



Public Notice Details

Planning Application Details

Application No	DA2500088
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Property Details

Property Location	5 Owens Hill Road Bagdad
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Application Information

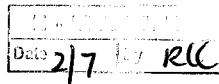
Application Type	Discretionary Development Application
Development Category	Dwelling
Advertising Commencement Date	11/7/25
Advertising Closing Period	25/7/25
<small>If the Council Offices are closed during normal office hours within the above period, the period for making representations is extended.</small>	

Enquiries regarding this Application can be made via to Southern Midlands Council on (03) 6254 5050 or by emailing planningenquires@southernmidlands.tas.gov.au. Please quote the development application number when making your enquiry.

Representations on this application may be made to the General Manager in writing either by

Post: PO Box 21, Oatlands Tas 7120
Email: mail@southernmidlands.tas.gov.au
Fax: 03 6254 5014

All representations must include the authors full name, contact number and postal address and be received by the advertising closing date.



Berry.

APPLICATION FOR PLANNING PERMIT DEVELOPMENT / USE

Use this form to apply for a permit in accordance with section 57 and 58 of the *Land Use Planning and Approvals Act 1993*

Proposed
use/development:
(Provide details of
proposed works and use).

Construction of a single dwelling.

Location of
Development:
(If the development
includes more than one
site, or is over another
property include address
of both Properties).

6 Owens Hill Road Bagdad.

Certificate of Title/s
Volume Number/Lot
Number:

188332/2

Land Owners Name:

Elliott + Julianne Booth

Full Name/s or Full Business/Company Name

Applicant's Name:

CMH Industries Pty Ltd

Full Name/s or Full Business/ Company Name (ABN if registered business or company name)

Contact details:

Postal address for correspondence: PO Box 88 Glenorchy 7010

Telephone or Mobile: 6272 3000

Email address: Rachael@creativehomeshobart.com.au

(Please note it is your responsibility to provide your correct email address and to check your email for communications from the Council.)

Details
Tax Invoice for
application fees to be
in the name of:
(if different from
applicant)

CMH Industries Pty Ltd

Full Name/s or Full Business or Company Name and ABN If registered business or company name

Print email address

Rachael@creativehomeshobart.com.au

ABN

70 660 841 458

What is the estimated value of all the new work proposed

\$ 314,700 -



For Commercial Planning Permit Applications Only

Signage:

Is any signage proposed?

Yes

☐

No

☒

If yes, attach details: size, location and art work

Business Details:

Existing hours of operation

Hours	am	to	pm
Weekdays			
Sat			
Sun			

Proposed hours of new operation

Hours	am	to	pm
Weekdays			
Sat			
Sun			

Number of existing employees:

Number of proposed new employees:

Traffic Movements:

Number of commercial vehicles serving the site at present

Approximate number of commercial vehicles servicing the site in the future

Number of Car Parking Spaces:

How many car spaces are currently provided

0

How many new car spaces are proposed

2

Is the development to be staged:

Please tick ✓ answer

Yes

☐

No

☒

Please attach any additional information that may be required by Part 6.1 *Application Requirements* of the Tasmanian Planning Scheme – Southern Midlands.

Signed Declaration

I/we as owner of the land or person with consent of the owner hereby declare that:

1. I/we have read the Certificate of Title and Schedule of Easements for the land and I/we are satisfied that this application is not prevented by any restrictions, easements or covenants.
2. I/we provide permission by or on behalf of the applicant for Council officers to enter the site to assess the application.
3. The information given in this application is true and accurate. I/we understand that the information and materials provided with this application may be made available to the public. I/we understand that the Council may make such copies of the information and materials as, in its opinion, are necessary to facilitate a thorough consideration of the application.
4. I/we have secured the necessary permission from the copyright owner to communicate and reproduce the plans submitted with the application for assessment. I/we indemnify the Southern Midlands Council for any claim or action taken against it regarding a breach of copyright in respect of any of the information or material provided.
5. I/we declare that, in accordance with Section 52(1) of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their consent is attached and the application form signed by the Minister of the Crown responsible and/or the General Manager of the Council.

Applicant Signature
(If not the Title Owner)

Applicant Name (please print)

Rachael Cunningham

Date

21/7/25

Land Owner(s) Signature

Land Owners Name (please print)

Date



Land Owner(s) Signature

Land Owners Name (please print)

Date

PRIVACY STATEMENT

The Southern Midlands Council abides by the Personal Information Protection Act 2004 and views the protection of your privacy as an integral part of its commitment towards complete accountability and integrity in all its activities and programs.

