shining Gum) as long as the density is 650kg/m3 or greater. Doors must be tight-fitting to the door jamb (and to the abutting door where applicable). Weather strips or draught excluders shall be installed to all side-hung external doors.

GARAGE DOORS must be fully non-combustible or have the lower portion of the door which is within 400mm of the ground be non-combustible. Panel lift, tilt or side hung doors shall be fitted with weather strips, draught excluders or guide tracks as appropriate to the door type with gaps no greater than 3mm. Roller doors shall have guide tracks with gaps no greater than 3mm or fitted with a nylon brush that is in contact with the door. Refer section 5.5.5 for detail.

ROOF shall be timber framing, lined with sarking on the outside of the frame and clad with corrugated colorbond cladding. Any gaps under ribs or roof components such as roof eave, fascia and wall junctions are to be sealed with 2mm aperture corrosion resistant, steel, bronze or aluminium mesh, or filled with mineral wool to prevent openings greater than 3mm. Refer section 5.6.1, 5.6.2 & 5.6.3 for detail.

VERANDAH, CARPORT OR AWNING ROOFS forming part of the main roof shall meet the requirements of the main roof. Refer section 5.6.4 for detail.

ROOF PENETRATIONS such as skylights, vent pipes and aerials that penetrate the roof shall be sealed to prevent openings greater than 3mm. Openable and vented skylights or vent pipes shall be fitted with 2mm aperture corrosion resistant, steel, bronze or aluminium mesh ember guards. All overhead glazing shall be Grade A safety glass. PVC vent pipes are permitted. Refer section 5.6.5 for detail.

EAVES LINING, FASCIA AND GABLES shall be cement sheet or equivalent non-combustible material and sealed to prevent openings greater than 3mm. Refer section 5.6.6 for detail.

GUTTERS AND DOWNPIPE materials and requirements are not specified in the standard for BAL-12.5 with the exception of box gutters which shall be non-combustible. Gutter and valley leaf guards are not a requirement of the standard but they are strongly recommended. If installed, they must be non-combustible. Refer section 5.6.7 for detail.

VERANDAH AND DECK SUPPORTS AND FRAMING can be timber construction as there are no construction requirements in the standard for BAL-12.5. Decking may be spaced or un-spaced and the sub-floor either enclosed or unenclosed. If the decking is spaced it is assumed that the spacing shall be 3mm nominal spacing with an allowance of between 0-5mm due to seasonal changes. If the deck sub-floor is enclosed, then all materials less than 400mm from the ground shall be non-combustible. Refer section 5.7.1, 5.7.2 & 5.7.3 for detail.

VERANDAHS, DECKS, STEPS, LANDINGS AND RAMPS and their elements can be timber construction as there are no construction requirements for BAL-12.5 except for elements less than 300mm horizontally and 400mm vertically from glazed elements which must be bushfire resistant timber (AS 3959-2018 Appendix E1 or Appendix F compliant) or equivalent non-combustible material. Compliant timbers include Tas Oak (as Messmate, Peppermint & Manna Gum) or Southern Blue Gum as long as the density of 750kg/m3 or greater. An acceptable solution would be to line the area with cement sheet with ceramic tiles over. Refer section 5.7.2.4 for detail.

BALUSTRADES AND HANDRAILS can be timber construction as there are no construction requirements in the standard for BAL 12.5. Refer section 5.7.4 for detail.

WATER AND GAS SUPPLY PIPING where it is above ground and exposed shall be metal. Refer section 5.8 for detail.

BAL-12.5

See sheet 13 for
Bushfire Attack Level
construction requirements

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DRAWING: BUSHFIRE ATTACK LEVEL
DATE: CONSTRUCTION REQUIREMENTS
FILE NAME: 05/08/25
DRAWN BY: H1381 DA 080725.dgn
PC

DWG No:

THIS PLAN IS ACCEPTED BY:

.....
PLEASE NOTE: no variations will be permitted after plans are signed by the client (with exception of Council requirements / approvals).
SIGNATURE:

.....
DATE:



1 Whitestone Drive, Austins Ferry
Hobart, TAS 7011
ABN: 75 009 543 506
Email: tassiesheds@steeline.com.au



Customers Details

Date	22-10-2024	Quote Reference #	98494832.
Customer Name	Mitch Gittus		
Mail Address	Iden Road, Bagdad TAS 7030		
Email Address	mitch.gittus@outlook.com		
Phone		Mobile	0458013160

Building Specification

Building Size	9.000 m (L) x 8.000 m (W) x 3.000 m (H)		
Roof Pitch	15 deg		
Wall Cladding	SteelClad .42bmt Colorbond	Colour	Shale Grey
Roof Cladding	Corrugated .42bmt Colorbond	Colour	Monument
Trim & Colour Details	Barge	Monument	
	Gutters	Monument	
	Downpipe	N/A	
Roller Doors	2x 2500H x 3000W Opening Taurean Series A Roller Door		
Access Doors	1x 2040X820 PA Sentry 650/37 STD Door 0.82 x 2.04m (180 deg swing) Monument		
Windows	None		
	None		
Other Inclusions	None		
	N/A		

Materials

Column	C15019	Rafter	C15019
Knee Brace	N/A	Apex Brace	C10019
Roof Purlin	TH6495	Spacing	0.808 m
Side Wall Girt	TH6495	Spacing	0.933 m
End Wall Girt	TH9695	Spacing	1.400 m

Complete Project Summary

Project Quote (incl GST)

Kit, steel frame & doors	\$15,200.00
Standard Delivery	INCLUDED
Engineering Fee	INCLUDED
Concrete Slab (100mm Slab)	\$14,400.00
Footings Only	\$0.00
Install/Erection	\$5,700.00

Complete Project Summary

Total Project Price (ex GST)	\$32,090.91
GST Value	\$3,209.09
Total Project (Incl. GST)	\$35,300.00

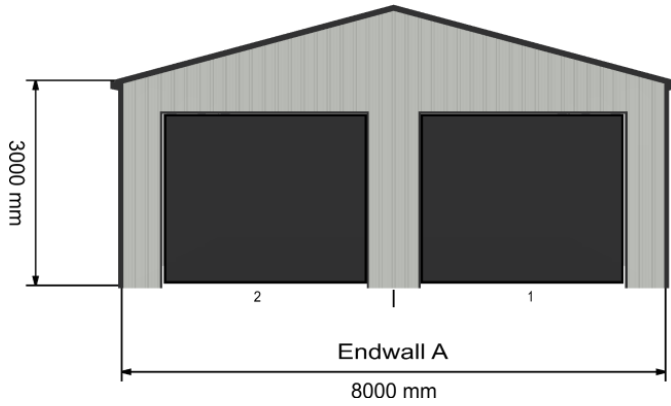
Notes:

PLEASE NOTE – Concrete Slab Price is an estimate only and is conditional to a clear and level site TBC upon a site visit.

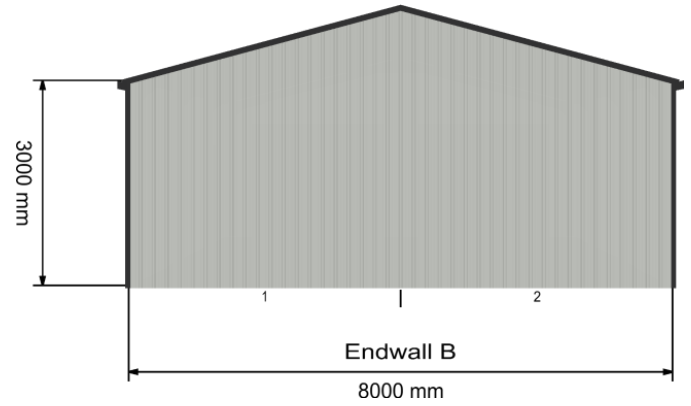
Optional Extra - 4mm Shedliner Supplied/Installed to Whole Shed = \$3,150.00

Building Specification – Drawings

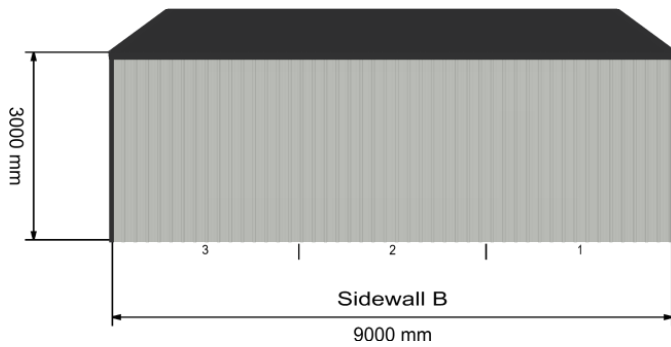
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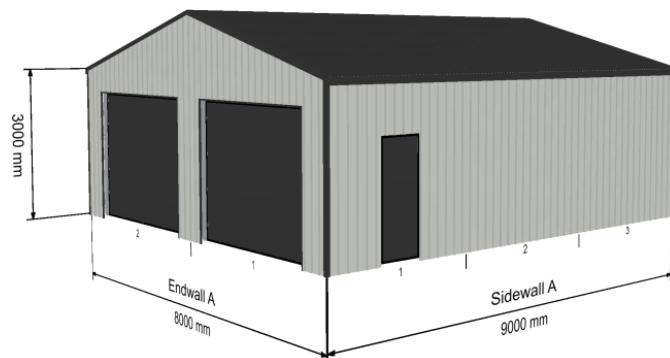
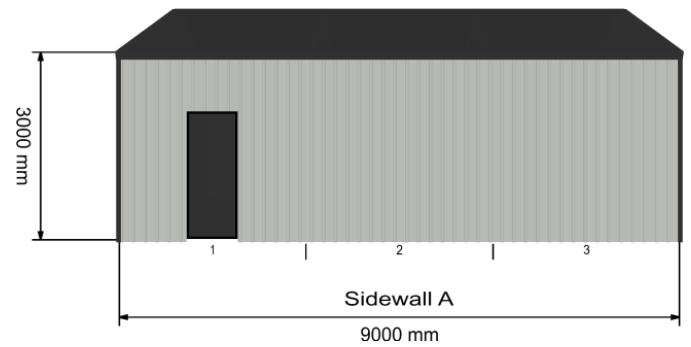
Rear

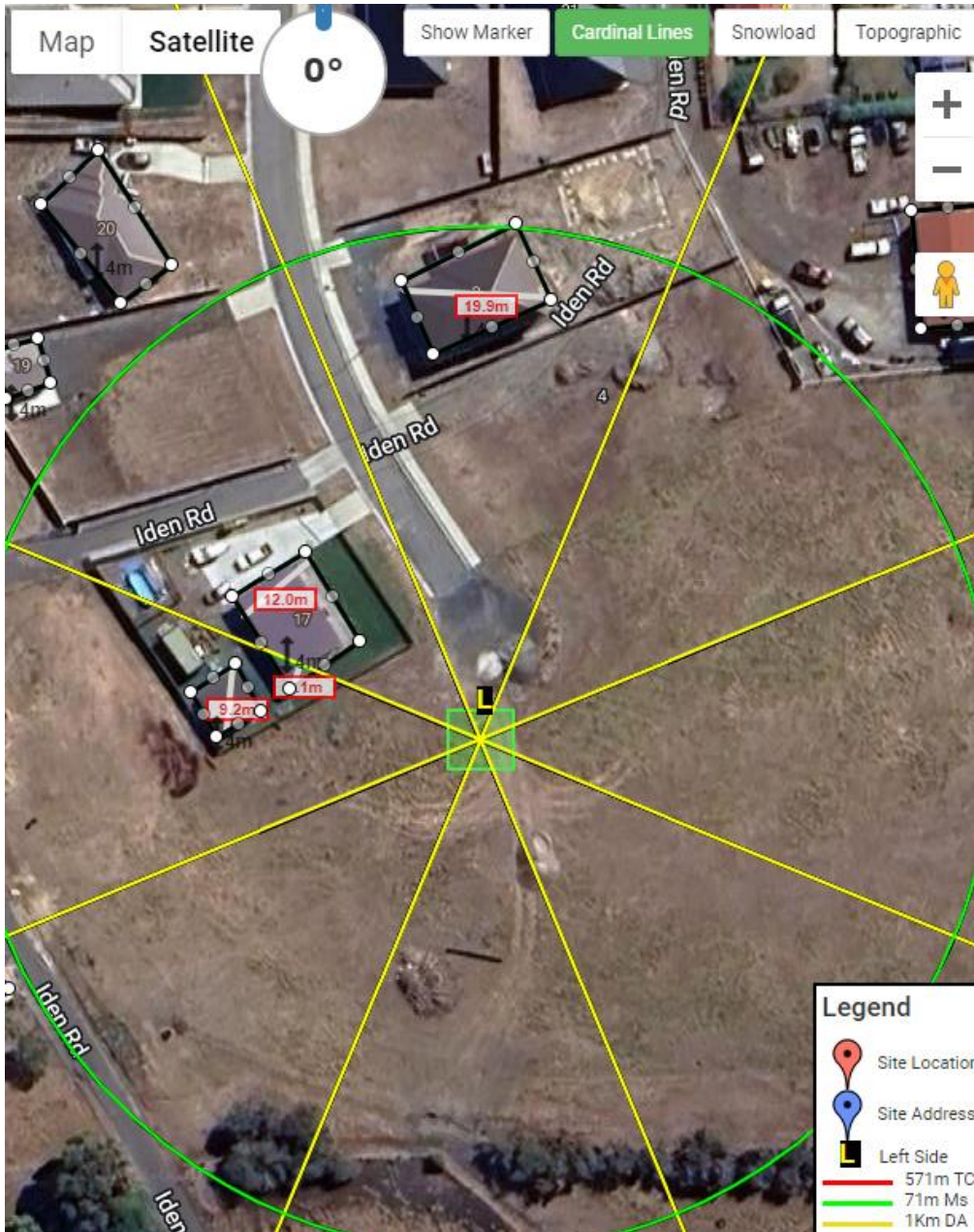


Left Side



Right Side





SHEDSAFE - Site Specification

Site Address	Iden Road, Bagdad TAS 7030
Wind Design Speed	36.3 m/s
Wind Region	A4
Importance Level	2
Terrain Category	2.52

Building Class	10a
Shielding	0.93
Topography	1

Steelne Sheds are ASI (Australian Steel Institute) ShedSafe® Accredited.

This accreditation is the industry benchmark for Australian manufactured steel sheds and gives you peace of mind in that Steelne Sheds are a provider of fully engineered prefabricated steel buildings that are all fully compliant with all relevant Australian Standards and Australian Building Codes.

Kit Price and Fees Overview

Supply Only	\$15,200.00
Project Costs	\$20,100.00
Delivery to Site	Included
Total Price of Project inc GST	\$35,300.00
Payment Schedule Non Account Customers	
25% Deposit on order (engineering/slab details) – Pricing 30 days (includes Drafted Plans and Building Certifier)	\$8,825.00
75% Payment on manufacture of Kit and construction (if applicable)	\$26,475.00
Due on day of Slab/Footings Completion	\$0
Remaining Shed Kit Costs and 50% of Shed Install	\$0
Remainder of install on day of completion	\$0

Quote will only be valid from the date of receipt and may be amended due to price increases, errors and or omissions.

Notes: This quote is valid for thirty days (30) from date of issue.

Quote Acceptance.

CUSTOMER'S SIGNATURE (Print name here.....)

DATED

Bank Details

Westpac Bank

BSB: 037-005

Account: 130057

Reference: 98494832 Gittus

TERMS & CONDITIONS OF SALE**PAYMENTS**

AMOUNT: The customer shall pay Steeline Tasmania instalment amounts (s) stated as per payment terms accompanying this agreement. Steeline Tasmania will also issue a final invoice for the balance of your order which may include any additional items added by the customer.

GOODS: The Supplier is not obliged to deliver any goods unless the customer has paid all amounts in full.

LATE PAYMENT: The Company may, if payment is not received within 7 days of the final invoice date, charge interest at 20% on the overdue amount and unless payment is made in full, the customer will be liable for all costs associated with recovery

RECOVERY OF DEBT: The customer must pay to Steeline Tasmania all debt collection costs, including any legal fees associated with the recovery or attempted recovery of any amount due to the Supplier under the Agreement.

PRICE INCREASE: The Company will hold this order valid and the price firm for a period of no more than *two calendar months* from the date of signed Agreement unless otherwise agreed in writing. Should any increases in costs be experienced prior to approval being obtained and the customer does not take delivery prior to the expiry date, the customer will pay all increases in costs.

DELIVERY

SHORTAGES: In the case of kit purchases, the customer shall inspect the goods immediately on delivery and shall within seven (7) days of delivery give notice in writing to the company of any shortages in relation thereto. If the customer fails to give such notice, then the customer shall be deemed to have accepted the goods as being delivered in their entirety and the Agreement is finalised provided all monies under the Agreement have been paid in full.

INSURANCES: Once the said goods have been delivered to site, the owner of the property is then responsible for the security of the said goods and is liable for any loss or damage thereto. If the customer arranges transport, such risk to the company shall only extend up to the time of loading of the goods and delivery shall be deemed to be taken thereupon.

DELAYED DELIVERY: The delivery date agreed is subject to the availability of material, labour, industrial disputes and unseasonal weather conditions. The company will not be held liable for any delays caused by incalculable issues.

SITE ACCESS: The customer will at his expense provide, or cause to be provided full and clear truck access to the delivery site. If this is not provided, delivery will be made on the front lawn or nature strip.

BUILDING APPROVAL

OBTAINING FINAL INSPECTION IS THE SOLE RESPONSIBILITY OF THE CUSTOMER: This will need to be arranged when the customer has the stormwater connected in accordance with council requirements. Time limitations will apply: ideally final inspection should be carried out within 2 months from completion. Any costs associated with approvals over those stated on this Agreement are to be paid for by the customer including any late or re-inspection fees.

THE CUSTOMER CAN NOT PROCEED WITH ANY WORKS WITHOUT PERMISSION: The customer must not carry out any works pertinent to this Agreement until all approvals have been received from the relevant approval authorities and any conditions of signed Agreement have been agreed to and met by the customer. If the customer has obtained their own authority approvals, It is up to the customer to advise Steeline Tasmania of these approvals and provide a copy of the approvals. The company will take no responsibility for any premature action by the customer.

ERECTION

DOWNPIPES: Downpipes are only supplied if stated or listed in the quotation/Order. If supplied it is the responsibility of the Customer or accredited drainage Plumber to install the downpipe.

WORKMANSHIP: The Company will ensure that the work performed shall meet Acceptable building standards, All work will be performed with tradesman like manner. It is the customers responsibility to provide a clear accessible site for construction.

WARRANTIES

THIRD PARTIES WARRANTIES: Where the term 'structure' is referred to herein it means, the steel structure only and does not include sheeting, trims, doors, windows, or rainwater goods. The warranties for these components are provided by the relevant manufactures and are varied and limited. **WARNING:** Severe coastal conditions will reduce the life of all components by corrosion and will be excluded from all warranties.

MAINTENANCE: The customer must keep all garden beds, soils or acidic material away from metal cladding and components of the building or corrosion may occur which will reduce the life of the products and void all manufacturer's warranties.

DEFECTS LIABILITY PERIOD: The Company agrees for a period of twelve months from the date of signed Agreement to rectify any faults or damage caused by materials or workmanship in the manufacture of the structure. The company will not be responsible for any faults or damage caused by negligence of the customer, his servants, or agents or by the customer performing any work or having performed any work on the structure.

GENERAL

EXTENSION OF CONSTRUCTION TIME: If the progress of work is delayed as a result of any variations to the Agreement, any industrial action or civil commotion affecting the Agreement, unavailability of material necessary to the execution of the Agreement, any delays brought about in obtaining the relevant authorized approvals exceeding 14 days from the date of this Agreement, any delays brought about by the owner or any other cause beyond the reasonable control of the company, then the company may, within a reasonable time, claim an extension in the number of calendar days equal to the period of delay.

MARKETING: the customer hereby grants the company and any person authorized by the company permission to film or photograph the building and without restraint allow its use for any promotional purposes without any recall to the company whether legal or monetary.

TERMINATION: should the customer or the company wish to terminate the Agreement after signing same, they must give written instructions providing 7 days' notice and they must state the grounds on which termination is sought. It is at the company's sole discretion to accept or reject the termination. Regardless, the customer will be obliged to pay all the costs expended to the date on the Agreement plus the profit margin that the company would have made on the Agreement, which could exceed the money paid on the Agreement to that date.

ADDITIONAL CHARGES FOR MOST COMMON ISSUES

CUSTOM SLAB DESIGN: If required the foundation data must be obtained before entering into this contract. Alternatively, all concrete floors will be designed to suit "class 10 buildings" and up to Class M soil and will assume founding into natural ground. If Steeline Tasmania is to obtain the foundation data, this must be requested in writing and all costs associated with the soil report and associated slab design be paid in addition to the standard slab design. A copy must be given to the customer upon payment of the costs incurred in obtaining the data. Similarly, if there is any fill on the site, deeper and or extra piers may be required at a cost to the owner.

HARD DIGGINGS: If when excavating the site the company discovers that if required the hire of machinery or extra labour such as Jack hammering, Rock breaking, etc. the customer will pay these extra costs in addition to the Agreement price.

HIDDEN OBSTRUCTIONS: If during construction, services are damaged requiring repair such as telecommunications, electrical, storm water, etc. the customer will pay the costs associated with the repair in addition to the Agreement price. It is the customer's responsibility to advise the company of the existence of any such obstructions and to arrange (and pay any associated costs) for the relocation of same as required.

SITE PREPARATIONS: If the site is to be levelled by the customer and site is not level within 50mm the costs associated with providing a level building platform including the supply and placement of fill and construction of concrete piers will be paid as extra variation to the Agreement price.

APPROVAL OR ASSET PROTECTION FEES: If approval or asset protection for the building can only be obtained with amendments or additional information, thus incurring additional costs as required by the local council or certifier, the customer will pay all the extra costs associated above the fees included in the original Agreement price.

SITE CLEAN UP (OWNER'S RESPONSIBILITY): If the customer requires the company to remove the packaging or left over materials and any soil/rubbish associated with the works, from the site, unless noted otherwise in the Agreement the customer will pay these costs including labour and dump fees in addition to the Agreement price.

HANDOVER: The keys for any building will not be handed over until payment is made in full, (trades will return them to the sales office).

BUILDING PERMIT APPLICATION Service: Should you require Steeline Tasmania is to submit Planning & Building Permit Applications all council costs associated will be payable by the Applicant/Customer.

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5/08/2025

era
PLANNING
& ENVIRONMENT

Lot 202 Owens Hill Road, Bagdad Bushfire Hazard Report

For planning approval

12 October 2021



ERA Planning Pty Ltd trading as ERA Planning and Environment

ABN 67 141 991 004

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Job Number: 2021-131**Document Status**

Document Version	Date	Author	Reviewer
Draft for review	13 August 2021	Frances Beasley	Clare Hester
Draft for TFS review	1 September 2021	Frances Beasley	Clare Hester
Final for issue	12 October 2021	Frances Beasley	Clare Hester

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2

2 Site description

2.1 Title details

The site for the purposes of this report is contained within Certificate of Title 179101/202 and has no easements or covenants of relevance to this bushfire assessment. The Title documents are attached as **Appendix B**.

2.2 Site and surrounds

The subject land is located at lot 202 Owens Hill Road, Bagdad (see Figure 2) and has a total site area of approximately 1.2 ha. The land is currently used as grazing pasture for horses and does not contain any significant standing vegetation or built structures other than fencing. The land is positioned at the southern termination of a newly subdivided area off Iden Road.

The site is in a small pocket of Bagdad that has been subdivided and subsequently developed for residential purposes. The surrounding area beyond this is predominantly agricultural land and native bushland. Land immediately to the south of the site at 18 Owens Hill Road contains an existing dwelling and a large area that is irrigated under a recycled water scheme from the TasWater sewage treatment facility on CT 12855/1.

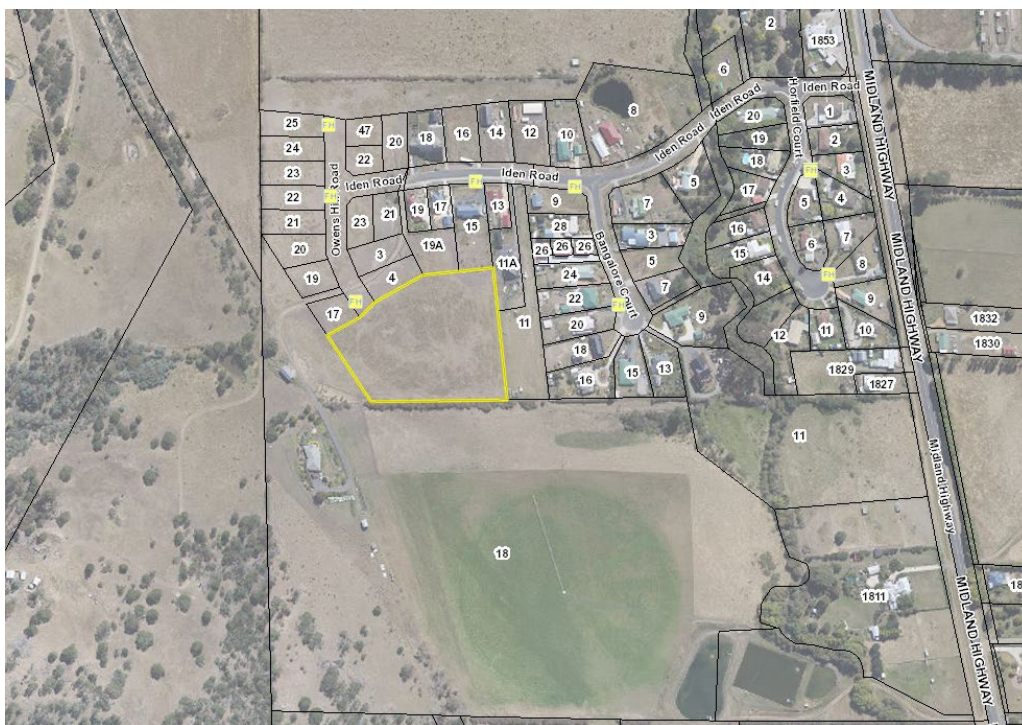


Figure 2: Subject site outlined in yellow (Source: LISTmap)

2.3 Planning context

The relevant planning instrument for use and development of the site is the *Southern Midlands Interim Planning Scheme 2015*. The site and adjoining land to the north are zoned Village with land to the south zoned Rural Resource and land to the west zoned Environmental Living (see Figure 3). The site is also within the Bushfire-Prone Areas overlay under the Scheme.

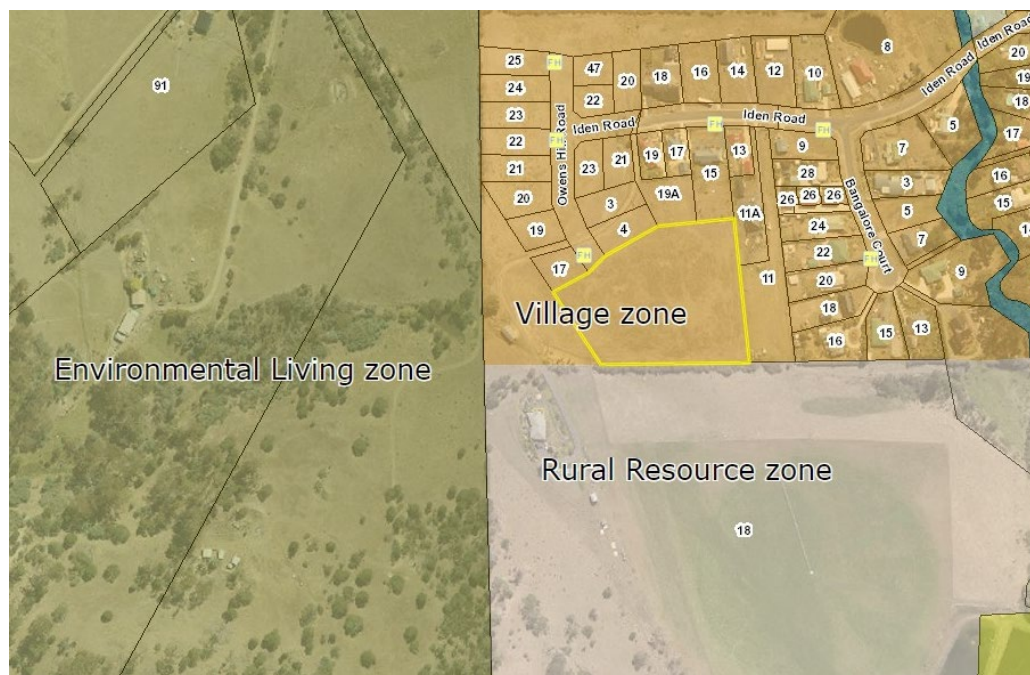


Figure 3: Zoning. Site outlined in yellow (Source: LISTmap)

2.4 Natural values

The TASVEG 4.0 database maps the site and all land within 100 m from the site as agricultural land.

2.5 Fire history of area

The site is recorded as being within 3.3 km of a planned burn in October 2017. The site is not mapped as being directly impacted by bushfire (see Figure 4).

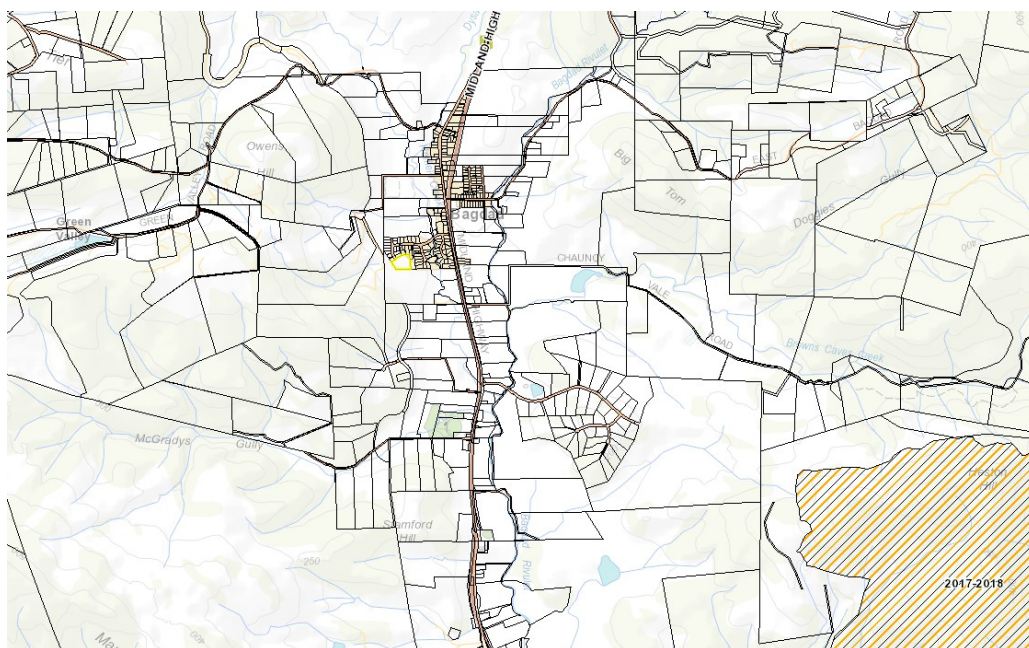


Figure 4: Fire history of area. Site outlined in yellow (Source: LISTmap)

3 Bushfire Hazard Assessment

The subject site is located within the Bushfire-prone Areas overlay for the Southern Midlands municipality and is within 100 m of an area of bushfire-prone vegetation equal to or greater than 1 ha. Therefore, the site is within a 'bushfire prone area' as defined under Clause E1.3 of the Bushfire-Prone Areas Code.

The key factors affecting bushfire behaviour are fuel, weather conditions and topography. This section of the report considers these factors in the context of *AS 3959-2018 construction of buildings in bushfire-prone areas*, which is required to determine compliance with planning and building requirements for bushfire protection.

3.1 Vegetation and effective slope

AS 3959-2018 provides categories for classifying vegetation based on structural characteristics.

The Bushfire Attack Level (BAL) determines the likely exposure to uncontrolled bushfire hazard. The method for determining BAL ratings is outlined in AS 3959-2018. This assessment has relied on Method 1, which considers vegetation type, distance from hazardous vegetation and effective slope.