Collection of Personal Information: The personal information being collected from you for the purposes of the Personal Information Protection Act, 2004 and will be used solely by Council in accordance with its Privacy Policy. Council is collecting this information from you in order to process your application.

Disclosure of Personal Information: Council will take all necessary measures to prevent unauthorised access to or disclosure of your personal information. External organisations to whom this personal information will be disclosed as required under the Building Act 2000. This information will not be disclosed to any other external agencies unless required or authorised by law.

Correction of Personal Information: If you wish to alter any personal information you have supplied to Council please telephone the Southern Midlands Council on (03) 62545050. Please contact the Council's Privacy Officer on (03) 6254 5000 if you have any other enquires concerning Council's privacy procedures.



Information & Checklist Sheet DEVELOPMENT / USE

Use this check list for submitting your application for a planning permit –Please do not attach the check list with your application

Submitting your application ✓

1. All plans and information required per Part 6.1 Application Requirements of the Tasmanian Planning Scheme i.e.: site plan showing all existing buildings, proposed buildings, elevation plans etc. ☒
2. Copy of the current Certificate of Title, Schedule of Easements and Title Plan (Available from Service Tasmania Offices) ☒
3. Any reports, certificates or written statements to accompany the Application (if applicable) required by the relevant zone or code. ☐
4. Prescribed fees payable to Council ☐

Information

If you provide an email address in this form then the Southern Midlands Council ("the Council") will treat the provision of the email address as consent to the Council, pursuant to Section 6 of the Electronic Transactions Act 2000, to using that email address for the purposes of assessing the Application under the Land Use Planning and Approvals Act 1993 ("the Act").

If you provide an email address, the Council will not provide hard copy documentation unless specifically requested.

It is your responsibility to provide the Council with the correct email address and to check your email for communications from the Council.

If you do not wish for the Council to use your email address as the method of contact and for the giving of information, please tick ✓ the box ☒

Heritage Tasmania

If the Property is listed on the Tasmanian Heritage Register then the Application will be referred to Heritage Tasmania unless an Exemption Certificate has been provided with this Application. (Phone 1300 850 332 (local call cost) or email enquires@heritage.tas.gov.au)

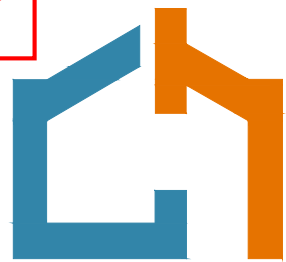
TasWater

Depending on the works proposed Council may be required to refer the Application to TasWater for assessment (Phone 136992)

IMPORTANT: There is no connection between Planning approval and Building & Plumbing approvals.

Owners are to ensure that the work is either Low-Risk Building Work, Notifiable Building Work or Permit work in accordance with the Directors Determination – Categories of Building & Demolition Work v 1.4 dated 12 March 2021 prior to any building works being carried out on the land.

https://www.cbos.tas.gov.au/data/assets/pdf_file/0014/405014/Directors-determination-categories-of-building-and-demolition-work-2021.pdf



CREATIVE HOMES
— HOBART —

PROJECT ADDRESS: LOT 2 OWENS HILL ROAD, BAGDAD

TITLE REFERENCE: VOLUME: FOLIO:

CLIENTS: KATE BERRY

DESIGNER: Inge Brown, CC 6652

DRAWINGS:

- 01 COVER PAGE
- 02 PROPOSED SITE PLAN
- 03 PROPOSED FLOOR PLAN
- 04 PROPOSED ROOF PLAN
- 05 PROPOSED ELEVATIONS
- 06 PROPOSED ELEVATIONS
- 07 SECTION A-A
- 08 TYPICAL SECTION DETAILS
- 09 WINDOW SCHEDULE

FLOOR AREAS:	FLOOR AREA:	107.0 m ²
	PORCH:	3.5 m ²
	TOTAL AREA:	110.6 m ²
	DECK:	10.0 m ²

SOIL CLASSIFICATION: --

WIND CLASSIFICATION: --

CLIMATE ZONE: 7

BUSHFIRE ATTACK LEVEL: N/A - NOT WITHIN OVERLAY

ALPINE AREA: N/A

CORROSION ENVIRONMENT: N/A

DOCUMENTATION INDEX

The documentation listed below should be read in conjunction with these drawings and form the basis of construction documentation for the project