'Effective Slope' refers to the slope of land underneath bushfire-prone vegetation relative to the subject site. Effective Slope affects a fire's rate of spread and flame length and is accordingly a critical aspect affecting bushfire behavior. AS 3959-2018 refers to five categories of Effective Slope and these have been used for the purposes of this analysis.

A site visit was undertaken on 23 July 2021 to classify the vegetation within 100 m of the building area on each lot. Figure 5 shows land within 100 m of the building areas that contains vegetation classified as bushfire prone.

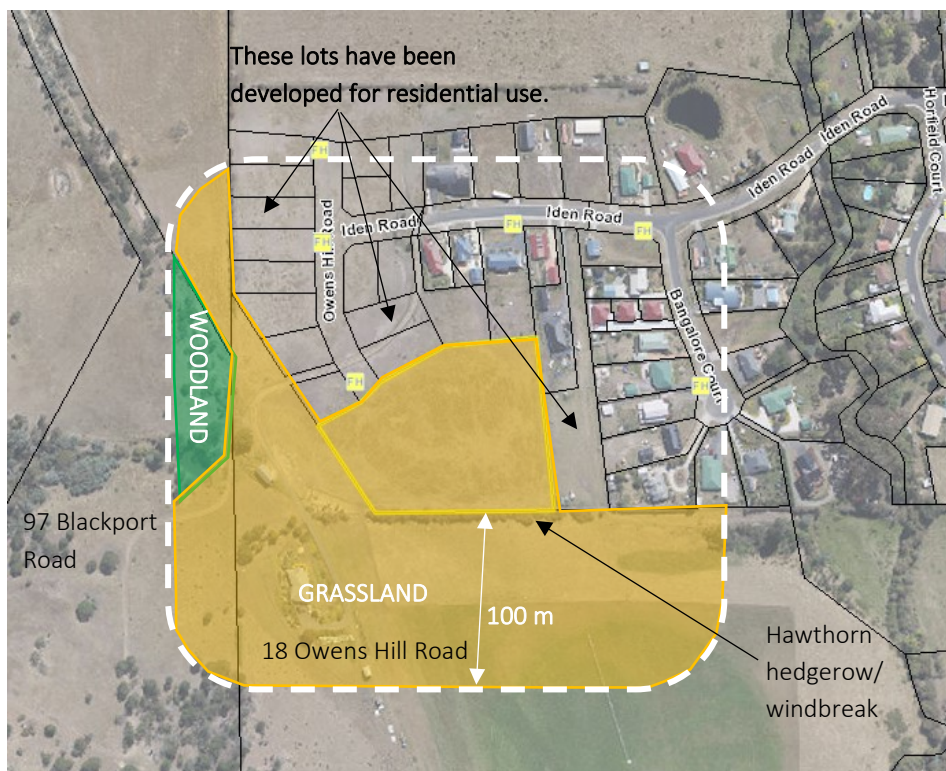


Figure 5: Site analysis

3.1.1 Vegetation assessment in accordance with Table 2.3 of AS 3959-2018

The applicable Fire Danger Index (FDI) for Tasmania is 50 in accordance with AS 3959-2018 Clause 2.2.2. The vegetation within 100 m of the site has been assessed below.

Grassland vegetation

As identified in Figure 5 and shown in Figure 6 to Figure 8, the site and surrounding land contain areas of unmanaged grasses predominantly used for animal grazing. The vegetation is unmanaged and has an average height of more than 100 mm and is therefore classified as Group G – Grassland under AS 3959-2018. The effective slope of grassland vegetation relative to the proposed subdivision is upslope to the west and downslope >0 to 5 degrees to the south. Land within 100 m of the site to the north and east is managed and does not contain bushfire-prone vegetation.



Figure 6: Grassland vegetation and existing dwelling on 18 Owens Hill Road with forest vegetation (more than 100 m from the site) seen in background. (Source: F. Beasley, 23 July 2021)



Figure 7: Grassland vegetation on subject site looking east. (Source: F. Beasley, 23 July 2021)



Figure 8: Grassland vegetation on subject site looking northwest 17 Owens Hill Road and 97 Blackport Road (Source: F. Beasley, 23 July 2021)

Woodland vegetation

There is an area of vegetation approximately 60 m west of the site which contains 5 m – 15 m tall eucalypt trees following the alignment of the access handle for 97 Blackport Road as illustrated in Figure 5. This area of vegetation was surrounded on either side by grassland vegetation and had a canopy cover of approximately 10 – 30%. This area of vegetation is classified as Group B – Woodland and is upslope of the proposed subdivision.

Exclusions – Low threat vegetation and non-vegetated areas

As illustrated in Figure 5 and shown in Figure 9 and Figure 10, there are areas within 100 m of the site that are excluded from the BAL assessment pursuant to clause 2.2.3.2 of AS 3959-2018. This includes land developed for residential which is excluded pursuant to clause 2.2.3.2(e) and managed gardens which are excluded pursuant to clause 2.2.3.2(f).



Figure 9: Newly developed area on Owens Hill and Iden Road to the north of site. (Source: F. Beasley, 23 July 2021)



Figure 10: Newly developed area on Owens Hill Road looking southwest. (Source: F. Beasley, 23 July 2021)

4 Bushfire Protection Measures

A range of bushfire protection measures are recommended to improve resilience of the proposed development during a bushfire event and to achieve a tolerable level of residual risk to occupants. The protection measures are outlined in this section and have been consolidated in a Bushfire Hazard Management Plan under **Appendix C**.

4.1 Hazard Management Areas

The Hazard Management Area (HMA) refers to land that is managed in a minimum fuel condition to reduce the potential exposure of habitable buildings and occupants to radiant heat and flames and to provide defensible space. The effectiveness of the hazard management areas is reliant on ongoing maintenance by landowners.

Based on the existing separation distances from classified vegetation, all proposed lots would be BAL-FZ, predominantly due to the extent of Grassland vegetation on the subject site, to the south and to the west. It is noted that once the subdivision has been fully developed, any vegetation retained on site will be managed in accordance with the BHMP and will therefore be classified as low threat vegetation.

The site is located approximately 60 m from an area of vegetation classified as Group B – Woodland. However, the predominant vegetation type is Group G – Grassland and therefore the required separation distances shown on the BHMP are based on this vegetation type as the intensity of fire once it gets to the site would be a grassland fire rather than woodland.

The required HMA's and minimum separation distances between bushfire-prone vegetation and the proposed building areas are identified on the BHMP. The entirety of all lots is to be maintained as an HMA. The HMA's must be implemented concurrently across all lots within the subdivision, and prior to titles being sealed. The HMA's must be maintained by the relevant owners in perpetuity.

Following the implementation of the required HMA's the following bushfire attack level (BAL) rating can be achieved for the building area on each respective lot:

- Lots 1 – 5: BAL-LOW
- Lot 6: BAL-12.5
- Lots 7 – 13: BAL-19 or BAL-12.5 (if located wholly within the area marked as BAL-12.5 on the BHMP).

The requirements relating to the maintenance of HMA's are listed under Table 1 below and the minimum extents of the HMA for each lot are demonstrated on the BHMP.

Table 1 – Hazard Management Area Prescriptions

Hazard Management Area Prescriptions	
<i>Within 10m of habitable buildings</i>	<ul style="list-style-type: none"> • No storage of flammable materials (e.g. firewood); • Avoid locating flammable garden materials near vulnerable building elements such as glazed windows/doors, decks and eaves (e.g. non-fire-retardant plants and combustible mulches); • Non-flammable features such as paths, driveways and paved areas are encouraged around habitable buildings.

Hazard Management Area Prescriptions	
<i>Trees within HMA</i>	<ul style="list-style-type: none"> • Maintain canopy separation of approximately 2.0m; • Ensure no branches overhang habitable buildings; • Remove tree branches within 2.0m of ground level below; • Locate any new tree plantings 1.5 x their mature height from house; • Avoid planting trees with loose, stringy or ribbon bark.
<i>Understory vegetation within HMA</i>	<ul style="list-style-type: none"> • Maintain grass cover at <100mm; • Maintain shrubs to <2.0m height; • Shrubs to be maintained in clumps so as to not form contiguous vegetation (i.e. clumps up to 10sqm in area, separated from each other by at least 10m); • Avoid locating shrubs directly underneath trees; • Periodically remove dead leaves, bark and branches from underneath trees and around habitable buildings.

4.2 Construction standards

A future habitable building located within the specified building area, setback the minimum distance shown on the BHMP and provided with the requisite hazard management area is to be designed and constructed to a minimum of BAL-19 (lots 7 – 13), BAL-12.5 (lot 6) standard under AS 3959-2018. Once the subdivision is fully developed, lots 1 – 5 will be more than 50 m from Grassland vegetation and therefore will be BAL-LOW.

The entirety of all lots is to be maintained as a hazard management area as specified on the BHMP. BAL-19, BAL-12.5 and BAL-LOW building areas are identified in Figure 11 below.

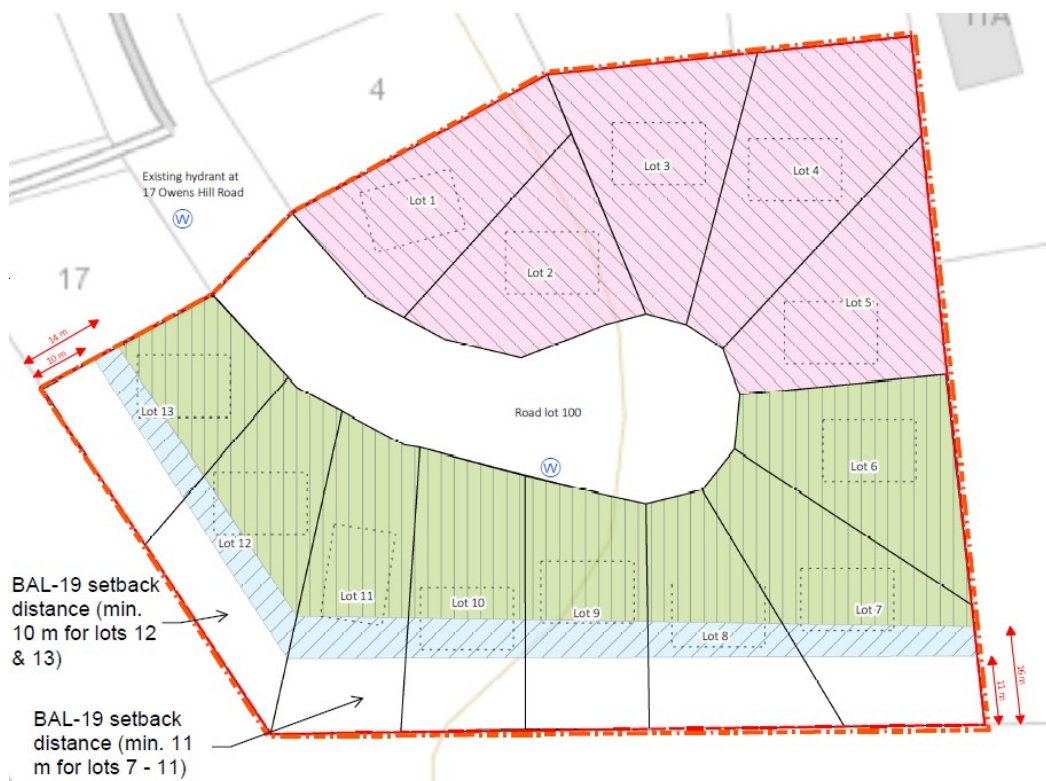


Figure 11: Hazard Management Areas with BAL-19, BAL-12.5 and BAL-LOW building area shown hatched in blue, green, and pink respectively. (Source: ERA Planning and Environment)

4.3 Access

The subdivision includes construction of a new road with connection to Owens Hill Road to the north of the site. The new road must be constructed prior to the sealing of titles and in accordance with the specifications set out in Table 2 below.

Private accesses to each lot will be less than 30 m in length and there will be no onsite water supply, therefore firefighting appliances will not be required to access the site and will defend the properties from the newly constructed road reserve.

The proposal is consistent with the requirements of Clause E1.6.2 A1 of the Bushfire-Prone Areas Code.

Table 2 – Road Specifications

Table E1 Standards for roads	
A. Roads	<p>Unless the development standards in the zone require a higher standard, the following apply:</p> <ul style="list-style-type: none"> a) Two-wheel drive, all-weather construction; b) load capacity of at least 20 t, including for bridges and culverts; c) minimum carriageway width is 7 m for a through-road, or 5.5 m for a dead-end or cul-de-sac road; d) minimum vertical clearance of 4 m; e) minimum horizontal clearance of 2 m from the edge of the carriageway; f) cross falls of less than 3 degrees (1:20 or 5%); g) maximum gradient of 15 degrees (1:3.5 or 28%) for sealed roads, and 10 degrees (1:5.5 or 18%) for unsealed roads; h) curves have a minimum inner radius of 10m; i) dead-end of cul-de-sac roads are not more than 200 m in length unless the carriageway is 7m in width; j) dead-end of cul-de-sac roads have a turning circle with a minimum outer radius of 12 m; and k) carriageway less than 7 m wide have 'No Parking' zones on one side, indicated by a road sign that complies with <i>Australian Standard AS1743-2001 Road signs – Specifications</i>.

4.4 Water

The site is in an area with a reticulated water service and a fire hydrant is proposed to be installed as part of the subdivision within the newly constructed road reserve, as demonstrated on the BHMP. All parts of the building area on each lot are within 120 m of the future fire hydrant measured as a hose lay.

The fire hydrant must be installed prior to the sealing of titles and in accordance with the specifications set out in Table 3 below. The proposal is consistent with the requirements of Clause E1.6.3 A1(b) of the Bushfire-Prone Areas code.

Table 3 – Water Supply Specifications

Table E4 Reticulated Water Supply for Fire fighting	
<i>A. Distance between building area to be protected and water supply</i>	<p>The following requirements apply:</p> <ul style="list-style-type: none"> a) The building area to be protected must be located within 120 metres of a fire hydrant; and b) The distance must be measured as a hose lay, between the fire fighting water point and the furthest part of the building area.
<i>B. Design criteria for fire hydrants</i>	<p>The following requirements apply:</p> <ul style="list-style-type: none"> a) fire hydrant system must be designed and constructed in accordance with <i>TasWater Supplement to Water Supply Code of Australia WSA 03 – 2011-3.1 MRWA 2nd Edition</i>; and b) fire hydrants are not installed in parking areas.
<i>C. Hardstand</i>	<p>A hardstand area for fire appliances must be:</p> <ul style="list-style-type: none"> a) No more than 3 m from the hydrant, measured as a hose lay; b) No closer than 6 m from the building area to be protected; c) A minimum width of 3 m constructed to the same standard as the carriageway; and d) Connected to the property access by a carriageway equivalent to the standard of the property access.

5 Bushfire-Prone Areas Code

5.1 Purpose of the Code

The purpose of the Bushfire-Prone Areas Code (the code) is identified under clause E1.1.1 as follows:

The purpose of this Code is to ensure that use and development is appropriately designed, located, serviced and constructed to reduce the risk to human life and property and the cost to the community, caused by bushfire.

In accordance with clause E1.2.1 the code applies to the subdivision of land:

(a) Development, on land that is located within, or partially within, a bushfire-prone area, consisting of the subdivision of land...

5.2 Development standards

E1.6.1 Subdivision: Provision of hazard management areas

A1

- (a) TFS or an accredited person certifies that there is an insufficient increase in risk from bushfire to warrant the provision of hazard management areas as part of a subdivision; or*
- (b) The proposed plan of subdivision:*
- (i) shows all lots that are within or partly within a bushfire-prone area, including those developed at each stage of a staged subdivision;*
 - (ii) shows the building area for each lot;*
 - (iii) shows hazard management areas between bushfire-prone vegetation and each building area that have dimensions equal to, or greater than, the separation distances required for BAL 19 in Table 2.4.4 of Australian Standard AS 3959:2009 Construction of buildings in bushfire-prone areas; and*
 - (iv) is accompanied by a bushfire hazard management plan that addresses all the individual lots and that is certified by the TFS or accredited person, showing hazard management areas equal to, or greater than, the separation distances required for BAL 19 in Table 2.4.4 of Australian Standard AS 3959:2009 Construction of buildings in bushfire-prone areas; and*
- (c) If hazard management areas are to be located on land external to the proposed subdivision the application is accompanied by the written consent of the owner of that land to enter into an agreement under section 71 of the Act that will be registered on the title of the neighbouring property providing for the affected land to be managed in accordance with the bushfire hazard management plan.*

Proposal assessment

The BHMP shows hazard management areas equal, or greater than, the separation distances required for BAL-19 in Table 2.6 of AS 3959-2009 *Construction of buildings in bushfire-prone area*.