[illegible]

NN	01/04/25
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RECEIVED
AREAS:
3/07/2025

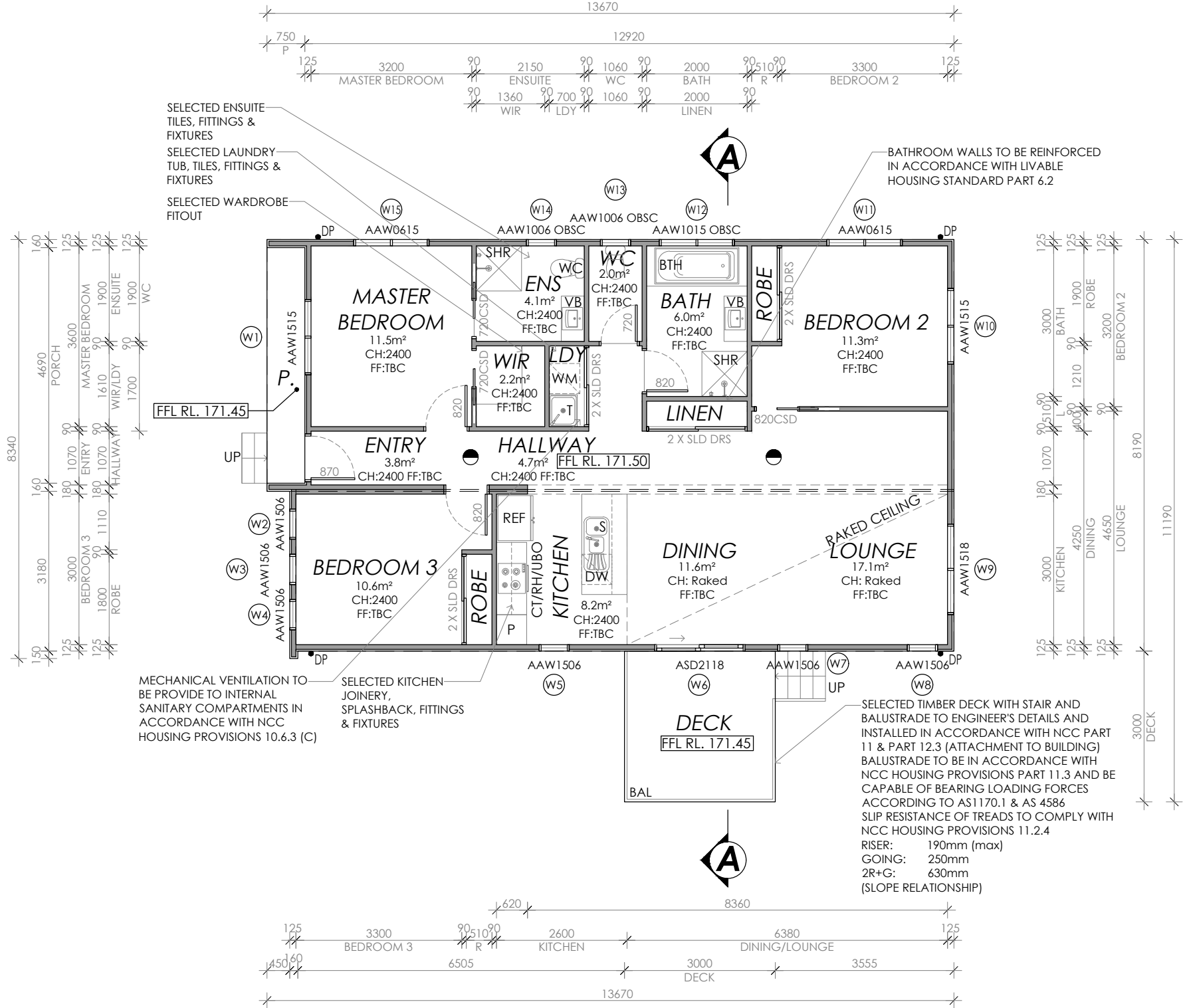
FLOOR AREA:	107.0 m ²
PORCH:	3.5 m ²
TOTAL AREA:	110.6 m ²
DECK:	10.0 m ²

LEGEND:

DP	DOWNSPIPE LOCATION
SHR	SHOWER
BTH	BATH
VB	VANITY BASIN
WC	TOILET
OHC	OVERHEAD CUPBOARDS
REF	REFRIGERATOR
P	PANTRY
RH	RANGE HOOD
UBO	UNDER BENCH OVEN
CT	COOK TOP
S	SINK
DW	DISH WASHER
T	TROUGH
WM	WASHING MACHINE
MH	MANHOLE
CSD	CAVITY SLIDING DOOR
AAW	ALUM. AWNING WINDOW
AFW	ALUM. FIXED WINDOW
ASD	ALUM. SLIDING DOOR
B/O	BEAM OVER
BAL	BALUSTRADE

BAL	SELECTED BALUSTRADE TO BUILDER'S STANDARD DETAIL INSTALLED IN ACCORDANCE WITH NCC
	MASONRY ARTICULATION JOINT - LOCATION TO ENGINEER'S DETAILS
	CEILING MOUNTED INTERCONNECTED SMOKE DETECTORS, MAINS WIRED WITH BATTERY BACKUP, ALL IN ACCORDANCE WITH AS 3786.
DP	90mm DOWNSPIPE

NOTE: LIFT OFF HINGES TO WC TO BE INSTALLED AS REQUIRED IN ACCORDANCE WITH NCC.

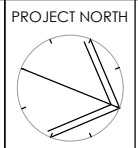


PROPOSED FLOOR PLAN
FLOOR AREA: 110.6m²

PRELIMINARY

© COPYRIGHT IN WHOLE OR IN PART

03



CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.

DO NOT SCALE DRAWINGS.
ALWAYS USE WRITTEN DIMENSIONS.

REV:	DESCRIPTION:	BY:	DATE:
SK	ISSUED FOR CLIENT REVIEW	QT	18/12/24
A	ISSUED FOR CLIENT REVIEW	NN	20/02/25
B	ADD WINDOWS	NN	01/04/25



CREATIVE HOMES
HOBART

CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS: Lot 2 Owens Hill Road Bagdad		CLIENT: Kate Berry
DESIGNER: I. Brown	ACCRED. NO.: CC6652	SHEET: 3 of 9
DRAWN: N. Nguyen	DATE: December 2024	DESIGN TYPE: Custom
CHECKED:	DATE:	DRAWING NO: ---
SCALE: 1:100	REV: B	

Framing NCC H1D6
All timber framing, fixing and bracing shall comply with AS 1684 and the requirements of NCC H1D6. Manufactured sizes must not be undersized to those specified, for all timber sizes, stress grades, spacing and wall bracing refer to Engineer's details. Tie-down details shall be in accordance with Engineer's details and comply with NCC H1D6 (4). Structural steel members shall comply with the requirements of clauses in NCC H1D6 (3). Refer to Engineer's details where provided.

Glazing NCC H1D8
All windows to be aluminium awning style, double glazed (obscured safety glass to bathrooms as shown on drawings) All glazing shall comply with the requirements of AS 2047 & AS 1288 and NCC H1D8.

Human impact safety requirements shall comply with NCC H1D8 (3) and Part 8.4 of the ABCB Housing provisions.

Note:
Builder and subcontractors to verify all dimension and levels prior to the commencement of any work. Give 24hrs minimum notice where amendments are required to design of working drawings. These drawings are to be read in conjunction with Engineer's and Surveyor's drawings and notes. Do not scale drawings. Dimensions are to take preference over scale. Building specification and Engineer's drawings shall override architectural drawings. All construction work shall be carried out in accordance with the state building regulations, local council by-laws and relevant NCC and AS codes.