The bushfire hazard management plan is certified by an accredited person and there are no hazard management areas required external to the site.

The proposal complies with A1 (b).

<p>E1.6.2 Subdivision: Public and fire fighting access</p> <p>A1</p> <p>(a) <i>TFS or an accredited person certifies that there is an insufficient increase in risk from bushfire to warrant specific measures for public access in the subdivision for the purposes of fire fighting; or</i></p> <p>(b) <i>A proposed plan of subdivision showing the layout of roads, fire trails and the location of property access to building areas is included in a bushfire hazard management plan that:</i></p> <p style="padding-left: 40px;">(i) <i>demonstrates proposed roads will comply with Table E1, proposed private accesses will comply with Table E2 and proposed fire trails will comply with Table E3; and</i></p> <p style="padding-left: 40px;">(ii) <i>is certified by the TFS or an accredited person.</i></p>	<p>Proposal assessment</p> <p>The subdivision includes a new road, and each proposed lot will have direct street frontage. The BHMP demonstrates compliance with the requirements of Table E1.</p> <p>Firefighting appliances will be able to defend the building area of each new lot from the proposed road reserve (lot 100), with fire hydrants to be provided at intervals along the road reserve.</p> <p>A1(b) is satisfied.</p>
<p>E1.6.3 Subdivision: provision of water supply for firefighting purposes</p> <p>A1</p> <p><i>In areas serviced with reticulated water by the water corporation:</i></p> <p>(a) <i>TFS or an accredited person certifies that there is an insufficient increase in risk from bushfire to warrant the provision of a water supply for fire fighting purposes;</i></p> <p>(b) <i>A proposed plan of subdivision showing the layout of fire hydrants, and building areas, is included in a bushfire hazard management plan approved by the TFS or accredited person as being compliant with Table E4; or</i></p> <p>(c) <i>A bushfire hazard management plan approved by the TFS or accredited person demonstrates that the provision of water supply for fire fighting purposes is sufficient to manage the risks to property and lives in the event of a bushfire.</i></p>	<p>Proposal assessment</p> <p>The site is serviced with reticulated water. The BHMP shows each building area to be protected located within 120 m of a fire hydrant; with the distance measured as a hose lay, between the firefighting water point and the furthest part of the building area.</p> <p>The proposal complies with A1 (b).</p>
<p>A2</p> <p><i>In areas that are not serviced by reticulated water by the water corporation:</i></p> <p>(a) <i>TFS or an accredited person certifies that there is an insufficient increase in risk from bushfire to warrant the provision of a water supply for fire fighting purposes;</i></p> <p>(b) <i>The TFS or an accredited person certifies that a proposed plan of subdivision demonstrates that a static water supply, dedicated to fire fighting, will be provided and located compliant with Table E5; or</i></p>	<p>Proposal assessment</p> <p>Not applicable.</p>

(c) <i>A bushfire hazard management plan certified by the TFS or an accredited person demonstrates that the provision of water supply for fire fighting purposes is sufficient to manage the risks to property and lives in the event of a bushfire.</i>	
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6 Building compliance

Future building work on the subject lots that is in accordance with the BHMP (**Appendix C**) can be relied upon for the purposes of building approval pursuant with Clause r.11H of the *Building Regulations 2014*. Clause 11F(2)(a) allows for a BHMP prepared for a subdivision of which the relevant lot is a part, be used in support of the building permit application, if no more than six years old.

7 Conclusion

The proposed subdivision is in a bushfire-prone area with grassland vegetation south and west of the site presenting the greatest risk. The subdivision is to occur in a single stage.

The BHMP provides a building area on all lots that can comply with a minimum of BAL-19 construction standard under AS 3959-2018.

The Bushfire Attack Level construction standard is dependent on the establishment and maintenance of hazard management areas as prescribed on the BHMP. The BHMP prepared for the subdivision outlines the required protection measures including hazard management areas, building siting and construction, access, and water supply standards. The BHMP is certified by an accredited Bushfire Hazard Practitioner and counter-signed by the Tasmanian Fire Service.

The following conditions are recommended to be placed on the planning permit:

- The bushfire hazard management plan (BHMP) dated 12 October 2021 is to form part of the planning permit with maintenance of bushfire hazard management areas on all lots being the responsibility of current and future owners.
- The BHMP, including construction of the road and installation of fire hydrants must be implemented concurrently across all lots within the subdivision and prior to titles being sealed. The hazard management areas must be maintained by the relevant owner in perpetuity.

Appendix A Proposal plans

SMC - KEMPTON
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5/08/2025



UNIT 1, 2 KENNEDY DRIVE
CAMBRIDGE 7170
PHONE: (03)6248 5898
EMAIL: admin@rbsurveyors.com
WEB: www.rbsurveyors.com

This plan has been prepared only for the purpose of obtaining preliminary
subdivisional approval from the local authority and is subject to that approval.

All measurements and areas are subject to the final survey.

Base image by TASMAP (www.tasmap.tas.gov.au), © State of Tasmania
Base data from the LIST (www.thelist.tas.gov.au), © State of Tasmania



IDEN ROAD



Building Area/ Setback



Development Standards for Subdivision
16.5.1 Village
A1-Complies (600m² - 1000m²).
A2-With the exception of Lot 11
a) Complies. Clear of setbacks
b) Complies. Clear of codes
c) Complies. Clear of easements
d) Complies. 1:5 Slope
e) Complies. 20 West - 30 E
f) Complies all lots except Lot 11
But we believe it will satisfy P2.
A3- The frontage does not comply.
It does satisfy P3.
A4-Complies. No internal lots.
A5-Complies. No existing buildings.

PIPELINE AND SERVICES EASEMENT
AND DRAINAGE EASEMENT 3.50 WIDE

(SP179101)

(SP172556)

PIPELINE AND SERVICES EASEMENT
AND DRAINAGE EASEMENT 3.50 WIDE

PIPELINE AND SERVICES
EASEMENT AND DRAINAGE
EASEMENT VARIABLE WIDTH

(SP179101)

(SP179101)

ROAD
100
1802m²

DRAINAGE EASEMENT
2.00 WIDE

WATER LOT CONNECTIONS 20mm DIAM
SEWER LOT CONNECTIONS 100mm DIAM

S/W 225d

S/W 300d

EXISTING
SEWER
150 diam

E				
D				
C				
B				
A	UPDATE LOT LAYOUT AND SERVICES	SH	30-09-21	SH
REV	AMENDMENTS	DRAWN	DATE	APPR.

OWNER: ELLIOTT ARTHUR BOOTH
TITLE REFERENCE: C.T.179101/202
LOCATION: 21 IDEN ROAD
BAGDAD

Proposed Subdivision

Date: 10-05-2021	Reference: BOOTE01 8500-01
Scale: 1:600 (A3)	Municipality: SOUTHERN MIDLANDS

Appendix B Title details

Department of Primary Industries, Parks, Water and Environment

LAND TITLES OFFICE - LAND TASMANIA

GPO Box 541, Hobart, Tasmania 7001
Ph (03)61654444
Email: titles.enquiries@dpiwpe.tas.gov.au
Web: www.dpiwpe.tas.gov.au



23 June 2020

TO: **ROGERSON & BIRCH**
UNIT 1
2 KENNEDY DRIVE
CAMBRIDGE 7170

**NOTICE OF ACCEPTANCE
OF**

SEALED PLAN NO: 179101

SUBDIVIDER: ELLIOTT ARTHUR BOOTH

I have accepted this Plan. Enclosed is a copy in the form in which it has taken effect.

Titles issued and dispatch details are as follows:

Volume	Folio	Dispatch
179101	16	Dispatched on: 08-Jul-2020 to: ROGERSON & BIRCH
179101	12	Dispatched on: 08-Jul-2020 to: ROGERSON & BIRCH
179101	11	Dispatched on: 08-Jul-2020 to: ROGERSON & BIRCH
179101	14	Dispatched on: 08-Jul-2020 to: ROGERSON & BIRCH
179101	13	Dispatched on: 08-Jul-2020 to: ROGERSON & BIRCH
179101	100	Dispatched on: 08-Jul-2020 to: SOUTHERN MIDLANDS COUNCIL
179101	201	Dispatched on: 08-Jul-2020 to: ROGERSON & BIRCH
179101	202	Dispatched on: 08-Jul-2020 to: ROGERSON & BIRCH
179101	9	Dispatched on: 08-Jul-2020 to: ROGERSON & BIRCH
179101	8	Dispatched on: 08-Jul-2020 to: ROGERSON & BIRCH
179101	5	Dispatched on: 08-Jul-2020 to: ROGERSON & BIRCH
179101	4	Dispatched on: 08-Jul-2020 to: ROGERSON & BIRCH
179101	7	Dispatched on: 08-Jul-2020 to: ROGERSON & BIRCH
179101	10	Dispatched on: 08-Jul-2020 to: ROGERSON & BIRCH
179101	6	Dispatched on: 08-Jul-2020 to: ROGERSON & BIRCH
179101	1	Dispatched on: 08-Jul-2020 to: ROGERSON & BIRCH
179101	3	Dispatched on: 08-Jul-2020 to: ROGERSON & BIRCH
179101	2	Dispatched on: 08-Jul-2020 to: ROGERSON & BIRCH

SMC - KEMPTON
RECEIVED
5/08/2025



ROBERT MANNING
Recorder of Titles

Registered Number

179101

COUNCIL APPROVAL

(Insert any qualification to the permit under section 83(5), section 109 or section 111 of the Local Government (Building & Miscellaneous Provisions) Act 1993)
The subdivision shown in this plan is approved

In witness whereof the common seal of Southern Midlands Council
has been affixed, pursuant to a resolution of the Council of the said municipality
passed the 18th day of May 2020, in the presence of us
Member Anthony B. Byles
Member Ch. B. Byles
Council Delegate Paul Byles

Council Reference SA 1986/102 - GP

NOMINATIONS

For the purpose of section 88 of the Local Government (Building & Miscellaneous Provisions) Act 1993
the owner has nominated

BUTLER, MCINTYRE & BUTLER

Solicitor to act for the owner

ROGERSON & BIRCH SURVEYORS

Surveyor to act for the owner

OFFICE EXAMINATION:

Indexed ✓Computed 22/6/2020Examined 22/6/2020

1 JUL 20

OWNER ELLIOTT ARTHUR BOOTH

FOLIO REFERENCE C.T.172556/1

GRANTEE PART OF 180A-3R-33Ps GRANTED TO
CLAUDE ARMYTAGE GALLETLY & REGINALD
ARMYTAGE GALLETLY

PLAN OF SURVEY

BY SURVEYOR CRAIG BRADLEY ROGERSON
ROGERSON AND BIRCH SURVEYORS
UNIT 1 - 2 KENNEDY DRIVE, CAMBRIDGE PARK
PH 6248-5898 MOB. 0418-120-796LAND DISTRICT OF MONMOUTH
PARISH OF STRANGFORD

SCALE 1: 2,000

LENGTHS IN METRES

REGISTERED NUMBER

SP179101

APPROVED
EFFECTIVE

FROM - 7 JUL 2020

Recorder of Titles

LOT 201 IS COMPILED FROM SP172556/1 AND THIS SURVEY

ALL EXISTING SURVEY NUMBERS TO BE
CROSS REFERENCED ON THIS PLAN

INDEX PLAN

(SP150929)

(SP150929)

(SP44333)

(D 41329)

(SP10963)

(SP172556)

201
5.319haPIPELINE AND SERVICES EASEMENT
'A' & DRAINAGE EASEMENT
'A' 4.00m WIDEDRAINAGE EASEMENT
4.00 WIDE (SP142976)DRAINAGE EASEMENT
4.00 WIDE (SP109381)DRAINAGE EASEMENT
3.00 WIDE (SP109381)274°57'20" 281°41' 30.76 21.39 29.53 29.41 27.23 'A' 57.00 'B' 3.00m WIDE
PIPELINE AND SERVICES EASEMENT
'B' & DRAINAGE EASEMENT
'B' 3.00m WIDE
WAYLEAVE EASEMENT 2.50m WIDE

IDEN ROAD

(SP142976)

PIPELINE AND SERVICES EASEMENT
'C' & DRAINAGE EASEMENT
'C' 3.50m WIDE

WAYLEAVE EASEMENT 2.50m WIDE

PIPELINE AND SERVICES EASEMENT
'C' & DRAINAGE EASEMENT
'C' 3.50m WIDE

WAYLEAVE EASEMENT 2.50m WIDE

PIPELINE AND SERVICES EASEMENT
'C' & DRAINAGE EASEMENT
'C' 3.50m WIDE

WAYLEAVE EASEMENT 2.50m WIDE

PIPELINE AND SERVICES EASEMENT
'C' & DRAINAGE EASEMENT
'C' 3.50m WIDE

WAYLEAVE EASEMENT 2.50m WIDE

PIPELINE AND SERVICES EASEMENT
'C' & DRAINAGE EASEMENT
'C' 3.50m WIDE

WAYLEAVE EASEMENT 2.50m WIDE

PIPELINE AND SERVICES EASEMENT
'C' & DRAINAGE EASEMENT
'C' 3.50m WIDE

WAYLEAVE EASEMENT 2.50m WIDE

PIPELINE AND SERVICES EASEMENT
'C' & DRAINAGE EASEMENT
'C' 3.50m WIDE

WAYLEAVE EASEMENT 2.50m WIDE

PIPELINE AND SERVICES EASEMENT
'C' & DRAINAGE EASEMENT
'C' 3.50m WIDE

WAYLEAVE EASEMENT 2.50m WIDE

PIPELINE AND SERVICES EASEMENT
'C' & DRAINAGE EASEMENT
'C' 3.50m WIDE

WAYLEAVE EASEMENT 2.50m WIDE

PIPELINE AND SERVICES EASEMENT
'C' & DRAINAGE EASEMENT
'C' 3.50m WIDE

WAYLEAVE EASEMENT 2.50m WIDE

PIPELINE AND SERVICES EASEMENT
'C' & DRAINAGE EASEMENT
'C' 3.50m WIDE

WAYLEAVE EASEMENT 2.50m WIDE

PIPELINE AND SERVICES EASEMENT
'C' & DRAINAGE EASEMENT
'C' 3.50m WIDE

WAYLEAVE EASEMENT 2.50m WIDE

(SP174167)

202
1.261ha
(SP172556)

ENLARGEMENT 1:1000

PIPELINE AND SERVICES EASEMENT
'C' & DRAINAGE EASEMENT
'C' 3.50m WIDE

(SP152392)

ROAD 100

BANGALORE COURT

202
1.261ha

Registered Land Surveyor

23.4.2020
Date

Council Delegate

18.5.20
Date

PLAN OF SURVEY
ANNEXURE SHEET

SHEET 1 OF 1 SHEETS

OWNER: ELLIOTT ARTHUR BOOTH

FOLIO REFERENCE: C.T.172556/1

SCALE 1:500

LENGTH IN METRES

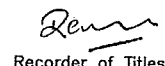
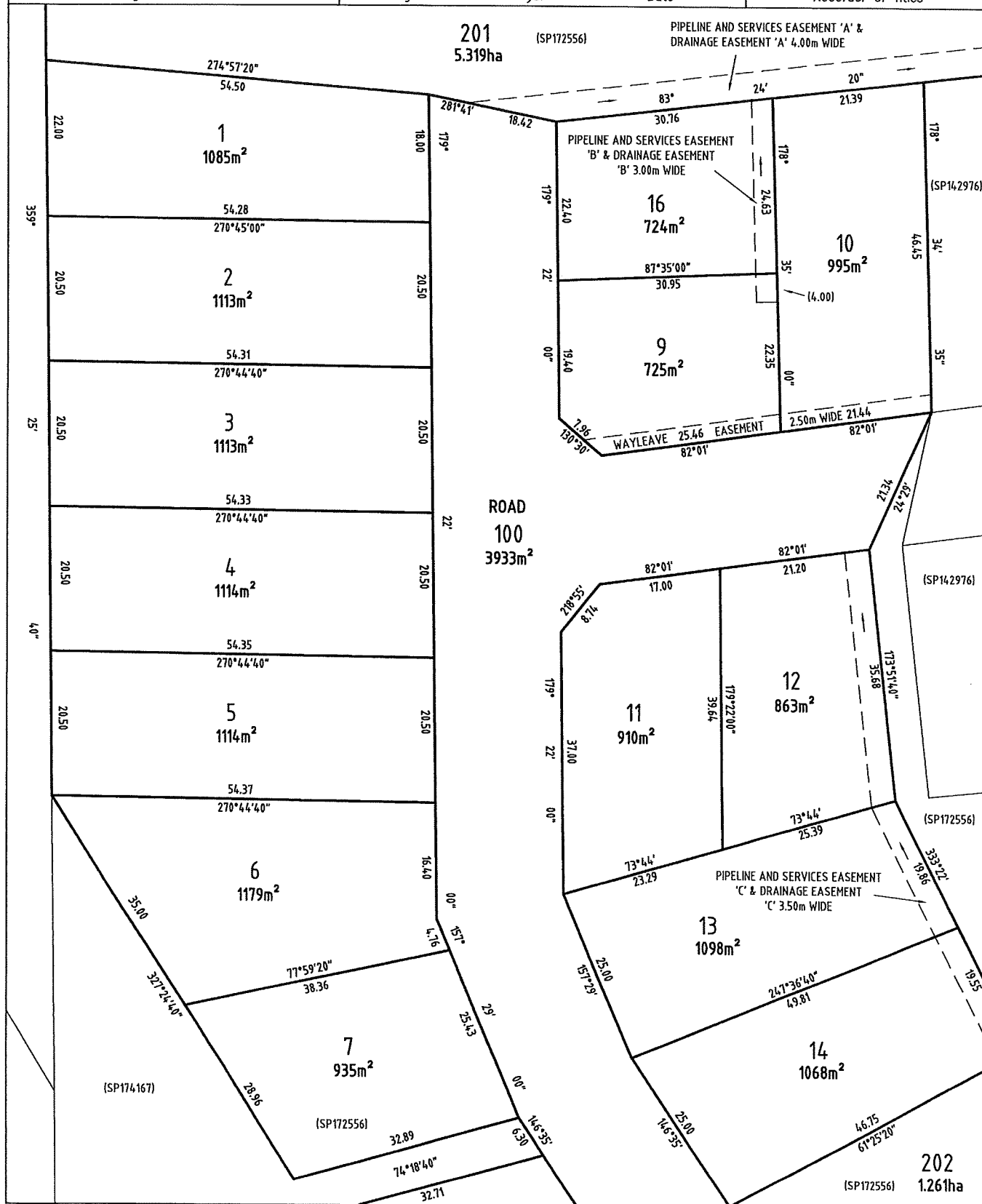
Registered Number

179101

SIGNED FOR IDENTIFICATION PURPOSES

THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED
INDEX PLANAPPROVED
EFFECTIVE

FROM - 7 JUL 2020


Council Delegate18-5-2020
Date
Registered Land Surveyor23-4-2020
Date
Recorder of Titles

SURVEY NOTES

SHEET 1 OF 3 SHEETS

Registered Number

SP179101

CROSS REFERENCE PLAN NUMBERS
USED AS PART OF THIS SURVEY

LENGTHS IN METRES

Owner:

ELLIOTT ARTHUR BOOTH

Folio Reference:

172556/1

Purpose of Survey:

SUBDIVISION

SURVEY CERTIFICATE

I, Craig Bradley Rogerson of Acton Park

in Tasmania a Registered Land Surveyor HEREBY CERTIFY that:

- (a) this survey is based upon the best evidence that the nature of the case admits.
- (b) the survey notes have been truly compiled from surveys made by me or made under my supervision; and
- (c) this survey and accompanying survey notes comply with the relevant legislation affecting surveys and are correct for the purpose required.

Signature

Date 23/4/2020

Survey Commenced: 25-02-2020

Survey Completed: 11-03-2020

Surveyors Ref: BOOTE01 8500-06

Horizontal Datum: GDA94

Bearing Datum: MGA94

Combined Scale Factor: 0.99957928

MGA94 COORDINATE ORIGIN

SURCOM	Mark ID: SPM10144	E 517819.465	N 5283109.237	EPU ±0.04	
AUSPOS	Local coordinated mark:	E	N	EPU	Measurement Duration:
NRTK	Local coordinated mark:	E	N	EPU	CORS provider:

Single base station CORS
CORS provider:Local comparison information
SURCOM Check Mark ID:

SURCOM: E		N		EPU
Measured: E		N		EPU
Δ E		Δ N		
E	N	EPU		

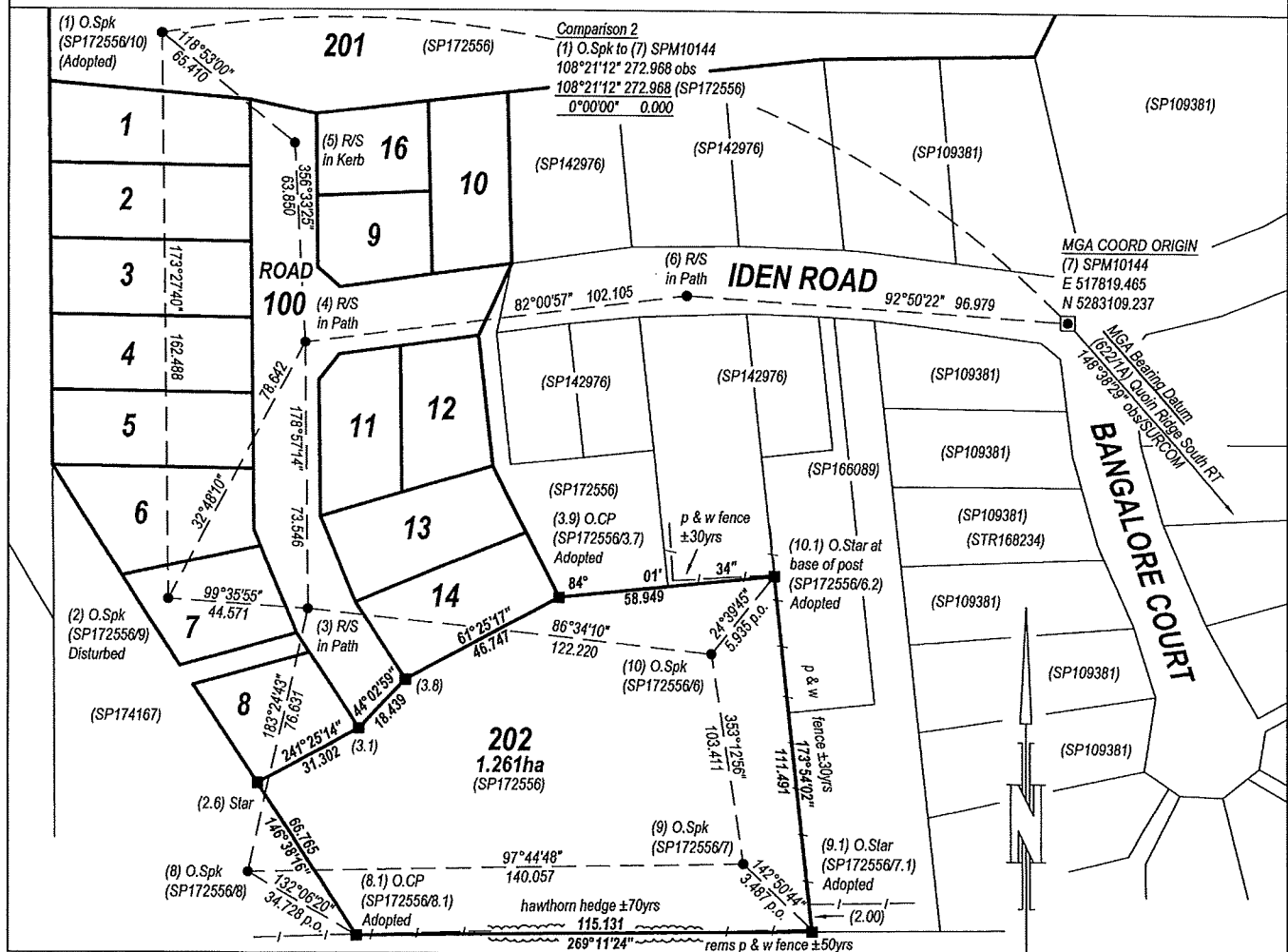
MGA94 BEARING ORIGIN

MGA Bearing Datum

(7) SPM10144 to (622/1A) Quoin Ridge South RT
148°38'29" obs/SURCOM

BOUNDARY REINSTATEMENT REPORT

(Where not documented in the body of these survey notes, describe all evidence, (including statements by interested parties), comparisons and other information relevant to the reinstatement of boundaries)



SHEET 2 OF 3 SHEETS

CROSS REFERENCE PLAN NUMBERS
USED AS PART OF THIS SURVEY

OWNER: ELLIOTT ARTHUR BOOTH
FOLIO REFERENCE: C.T.172556/1

THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED SURVEY NOTES.

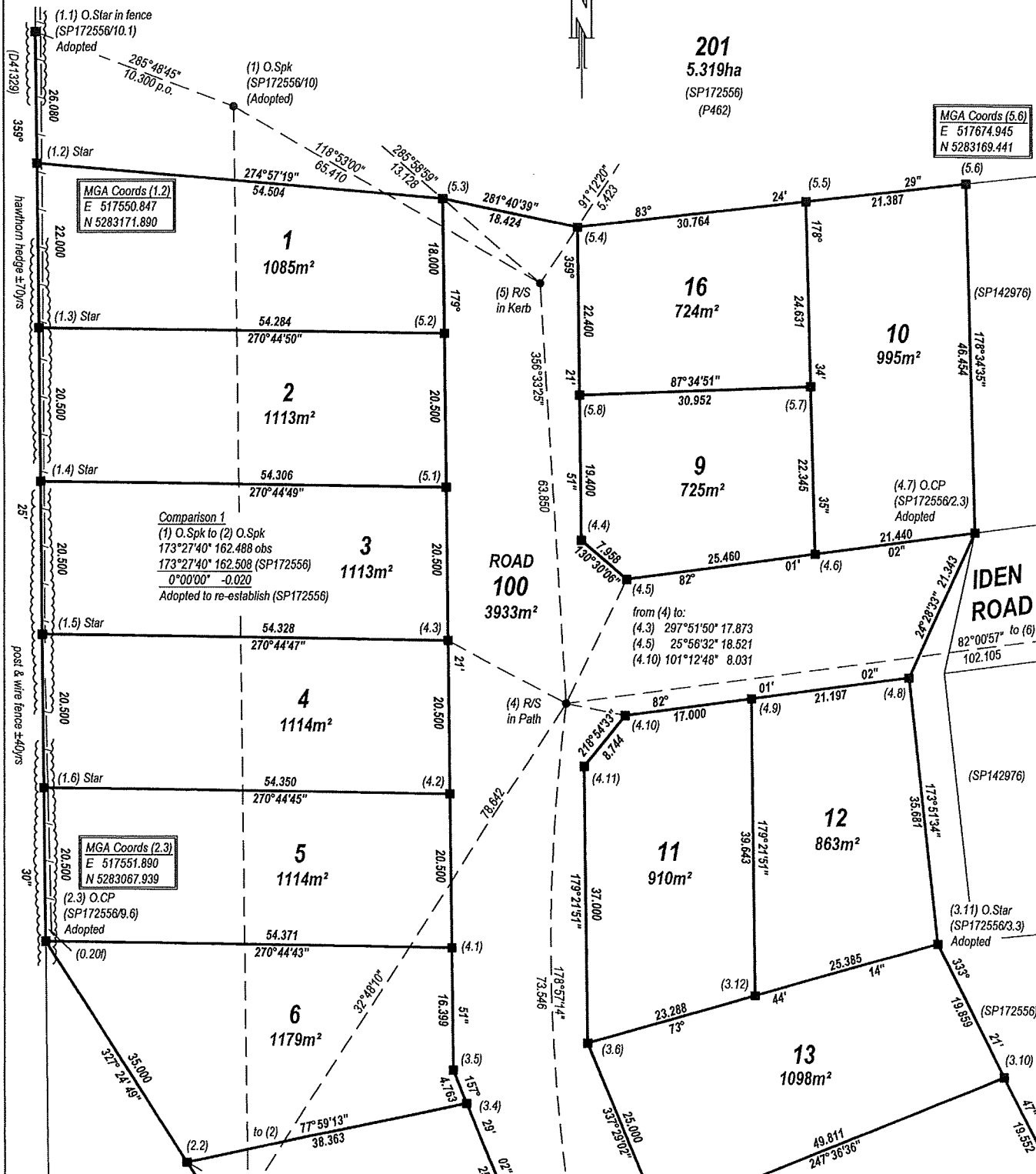
Registered Number

SP 179 101

LENGTHS IN METRES

Notes

1. This survey has been carried out using conventional total station techniques.
2. All corners shown are CP's and all boundaries are open unless otherwise stated.
3. Error of close 1:81,600 adjusted to zero
4. The estimated positional uncertainty of boundary corner coordinates shown within this survey is $\pm 0.06m$.
5. These survey notes are compiled from original survey notes and field survey by Registered Candidate Sam Harvey.



CROSS REFERENCE PLAN NUMBERS
USED AS PART OF THIS SURVEY

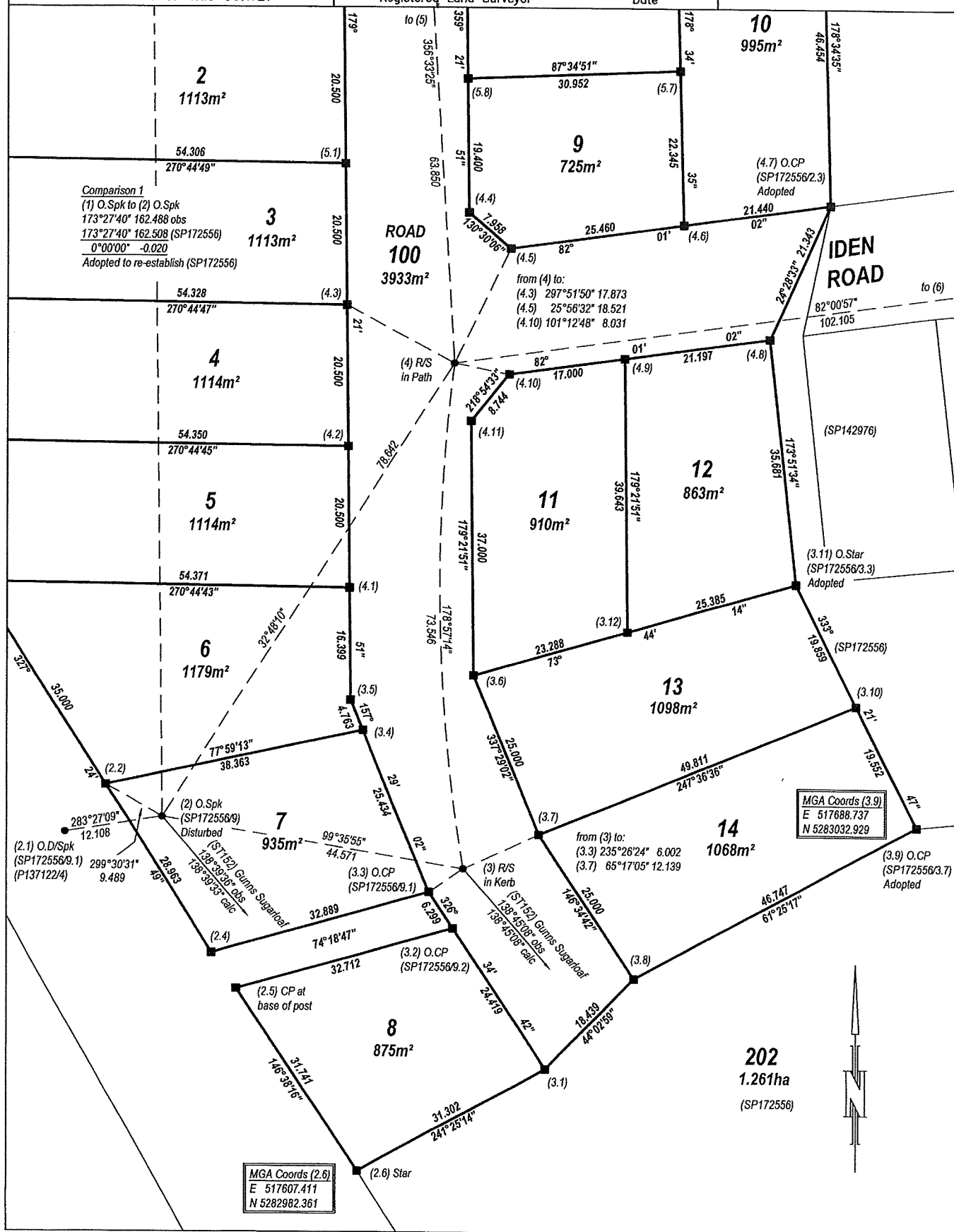
OWNER: ELLIOTT ARTHUR BOOTH
FOLIO REFERENCE: C.T.172556/1

THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED
SURVEY NOTES.