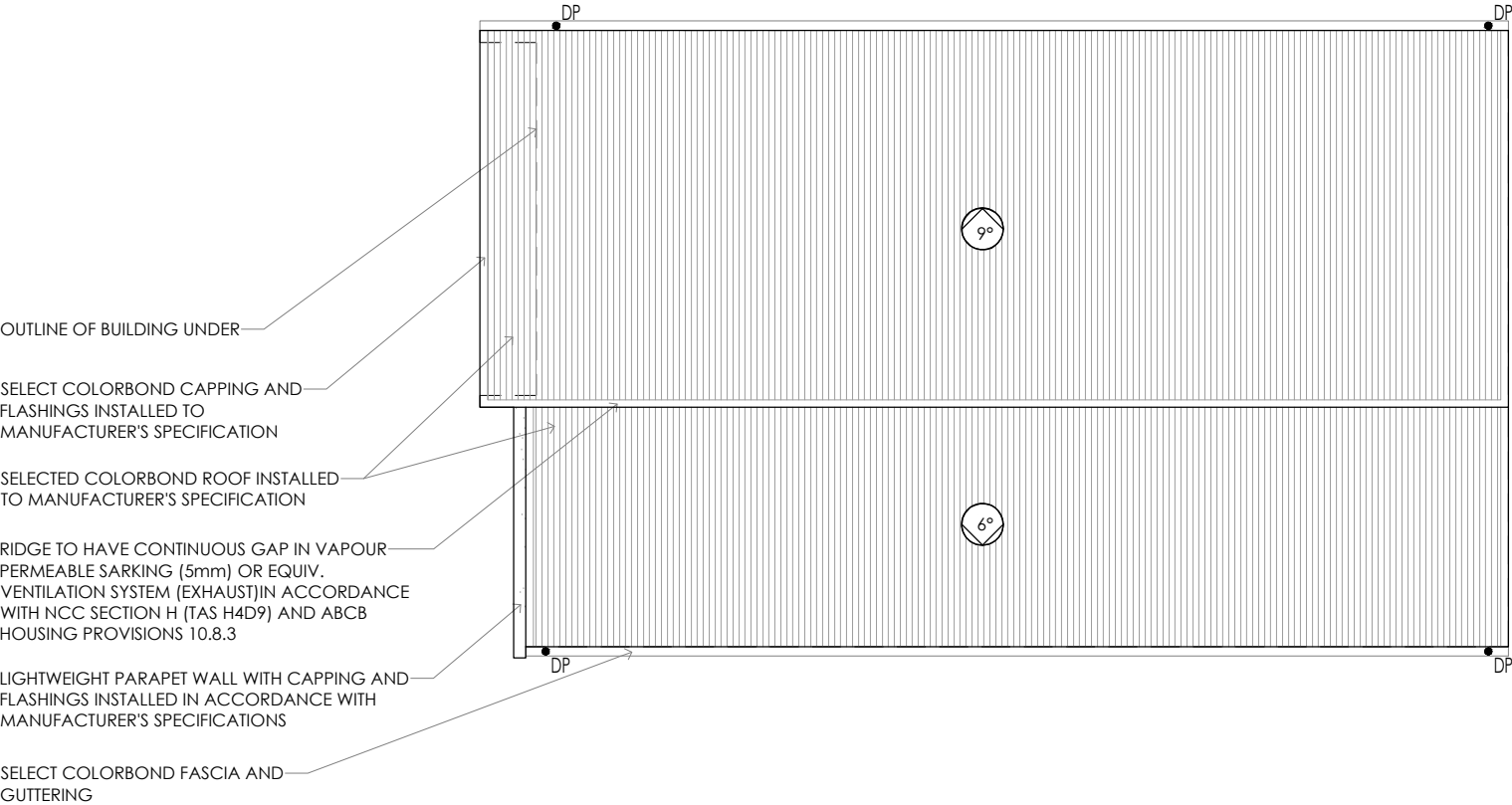
Important notice for attention of Owners:
the Owners attention is drawn to the fact that foundations and associated drainage in all sites requires continuing maintenance to assist footing performance. Advice for foundation maintenance is contained in the CSIRO building technology file 18 and it is the Owners responsibility to maintain the site in accordance with this document.

Energy efficiency:
Insulation must comply with AS/NZS4859.1 and be installed in accordance with ABCB housing provisions Part 13.2.2 and comply with minimum R values for climate zone 7.
Bulk insulation between external studs to be insulated with min R2.0. (Ensure batts fit within cavity without compression, making sure that there is at least 25mm gap from the reflective surface). External walls are to be clad with vapour permeable reflective foil over the outside of the timber frame. Ceiling to be insulated with R4.0 and vapour permeable sarking. Floor to be insulated with Min R1.7 batts where applicable. Seal exhaust fans to Ensuite, Bathroom, Laundry and Kitchen. All downlights to be IC rated. Construction of the external walls, floor and roof for compliance with building sealing requirements shall comply with BCA 2019 Part 3.12

General:
All flashings, weep holes and damp proof coursing to be in accordance with NCC Housing provisions Part 5.7. Fibre cement sheet in accordance with NCC Housing provisions Part 7.5. Block construction in accordance NCC Housing provisions Part 5. Plasterboard linings to internal walls and ceilings with selected cornice. (see below for wet areas)

Wet areas: All wet areas shall comply with the requirements of ABCB Housing provisions Part 10.2. Provide waterproof plasterboard sheeting to all walls and ceilings. Provide ceramic tiles or other approved water resistant lining in accordance with Part 10.2.9 to a minimum height of 1800mm to shower walls and to a height of min 150mm behind baths, basins, sinks, troughs, washing machines and wall fixtures.