Registered Number

SP 179101

LENGTHS IN METRES



SCHEDULE OF EASEMENTS

NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.

Registered Number

SP 179101

PAGE 1 OF 8 PAGES

8

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

FENCING COVENANT:

The owner of each lot on the Plan covenants with Elliott Arthur Booth (the Vendor) that the Vendor shall not be required to fence.

EASEMENTS:

Lots 12, 13, 14 and 202 on the Plan ("the Lots") are each SUBJECT TO a Pipeline and Services Easement (as defined herein) in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Limited, its successors and assigns ("TasWater") over the area marked "PIPELINE AND SERVICES EASEMENT 'C' & DRAINAGE EASEMENT 'C' 3.50m WIDE" on the Plan ("the Easement Land").

Lots 9 and 16 on the Plan ("the Lots") are each SUBJECT TO a Pipeline and Services Easement (as defined herein) in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Limited, its successors and assigns ("TasWater") over the area marked "PIPELINE AND SERVICES EASEMENT 'B' & DRAINAGE EASEMENT 'B' 3.00m WIDE" on the Plan ("the Easement Land").

Lot 201 on the Plan ("the Lot") is SUBJECT TO a Pipeline and Services Easement (as defined herein) in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Limited, its successors and assigns ("TasWater") over the area marked "PIPELINE AND SERVICES EASEMENT 'A' & DRAINAGE EASEMENT 'A' 4.00m WIDE" on the Plan ("the Easement Land").

T-T0929802-2

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: Elliott Arthur Booth
FOLIO REF: Volume 172556 Folio 1

SOLICITOR
& REFERENCE: Butler, McIntyre & Butler: BW200245

PLAN SEALED BY: Southern Midlands Council

DATE: 18th May 2020

SA1986/102-68

REF NO.

Council Delegate

NOTE: The Council Delegate must sign the Certificate for the purposes of identification.

ANNEXURE TO SCHEDULE OF EASEMENTS

PAGE 2 OF 8 PAGES
8

Registered Number

SP 179101

SUBDIVIDER: Elliott Arthur Booth

FOLIO REFERENCE: Folio of the Register Volume 172556 Folio 1

Lots 9 and 10 on the Plan are each SUBJECT TO a Wayleave Easement (as defined herein) in gross in favour of Tasmanian Networks Pty Ltd and its successors and its and their servants, agents, invitees and contractors ("TasNetworks") over the area marked "WAYLEAVE EASEMENT 2.50m WIDE" on the Plan.

Lot 201 on the Plan is SUBJECT TO a Right of Drainage (appurtenant to Lots 50, 51 & 52 on SP142976) over the Drainage Easement 4.00 Wide marked "H" "A" on the Plan.

Lot 201 on the Plan is SUBJECT TO a Right of Drainage (appurtenant to Lots 53-54 on SP109381) over the Drainage Easement 3.00 and 4.00 Wide marked "A" "B" "C" on the Plan.

Lot 201 on the Plan is SUBJECT TO a Right of Drainage (appurtenant to Lots 53-⁵⁵~~54~~ on SP109381) over the Drainage Easement 3.00 Wide marked "D" "E" on the Plan.

Lot 201 on the Plan ("the Lot") is SUBJECT TO a Pipeline and Services Easement (as defined herein) in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Limited, its successors and assigns ("TasWater") over the area marked "PIPELINE EASEMENT 6.00m WIDE (P45685)" on the Plan ("the Easement Land").

Lot 201 on the Plan ("the Lot") is SUBJECT TO a Pipeline and Services Easement (as defined herein) in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Limited, its successors and assigns ("TasWater") over the area marked "DRAINAGE EASEMENT 4.00m WIDE (SP142976)" on the Plan ("the Easement Land").

Lot 201 on the Plan ("the Lot") is SUBJECT TO a Pipeline and Services Easement (as defined herein) in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Limited, its successors and assigns ("TasWater") over the area marked "DRAINAGE EASEMENT 4.00m WIDE (SP109381)" on the Plan ("the Easement Land").

T-T0929802-2

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 8 PAGES	Registered Number SP 179101
SUBDIVIDER: Elliott Arthur Booth FOLIO REFERENCE: Folio of the Register Volume 172556 Folio 1	

Lot 201 on the Plan ("the Lot") is SUBJECT TO a Pipeline and Services Easement (as defined herein) in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Limited, its successors and assigns ("TasWater") over the area marked "DRAINAGE EASEMENT 3.00m WIDE (SP109381)" on the Plan ("the Easement Land").

EASEMENTS CONTINUED ON PAGE 8

RESTRICTIVE COVENANTS:

The owner of each lot on the Plan covenants with the Vendor and the owner of each and every other lot on the Plan and to the intent that the burden of the covenant will run with and bind the covenantor's lot and every part thereof and that the benefit thereof may be created in favour of each and every other lot on the Plan to observe the following stipulations:

other than in respect of lot 10, not to erect or permit to be erected on the lot or any part thereof more than one (1) dwelling.

The Vendor reserves the right to sell any lot on the Plan free and exempt from any one or more of the covenants set forth in relation to any lot shown on the Plan and/or to waive modify alter or extinguish any one or more of the covenants set forth above as to any lot not transferred. The exercise of this right by the Vendor in relation to any lot shall not release the owner of any other lot from any other covenants imposed upon such lot or give the owner of any lot any right of action against the Vendor or any person or persons.

DEFINITIONS:

"Pipeline and Services Easement" means:-

THE FULL RIGHT AND LIBERTY for TasWater at all times to:

- (1) enter and remain upon the Easement Land with or without employees, contractors, agents and all other persons duly authorised by it and with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse and repair the Infrastructure;
- (4) remove and replace the Infrastructure;
- (5) run and pass sewage, water and electricity through and along the Infrastructure;

T-T0929802-2

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

ANNEXURE TO SCHEDULE OF EASEMENTS

PAGE 4 OF 8 PAGES

Registered Number

SP 179101

SUBDIVIDER: Elliott Arthur Booth

FOLIO REFERENCE: Folio of the Register Volume 172556 Folio 1

- (6) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (1) without doing unnecessary damage to the Easement Land; and
 - (2) leaving the Easement Land in a clean and tidy condition; and
- (7) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and all other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lots from the highway at any then existing vehicle entry and cross the Lots to the Easement Land; and
- (8) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lots.

PROVIDED ALWAYS THAT:

- (1) The registered proprietors of the Lots in the folio of the Register ("the Owner") must not without the written consent of TasWater first had and obtained and only in compliance with any conditions which form the consent:
 - (a) alter, excavate, plough, drill or otherwise penetrate the ground level of the Easement Land;
 - (b) install, erect or plant any building, structure, fence, pit, well, footing, pipeline, paving, tree, shrub or other object on or in the Easement Land;
 - (c) remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land;
 - (d) do any thing which will or might damage or contribute to damage to any of the Infrastructure on or in the Easement Land;
 - (e) in any way prevent or interfere with the proper exercise and benefit of the Easement Land by TasWater or its employees, contractors, agents and all other persons duly authorised by it; or
 - (f) permit or allow any action which the Owner must not do or acquiesce in that action.
- (2) TasWater is not required to fence any part of the Easement Land.

T-T0929802-2

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

ANNEXURE TO SCHEDULE OF EASEMENTS

PAGE 5 OF 8 PAGES
8

Registered Number

SP 179101

SUBDIVIDER: Elliott Arthur Booth

FOLIO REFERENCE: Folio of the Register Volume 172556 Folio 1

- (3) The Owner may erect a fence across the Easement Land at the boundaries of the Lots.
- (4) The Owner may erect a gate across any part of the Easement Land subject to these conditions:
 - (a) the Owner must provide TasWater with a key to any lock which would prevent the opening of the gate; and
 - (b) if the Owner does not provide TasWater with that key or the key provided does not fit the lock, TasWater may cut the lock from the gate.
- (5) If the Owner causes damage to any of the Infrastructure, the Owner is liable for the actual cost to TasWater of the repair of the Infrastructure damaged.
- (6) If the Owner fails to comply with any of the preceding conditions, without forfeiting any right of action, damages or otherwise against the Owner, TasWater may:
 - (a) reinstate the ground level of the Easement Land; or
 - (b) remove from the Easement Land any building, structure, pit, well, footing, pipeline, paving, tree, shrub or other object; or
 - (c) replace any thing that supported, protected or covered the Infrastructure.

"Infrastructure" means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) power poles and lines, electrical wires, electrical cables and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land, the Infrastructure or any warnings or restrictions with respect to the Easement Land or the Infrastructure;
- (f) any thing reasonably required to support, protect or cover any of the Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

T-T0929802-2

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 6 OF 7 PAGES 8	Registered Number SP 179 101
SUBDIVIDER: Elliott Arthur Booth FOLIO REFERENCE: Folio of the Register Volume 172556 Folio 1	

"Wayleave Easement" means:

FIRSTLY the full and free right and liberty for TasNetworks at all times:

(a) **TO** clear the lands marked "WAYLEAVE EASEMENT 2.50m WIDE" on the Wayleave Easement Identification Plan annexed (described as "the servient land") and to lay, erect, construct, inspect, install, maintain, repair, modify, add to, replace, remove and operate in, upon, through, over, along and under the servient land the following:

(i) Towers, poles, wires, cables, apparatus, appliances, and all other ancillary and associated equipment which includes telecommunication equipment (described collectively as "electricity infrastructure")

for, or principally for, the transmission and distribution of electrical energy and for any incidental purposes.

(b) **TO** operate and maintain electricity infrastructure on the servient land.

(c) **TO** cut away remove and keep clear of the electricity infrastructure all trees and other obstructions or erections of any nature whatsoever which may at any time:

(i) overhang, encroach upon or be in or on the servient land; or

(ii) which may in the opinion of TasNetworks endanger or interfere with the proper operation of the electricity infrastructure.

(d) **TO** enter the servient land for all or any of the above purposes and to cross the remainder of the land with any and all necessary plant, equipment, machinery and vehicles for the purpose of access and egress to and from the servient land, and where reasonably practicable, in consultation with the registered proprietor/s (except when urgent or emergency repair work is needed).

SECONDLY the benefit of a covenant for TasNetworks and with the registered proprietor/s for themselves and their successors not to:

(i) erect any buildings; or

(ii) place any structures, objects or vegetation;

within the servient land without the prior written consent of TasNetworks. TasNetworks may rescind their consent if in the opinion of TasNetworks there are safety, access or operational concerns.

T-T0929802-2

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

**ANNEXURE TO
SCHEDULE OF EASEMENTS**

PAGE 7 OF 8 PAGES

Registered Number

SP 179101

SUBDIVIDER: Elliott Arthur Booth

FOLIO REFERENCE: Folio of the Register Volume 172556 Folio 1

SIGNED by ELLIOTT ARTHUR BOOTH in)
The presence of:)
ELLIOTT ARTHUR BOOTHWitness: 

Name: Sandra Oakley

Address: 19 Iden Road, Bagdad, TAS, 7030

Occupation: Triage Clerk

T-T0929802-2

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

**ANNEXURE TO
SCHEDULE OF EASEMENTS**

PAGE 8 OF 8 PAGES

Registered Number

SP179101

SUBDIVIDER: Elliott Arthur Booth

FOLIO REFERENCE: Folio of the Register Volume 172556 Folio 1

EASEMENTS (continued):

Lots 12, 13, 14 and 202 on the Plan are each SUBJECT TO a right of drainage in gross in favour of Southern Midlands Council over the area marked "PIPELINE AND SERVICES EASEMENT 'C' & DRAINAGE EASEMENT 'C' 3.50m WIDE" on the Plan.

Lots 9 and 16 on the Plan are each SUBJECT TO a right of drainage in gross in favour of Southern Midlands Council over the area marked "PIPELINE AND SERVICES EASEMENT 'B' & DRAINAGE EASEMENT 'B' 3.00m WIDE" on the Plan.

Lot 201 on the Plan is SUBJECT TO a right of drainage in gross in favour of Southern Midlands Council over the area marked "PIPELINE AND SERVICES EASEMENT 'A' & DRAINAGE EASEMENT 'A' 4.00m WIDE" on the Plan.

201

Lot ~~102~~ on the Plan is SUBJECT TO a pipeline easement in favour of Her Majesty the Queen over the area marked "PIPELINE EASEMENT 6.00m WIDE (P45685)" on the Plan and as created by and more fully set forth in Notification No. B386291.

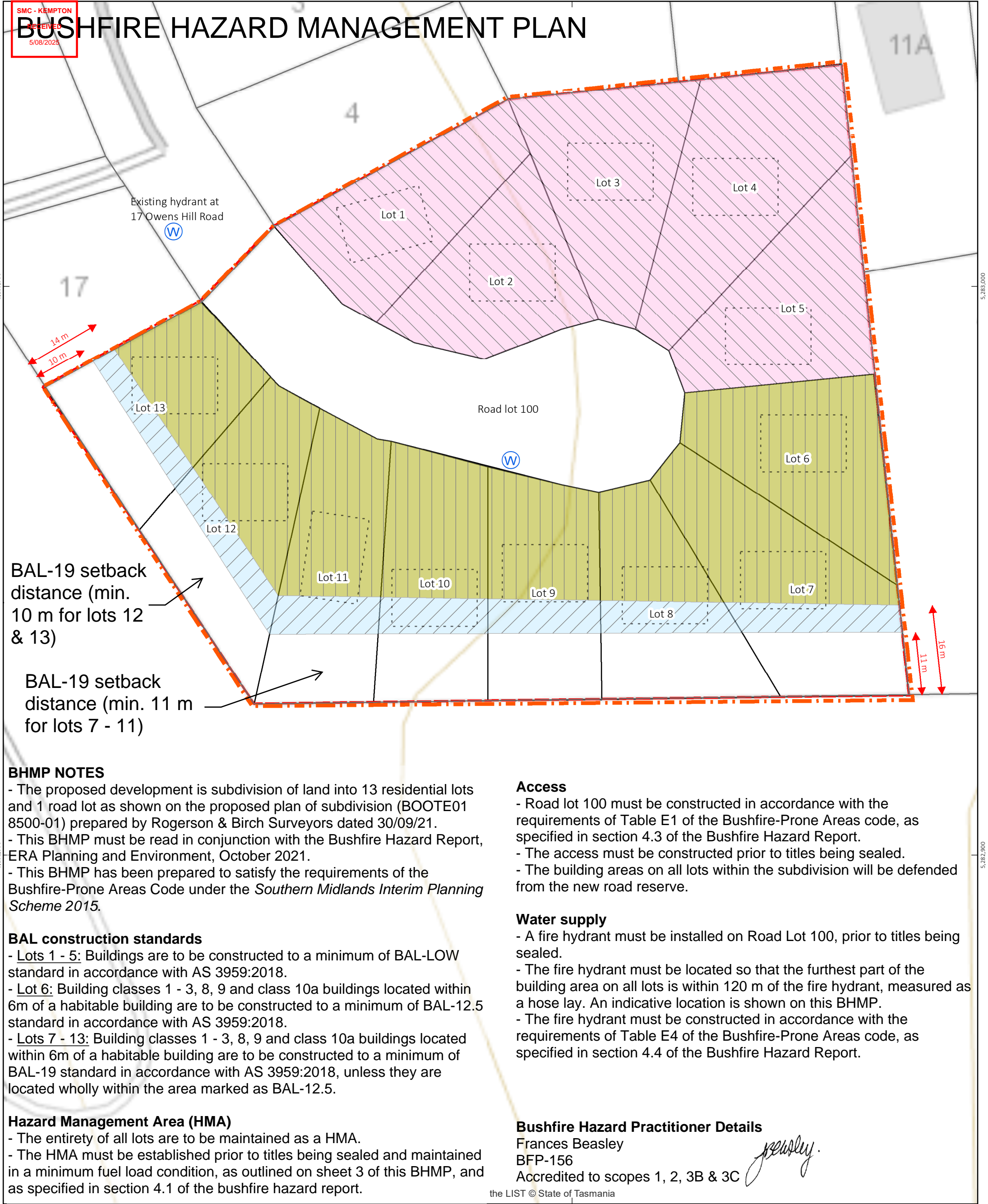
T-T0929802-2

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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Appendix C Bushfire Hazard Management Plan

BUSHFIRE HAZARD MANAGEMENT PLAN



BAL-19 setback distance (min. 10 m for lots 12 & 13)

BAL-19 setback distance (min. 11 m for lots 7 - 11)

BHMP NOTES

- The proposed development is subdivision of land into 13 residential lots and 1 road lot as shown on the proposed plan of subdivision (BOOTE01 8500-01) prepared by Rogerson & Birch Surveyors dated 30/09/21.
- This BHMP must be read in conjunction with the Bushfire Hazard Report, ERA Planning and Environment, October 2021.
- This BHMP has been prepared to satisfy the requirements of the Bushfire-Prone Areas Code under the *Southern Midlands Interim Planning Scheme 2015*.

BAL construction standards

- **Lots 1 - 5:** Buildings are to be constructed to a minimum of BAL-LOW standard in accordance with AS 3959:2018.
- **Lot 6:** Building classes 1 - 3, 8, 9 and class 10a buildings located within 6m of a habitable building are to be constructed to a minimum of BAL-12.5 standard in accordance with AS 3959:2018.
- **Lots 7 - 13:** Building classes 1 - 3, 8, 9 and class 10a buildings located within 6m of a habitable building are to be constructed to a minimum of BAL-19 standard in accordance with AS 3959:2018, unless they are located wholly within the area marked as BAL-12.5.

Hazard Management Area (HMA)

- The entirety of all lots are to be maintained as a HMA.
- The HMA must be established prior to titles being sealed and maintained in a minimum fuel load condition, as outlined on sheet 3 of this BHMP, and as specified in section 4.1 of the bushfire hazard report.

Access

- Road lot 100 must be constructed in accordance with the requirements of Table E1 of the Bushfire-Prone Areas code, as specified in section 4.3 of the Bushfire Hazard Report.
- The access must be constructed prior to titles being sealed.
- The building areas on all lots within the subdivision will be defended from the new road reserve.

Water supply

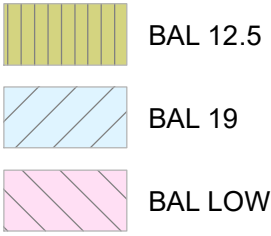
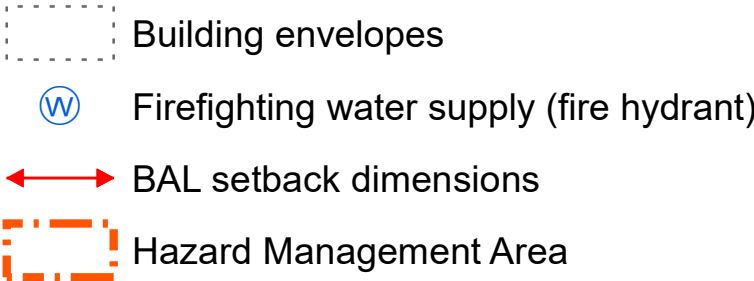
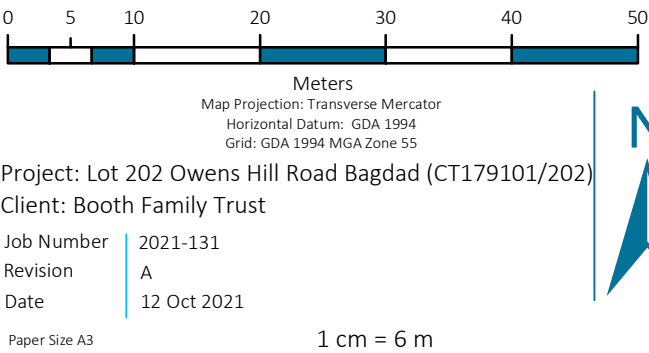
- A fire hydrant must be installed on Road Lot 100, prior to titles being sealed.
- The fire hydrant must be located so that the furthest part of the building area on all lots is within 120 m of the fire hydrant, measured as a hose lay. An indicative location is shown on this BHMP.
- The fire hydrant must be constructed in accordance with the requirements of Table E4 of the Bushfire-Prone Areas code, as specified in section 4.4 of the Bushfire Hazard Report.

Bushfire Hazard Practitioner Details

Frances Beasley
BFP-156
Accredited to scopes 1, 2, 3B & 3C

Frances Beasley

the LIST © State of Tasmania



BUSHFIRE HAZARD MANAGEMENT PLAN

E1.0 Bushfire-Prone Areas Code

Table E1 Standards for roads

A. Roads	<p>Unless the development standards in the zone require a higher standard, the following apply:</p> <ul style="list-style-type: none">(a) two-wheel drive, all-weather construction;(b) load capacity of at least 20t, including for bridges and culverts;(c) minimum carriageway width is 7m for a through road, or 5.5m for a dead-end or cul-de-sac road;(d) minimum vertical clearance of 4m;(e) minimum horizontal clearance of 2m from the edge of the carriageway;(f) cross falls of less than 3 degrees (1:20 or 5%);(g) maximum gradient of 15 degrees (1:3.5 or 28%) for sealed roads, and 10 degrees (1:5.5 or 18%) for unsealed roads;(h) curves have a minimum inner radius of 10m;(i) dead-end or cul-de-sac roads are not more than 200m in length unless the carriageway is 7m in width;(j) dead-end or cul-de-sac roads have a turning circle with a minimum 12m outer radius; and(k) carriageways less than 7m wide have 'No Parking' zones on one side, indicated by a road sign that complies with <i>Australian Standard AS1743-2001 Road signs-Specifications</i>.
----------	--

Table E4 Reticulated water supply for fire fighting

A. Distance between building area to be protected and water supply.	<p>The following requirements apply:</p> <ul style="list-style-type: none">(a) the building area to be protected must be located within 120m of a fire hydrant; and(b) the distance must be measured as a hose lay, between the fire fighting water point and the furthest part of the building area.
B. Design criteria for fire hydrants.	<p>The following requirements apply:</p> <ul style="list-style-type: none">(a) fire hydrant system must be designed and constructed in accordance with <i>TasWater Supplement to Water Supply Code of Australia WSA 03 - 2011-3.1 MRWA 2nd Edition</i>; and(b) fire hydrants are not installed in parking areas.
C. Hardstand	<p>A hardstand area for fire appliances must be:</p> <ul style="list-style-type: none">(a) no more than 3m from the hydrant, measured as a hose lay;(b) no closer than 6m from the building area to be protected;(c) a minimum width of 3m constructed to the same standard as the carriageway; and(d) connected to the property access by a carriageway equivalent to the standard of the property access.

Bushfire Hazard Practitioner Details
Frances Beasley
BFP-156
Accredited to scopes 1, 2, 3B & 3C



BUSHFIRE HAZARD MANAGEMENT PLAN

Prescriptions for hazard management area

Within 10m of habitable buildings.	<ul style="list-style-type: none">- No storage of flammable materials (e.g. firewood).- Avoid locating flammable garden materials near vulnerable building elements such as glazed windows/doors, decks and eaves (e.g. non-fire retardant plants and combustible mulches).- Non-flammable features such as paths, driveways and paved areas are encouraged around habitable buildings.
Trees within HMA	<ul style="list-style-type: none">- Maintain canopy separation of approximately 2m.- Ensure no branches overhang habitable buildings.- Remove tree branches within 2m of ground level below.- Locate any new tree plantings 1.5 x their mature height from the house.- Avoid planting trees wit loose, stringy or ribbon bark.
Understorey vegetation within HMA	<ul style="list-style-type: none">- Maintain grass cover at <100mm.- Maintain shrubs to <2m height.- Shrubs to be maintained in clumps so as to no form contiguous vegetation (i.e. clumps up to 10sqm in area, separated from each other by at least 10m).- Avoid locating shrubs directly underneath trees.- Periodically remove dead leaves, bark and branches from underneath trees and around habitable buildings.

Bushfire Hazard Practitioner Details

Frances Beasley
BFP-156
Accredited to scopes 1, 2, 3B & 3C



Appendix D Planning Certificate

BUSHFIRE-PRONE AREAS CODE**CERTIFICATE¹ UNDER S51(2)(d) LAND USE PLANNING AND APPROVALS ACT 1993****1. Land to which certificate applies**

The subject site includes property that is proposed for use and development and includes all properties upon which works are proposed for bushfire protection purposes.

Street address:

Lot 202 Owens Hill Road, Bagdad

Certificate of Title / PID:

CT 179101/202; PID 9178324

2. Proposed Use or Development**Description of proposed Use and Development:**

Subdivision of land into 13 residential lots and 1 road lot.

Applicable Planning Scheme:*Southern Midlands Interim Planning Scheme 2015***3. Documents relied upon**

This certificate relates to the following documents:

Title	Author	Date	Version
Proposed subdivision (BOOTE01 8500-01)	Rogerson & Birch	30/09/2021	Rev A
Bushfire Hazard Report	ERA Planning & Environment	October 2021	-
Bushfire Hazard Management Plan	ERA Planning & Environment	12/10/2021	-

¹ This document is the approved form of certification for this purpose and must not be altered from its original form.

4. Nature of Certificate

The following requirements are applicable to the proposed use and development:

<input type="checkbox"/>	E1.4 / C13.4 – Use or development exempt from this Code	
	Compliance test	Compliance Requirement
<input type="checkbox"/>	E1.4(a) / C13.4.1(a)	Insufficient increase in risk

<input type="checkbox"/>	E1.5.1 / C13.5.1 – Vulnerable Uses	
	Acceptable Solution	Compliance Requirement
<input type="checkbox"/>	E1.5.1 P1 / C13.5.1 P1	<i>Planning authority discretion required. A proposal cannot be certified as compliant with P1.</i>
<input type="checkbox"/>	E1.5.1 A2 / C13.5.1 A2	Emergency management strategy
<input type="checkbox"/>	E1.5.1 A3 / C13.5.1 A2	Bushfire hazard management plan

<input type="checkbox"/>	E1.5.2 / C13.5.2 – Hazardous Uses	
	Acceptable Solution	Compliance Requirement
<input type="checkbox"/>	E1.5.2 P1 / C13.5.2 P1	<i>Planning authority discretion required. A proposal cannot be certified as compliant with P1.</i>
<input type="checkbox"/>	E1.5.2 A2 / C13.5.2 A2	Emergency management strategy
<input type="checkbox"/>	E1.5.2 A3 / C13.5.2 A3	Bushfire hazard management plan

<input checked="" type="checkbox"/>	E1.6.1 / C13.6.1 Subdivision: Provision of hazard management areas	
	Acceptable Solution	Compliance Requirement
<input type="checkbox"/>	E1.6.1 P1 / C13.6.1 P1	<i>Planning authority discretion required. A proposal cannot be certified as compliant with P1.</i>
<input type="checkbox"/>	E1.6.1 A1 (a) / C13.6.1 A1(a)	Insufficient increase in risk
<input checked="" type="checkbox"/>	E1.6.1 A1 (b) / C13.6.1 A1(b)	Provides BAL-19 for all lots (including any lot designated as 'balance')
<input type="checkbox"/>	E1.6.1 A1(c) / C13.6.1 A1(c)	Consent for Part 5 Agreement

<input checked="" type="checkbox"/>	E1.6.2 / C13.6.2 Subdivision: Public and fire fighting access	
	Acceptable Solution	Compliance Requirement
<input type="checkbox"/>	E1.6.2 P1 / C13.6.2 P1	<i>Planning authority discretion required. A proposal cannot be certified as compliant with P1.</i>
<input type="checkbox"/>	E1.6.2 A1 (a) / C13.6.2 A1 (a)	Insufficient increase in risk
<input checked="" type="checkbox"/>	E1.6.2 A1 (b) / C13.6.2 A1 (b)	Access complies with relevant Tables

<input checked="" type="checkbox"/>	E1.6.3 / C13.1.6.3 Subdivision: Provision of water supply for fire fighting purposes	
	Acceptable Solution	Compliance Requirement
<input type="checkbox"/>	E1.6.3 A1 (a) / C13.6.3 A1 (a)	Insufficient increase in risk
<input checked="" type="checkbox"/>	E1.6.3 A1 (b) / C13.6.3 A1 (b)	Reticulated water supply complies with relevant Table
<input type="checkbox"/>	E1.6.3 A1 (c) / C13.6.3 A1 (c)	Water supply consistent with the objective
<input type="checkbox"/>	E1.6.3 A2 (a) / C13.6.3 A2 (a)	Insufficient increase in risk
<input type="checkbox"/>	E1.6.3 A2 (b) / C13.6.3 A2 (b)	Static water supply complies with relevant Table
<input type="checkbox"/>	E1.6.3 A2 (c) / C13.6.3 A2 (c)	Static water supply consistent with the objective

5. Bushfire Hazard Practitioner**Name:**

Frances Beasley

Phone No:

0422 079 274

**Postal
Address:**

125a Elizabeth Street, Hobart, TAS, 7000

**Email
Address:**frances@eraplanning.com.au**Accreditation No:**

BFP – 156

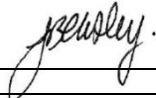
Scope:

1, 2, 3B & 3C

6. Certification

I certify that in accordance with the authority given under Part 4A of the *Fire Service Act* 1979 that the proposed use and development:

- ☐ Is exempt from the requirement Bushfire-Prone Areas Code because, having regard to the objective of all applicable standards in the Code, there is considered to be an insufficient increase in risk to the use or development from bushfire to warrant any specific bushfire protection measures, or
- ☒ The Bushfire Hazard Management Plan/s identified in Section 3 of this certificate is/are in accordance with the Chief Officer's requirements and compliant with the relevant **Acceptable Solutions** identified in Section 4 of this Certificate.