For construction of floor wastes refer to NCC ABCB Housing provisions part 10.2.12. For typical installation requirements for substrate preparation, penetrations, flashings/junctions, membranes, screeds/hobs, baths, showers, door jambs and screens refer to ABCB Housing provisions part 10.2.14-32.



PROPOSED ROOF PLAN

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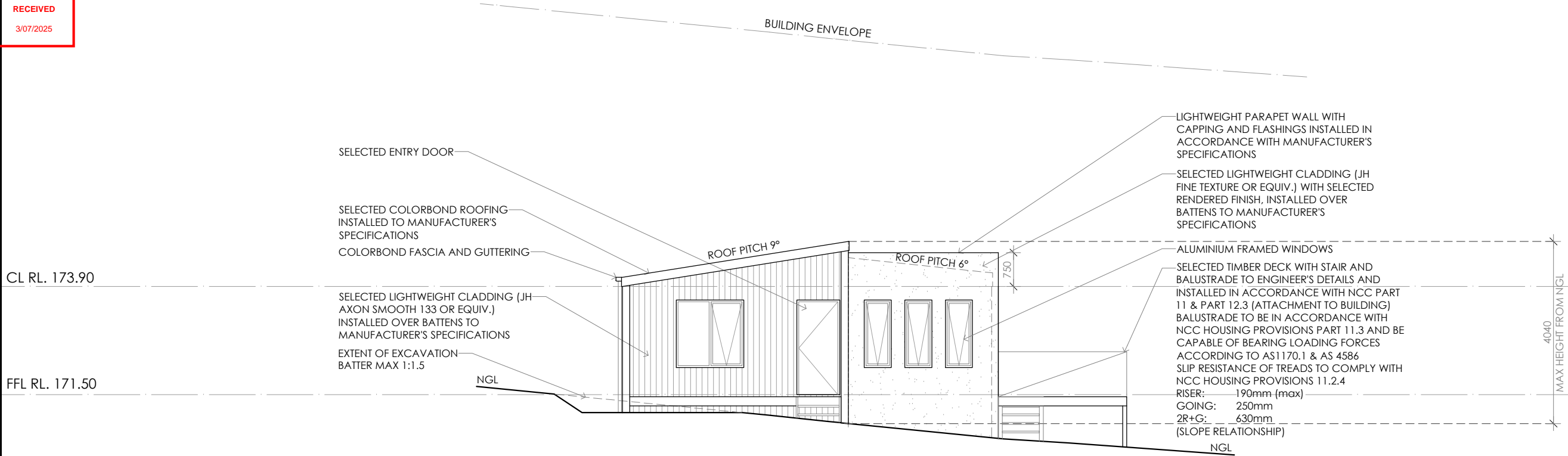
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●DP 90mm DOWNPIPE

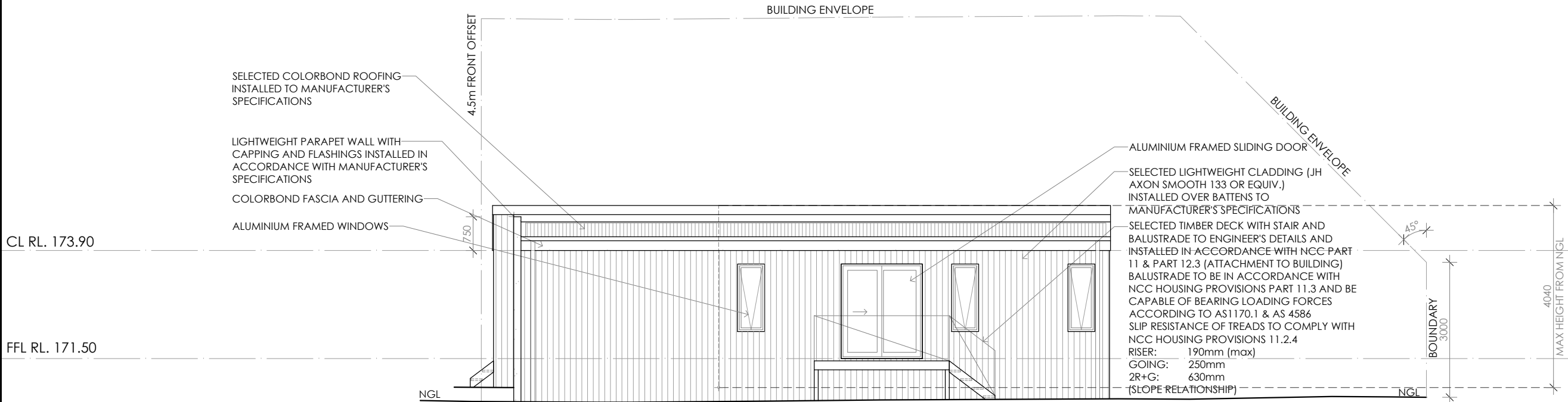
PRELIMINARY

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04		CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS. DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS.	REV:	DESCRIPTION:	BY:	DATE:		CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000	DESIGNER:	I. Brown	ACCRED. NO.:	CC6652	SHEET:	4 of 9
			SK	ISSUED FOR CLIENT REVIEW	QT	18/12/24			DRAWN:	N. Nguyen	DATE:	December 2024	DESIGN TYPE:	Custom
			A	ISSUED FOR CLIENT REVIEW	NN	20/02/25			CHECKED:		DATE:		DRAWING NO.:	
			B	ADD WINDOWS	NN	01/04/25			SCALE:	1:100	REV:	B		---



SOUTHERN ELEVATION



EASTERN ELEVATION

Framing NCC H1D6
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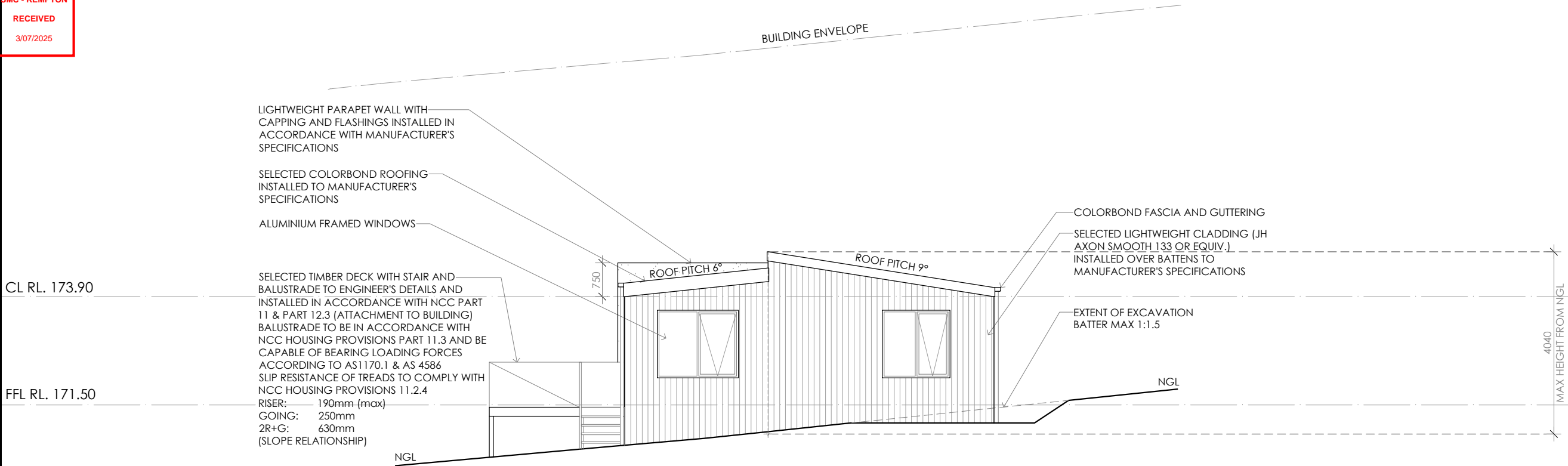