Signed:
certifier**Name:**

Frances Beasley

Date:

12 October 2021

**Certificate
Number:**

2021-131 v1

(for Practitioner Use only)

SMC - KEMPTON

RECEIVED

5/08/2025

SEARCH OF TORRENS TITLE

VOLUME 188332	FOLIO 10
EDITION 2	DATE OF ISSUE 26-Jul-2025

SEARCH DATE : 05-Aug-2025

SEARCH TIME : 10.00 AM

DESCRIPTION OF LAND

Parish of STRANGFORD Land District of MONMOUTH
 Lot 10 on Sealed Plan [188332](#)
 Derivation : Part of 180A-3R-33P Gtd. to Claude Armytage
 Galletly & Reginald Armytage Galletly
 Prior CT [179101/202](#)

SCHEDULE 1

[N269119](#) TRANSFER to LAUREN MAY HARWOOD and MITCHELL PETER
 GITTUS Registered 26-Jul-2025 at noon

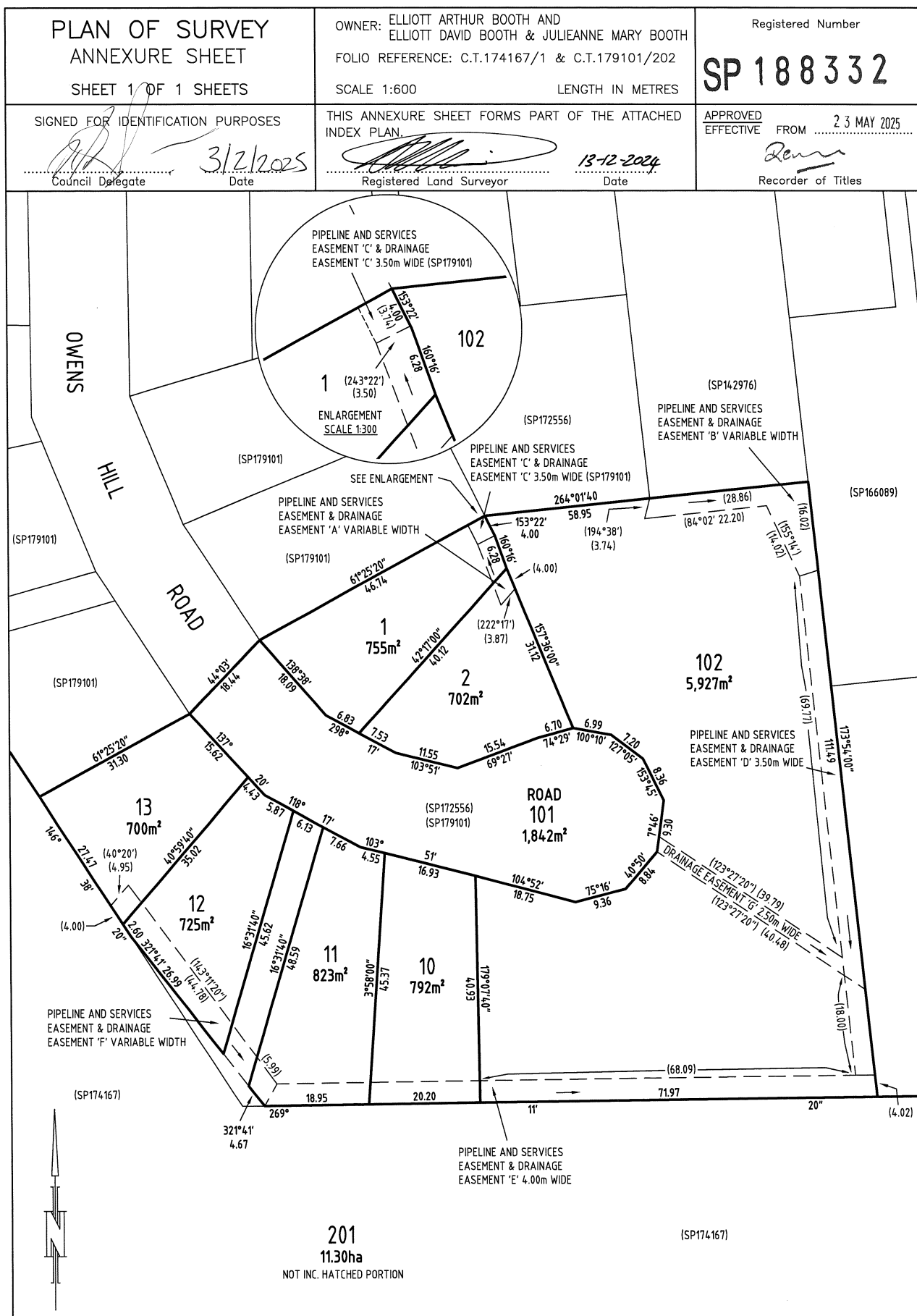
SCHEDULE 2

Reservations and conditions in the Crown Grant if any
[SP188332](#) EASEMENTS in Schedule of Easements
[SP188332](#) COVENANTS in Schedule of Easements
[SP188332](#) FENCING COVENANT in Schedule of Easements
[SP172556](#) & [SP179101](#) FENCING COVENANT in Schedule of Easements
[E421411](#) MORTGAGE to Australia and New Zealand Banking Group
 Limited Registered 26-Jul-2025 at 12.01 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

<p>OWNER ELLIOTT ARTHUR BOOTH AND ELLIOTT DAVID BOOTH & JULIEANNE MARY BOOTH</p> <p>FOLIO REFERENCE C.T.174167/1 & C.T.179101/202</p> <p>GRANTEE PART OF 180A-3R-33Ps GRANTED TO CLAUDE ARMYTAGE GALLETTY & REGIONAL ARMYTAGE GALLETTY</p>	<p>NEW PLAN OF SURVEY</p> <p>BY SURVEYOR ANDREW STEPHEN BIRCH ROGERSON AND BIRCH SURVEYORS UNIT 1 - 2 KENNEDY DRIVE, CAMBRIDGE PARK PH 6248-5898 MOB. 0419-594-966</p> <p>LAND DISTRICT OF MONMOUTH PARISH OF STRANGFORD</p> <p>SCALE 1: 2,500 LENGTHS IN METRES</p>	<p>Registered Number</p> <p style="font-size: 24pt; font-weight: bold;">SP 188332</p> <p>APPROVED EFFECTIVE FROM 23 MAY 2025</p> <p><i>Remm</i> Recorder of Titles</p>
<p>LOT 201 COMPILED FROM CT174167/1 AND THIS SURVEY</p> <p>ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN</p>		
<p>INDEX PLAN PRIORITY FINAL PLAN</p>		
<div style="display: flex; justify-content: space-between;"> <div style="width: 30%;"> <p>Registered Land Surveyor <i>[Signature]</i></p> <p>Date 26-3-25</p> </div> <div style="width: 30%; text-align: center;"> <p>SEE PLAN RELATED DOCS</p> <p>Council Delegate</p> <p>Date</p> </div> </div>		



SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 188332

PAGE 1 OF 8 PAGES
7

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

FENCING COVENANT:

The owner of each lot on the Plan covenants with Elliott Arthur Booth, Elliott David Booth and Julieanne Mary Booth (the Vendors) that the Vendors shall not be required to fence.

EASEMENTS:

Lots 1 and 2 on the Plan are each SUBJECT TO a Pipeline and Services Easement (as defined herein) in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Limited, its successors and assigns ("TasWater") over the area marked "PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 'A' VARIABLE WIDTH" on the Plan ("the Easement Land").

Lots 1 and 2 on the Plan are each SUBJECT TO a right of drainage in gross in favour of Southern Midlands Council over the area marked "PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 'A' VARIABLE WIDTH" on the Plan.

Lot 102 on the Plan is SUBJECT TO a Pipeline and Services Easement (as defined herein) in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Limited, its successors and assigns ("TasWater") over the area marked "PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 'B' VARIABLE WIDTH" on the Plan ("the Easement Land").

T-T0929802-2

(USE ANNEXURE PAGES FOR CONTINUATION)

<p>SUBDIVIDER: Elliott Arthur Booth, Elliott David Booth and Julieanne Mary Booth</p> <p>FOLIO REF: Volume 174167 Folio 1 and Volume 179101 Folio 202</p> <p>SOLICITOR & REFERENCE: Butler, McIntyre & Butler: BW232550</p>	<p>PLAN SEALED BY: Southern Midlands Council</p> <p>DATE: 3/12/2025</p> <p>SA210001BC</p> <p>REF NO.</p> <p style="text-align: right;">Council Delegate</p>
<p>NOTE: The Council Delegate must sign the Certificate for the purposes of identification.</p>	

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Elliott Arthur Booth *Elliott David Booth* *Julieanne Mary Booth*

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 8 ⁷ PAGES	Registered Number SP 188332
SUBDIVIDER: Elliott Arthur Booth, Elliott David Booth and Julieanne Mary Booth FOLIO REFERENCE: Volume 174167 Folio 1 and Volume 179101 Folio 202	

Lot 102 on the Plan is SUBJECT TO a right of drainage in gross in favour of Southern Midlands Council over the area marked "PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 'B' VARIABLE WIDTH" on the Plan ("the Easement Land").

Lot 1 on the Plan is SUBJECT TO a Pipeline and Services Easement (as defined herein) in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Limited, its successors and assigns ("TasWater") over the area marked "PIPELINE AND SERVICES EASEMENT 'C' & DRAINAGE EASEMENT 'C' 3.50m WIDE (SP179101)" on the Plan ("the Easement Land").

Lot 1 on the Plan is SUBJECT TO a right of drainage in gross in favour of Southern Midlands Council over the area marked "PIPELINE AND SERVICES EASEMENT 'C' & DRAINAGE EASEMENT 'C' 3.50m WIDE (SP179101)" on the Plan ("the Easement Land").

Lot 102 on the Plan is SUBJECT TO a Pipeline and Services Easement (as defined herein) in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Limited, its successors and assigns ("TasWater") over the area marked "PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 'D' 3.50m WIDE" on the Plan ("the Easement Land").

Lot 102 on the Plan is SUBJECT TO a right of drainage in gross in favour of Southern Midlands Council over the area marked "PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 'D' 3.50m WIDE" on the Plan ("the Easement Land").

Lots 10, 11 and 102 on the Plan are each SUBJECT TO a Pipeline and Services Easement (as defined herein) in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Limited, its successors and assigns ("TasWater") over the area marked "PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 'E' 4.00m WIDE" on the Plan ("the Easement Land").

Lots 10, 11 and 102 on the Plan are each SUBJECT TO a right of drainage in gross in favour of Southern Midlands Council over the area marked "PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 'E' 4.00m WIDE" on the Plan ("the Easement Land").

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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E Booth *ED Booth* *J Booth*

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 8 PAGES 7	Registered Number SP 188332
SUBDIVIDER: Elliott Arthur Booth, Elliott David Booth and Julieanne Mary Booth FOLIO REFERENCE: Volume 174167 Folio 1 and Volume 179101 Folio 202	

Lots 11, 12, 13 and 201 on the Plan are each SUBJECT TO a Pipeline and Services Easement (as defined herein) in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Limited, its successors and assigns ("TasWater") over the area marked "PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 'F' VARIABLE WIDTH" on the Plan ("the Easement Land").

Lots 11, 12, 13 and 201 on the Plan are each SUBJECT TO a right of drainage in gross in favour of Southern Midlands Council over the area marked "PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 'F' VARIABLE WIDTH" on the Plan ("the Easement Land").

Lot 102 on the Plan is SUBJECT TO a right of drainage in gross in favour of Southern Midlands Council over the area marked "DRAINAGE EASEMENT 'G' 2.50m WIDE" on the Plan.

EASEMENTS CONTINUED ON PAGE 7

COVENANTS:

The owner of each lot on the Plan covenants with the Vendor and the owner of each and every other lot on the Plan and to the intent that the burden of the covenant will run with and bind the covenantor's lot and every part thereof and that the benefit thereof may be created in favour of each and every other lot on the Plan to observe the following stipulations:

other than in respect of lots 102 and 201, not to erect or permit to be erected on the lot or any part thereof more than one (1) dwelling.

The Vendor reserves the right to sell any lot on the Plan free and exempt from any one or more of the covenants set forth in relation to any lot shown on the Plan and/or to waive modify alter or extinguish any one or more of the covenants set forth above as to any lot. The exercise of this right by the Vendor in relation to any lot shall not release the owner of any other lot from any other covenants imposed upon such lot or give the owner of any lot any right of action against the Vendor or any person or persons.

DEFINITIONS:

"Pipeline and Services Easement" means:-

THE FULL RIGHT AND LIBERTY for TasWater at all times to:

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 4 OF 8 PAGES 7	Registered Number SP 188332
SUBDIVIDER: Elliott Arthur Booth, Elliott David Booth and Julianne Mary Booth FOLIO REFERENCE: Volume 174167 Folio 1 and Volume 179101 Folio 202	

- (1) enter and remain upon the Easement Land with or without employees, contractors, agents and all other persons duly authorised by it and with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse and repair the Infrastructure;
- (4) remove and replace the Infrastructure;
- (5) run and pass sewage, water and electricity through and along the Infrastructure;
- (6) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (1) without doing unnecessary damage to the Easement Land; and
 - (2) leaving the Easement Land in a clean and tidy condition; and
- (7) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and all other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lots from the highway at any then existing vehicle entry and cross the Lots to the Easement Land; and
- (8) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lots.

PROVIDED ALWAYS THAT:

- (1) The registered proprietors of the Lots in the folio of the Register ("the Owner") must not without the written consent of TasWater first had and obtained and only in compliance with any conditions which form the consent:
 - (a) alter, excavate, plough, drill or otherwise penetrate the ground level of the Easement Land;
 - (b) install, erect or plant any building, structure, fence, pit, well, footing, pipeline, paving, tree, shrub or other object on or in the Easement Land;
 - (c) remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land;
 - (d) do any thing which will or might damage or contribute to damage to any of the Infrastructure on or in the Easement Land;

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Elliott Arthur Booth, Elliott David Booth, Julianne Mary Booth

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- (e) in any way prevent or interfere with the proper exercise and benefit of the Easement Land by TasWater or its employees, contractors, agents and all other persons duly authorised by it; or
 - (f) permit or allow any action which the Owner must not do or acquiesce in that action.
- (2) TasWater is not required to fence any part of the Easement Land.
- (3) The Owner may erect a fence across the Easement Land at the boundaries of the Lots.
- (4) The Owner may erect a gate across any part of the Easement Land subject to these conditions:
- (a) the Owner must provide TasWater with a key to any lock which would prevent the opening of the gate; and
 - (b) if the Owner does not provide TasWater with that key or the key provided does not fit the lock, TasWater may cut the lock from the gate.
- (5) If the Owner causes damage to any of the Infrastructure, the Owner is liable for the actual cost to TasWater of the repair of the Infrastructure damaged.
- (6) If the Owner fails to comply with any of the preceding conditions, without forfeiting any right of action, damages or otherwise against the Owner, TasWater may:
- (a) reinstate the ground level of the Easement Land; or
 - (b) remove from the Easement Land any building, structure, pit, well, footing, pipeline, paving, tree, shrub or other object; or
 - (c) replace any thing that supported, protected or covered the Infrastructure.

"Infrastructure" means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) power poles and lines, electrical wires, electrical cables and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land, the Infrastructure or any warnings or restrictions with respect to the Easement Land or the Infrastructure;
- (f) any thing reasonably required to support, protect or cover any of the Infrastructure;

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Elliott Arthur Booth, Elliott David Booth, Julieanne Mary Booth

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 6 OF 7 PAGES	Registered Number SP 188332
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- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

SIGNED by **ELLIOTT ARTHUR BOOTH** in)
the presence of:)


ELLIOTT ARTHUR BOOTH

Witness: 


Name: Sandra Helen Oakley

Address: 19 Iden Road, Bagdad, 7030

Occupation: Triage Clerk

SIGNED by **ELLIOTT DAVID BOOTH** in)
the presence of:)


ELLIOTT DAVID BOOTH

Witness: 

Name: Julie Ellen Oakley

Address: 19 Iden Road, Bagdad, 7030

Occupation: Retail Sales Assistant

SIGNED by **JULIANNE MARY BOOTH** in)
the presence of:)


JULIANNE MARY BOOTH

Witness: 

Name: RACHEL CORNELIUS

Address: 41 QUARRY TOWN ROAD, BAGDAD 7030

Occupation: POST OFFICE LICENCEE

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EASEMENTS CONTINUED

Lot 201 on the Plan is SUBJECT TO:

- (a) a Pipeline and Services Easement (as defined herein) in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Limited, its successors and assigns ("TasWater") over the area marked "PIPELINE EASEMENT 6.00m WIDE (P45683)" on the Plan ("the Easement Land");
- (b) a Pipeline Easement in favour of Her Majesty the Queen over the area marked "PIPELINE EASEMENT 6.00m WIDE (P45683)" on the Plan and as created by and more fully set forth in Notification No. B386291;
- (c) a Gas Pipeline Right set forth in Memorandum of Provisions No. M225 in favour of Tasmanian Gas Pipeline Pty Ltd over the area marked "GAS SUPPLY EASEMENT '22' 20.00m WIDE" on the Plan and as created by and more fully set forth in C440792 & D4385;
- (d) a Pipeline and Services Easement (as defined herein) in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Limited, its successors and assigns ("TasWater") over the area marked "DRAINAGE EASEMENT 3.00m WIDE (SP109381)" on the Plan ("the Easement Land"); and
- (e) a Right of Drainage (appurtenant to Lots 5-10 & 101 on SP109381) over the area marked "DRAINAGE EASEMENT 3.00m WIDE (SP109381)" on the Plan.

Bradley John Walsh 03/04/2025
 Solicitor for the Vendors
 20 Murray Street
 Hobart TAS 7000

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