CREATIVE HOMES

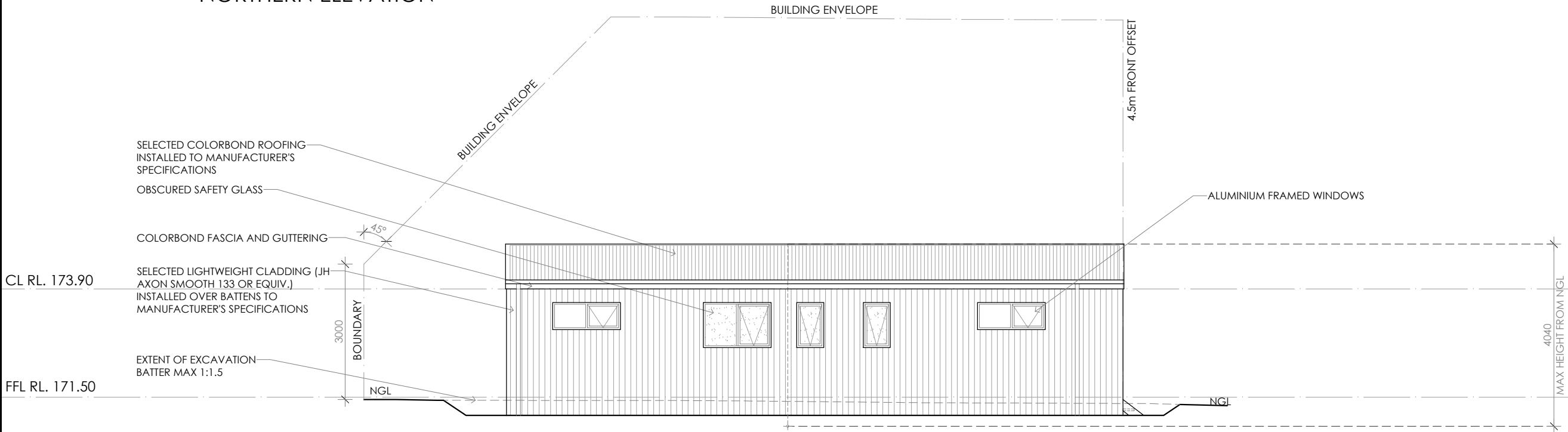
HOBART

CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS: Lot 2 Owens Hill Road Bagdad		CLIENT: Kate Berry	
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DRAWN:N. Nguyen	DATE: December 2024	DESIGN TYPE:	Custom
CHECKED:	DATE:	DRAWING NO:	---
SCALE: 1:100	REV: B		



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WESTERN ELEVATION

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			A	ISSUED FOR CLIENT REVIEW	NN	20/02/25
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CREATIVE HOMES
HOBART

CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS: Lot 2 Owens Hill Road Bagdad		CLIENT: Kate Berry	
DESIGNER: I. Brown	ACCRED. NO.: CC6652	SHEET: 6 of 9	
DRAWN:N. Nguyen	DATE: December 2024	DESIGN TYPE: Custom	
CHECKED:	DATE:	DRAWING NO: ---	
SCALE: 1:100	REV: B		

SMC - KEMPTON

Framing NCC H1D6.
Refer to Engineer's details. Tie-down details shall be in accordance with Engineer's details and comply with NCC H1D6 (4). Structural steel members shall comply with the requirements of clauses in NCC H1D6 (3). Refer to Engineer's details where provided.

Glazing NCC H1D8.
All windows to be aluminium awning style, double glazed (obscured safety glass to bathrooms as shown on drawings) All glazing shall comply with the requirements of AS 2047 & AS 1288 and NCC H1D8.

Human impact safety requirements shall comply with NCC H1D8 (3) and Part 8.4 of the ABCB Housing provisions.

Note:
Builder and subcontractors to verify all dimension and levels prior to the commencement of any work. Give 24hrs minimum notice where amendments are required to design of working drawings. These drawings are to be read in

conjunction with Engineer's and Surveyor's drawings and notes. Do not scale drawings. Dimensions are to take preference over scale. Building specification and Engineer's drawings shall override architectural drawings. All construction work shall be carried out in accordance with the state building regulations, local council by-laws and relevant NCC and AS codes.

Important notice for attention of Owners: the Owners attention is drawn to the fact that foundations and associated drainage in all sites requires continuing maintenance to assist footing performance. Advice for foundation maintenance is contained in the CSIRO building technology file 18 and it is the Owners responsibility to maintain the site in accordance with this document.

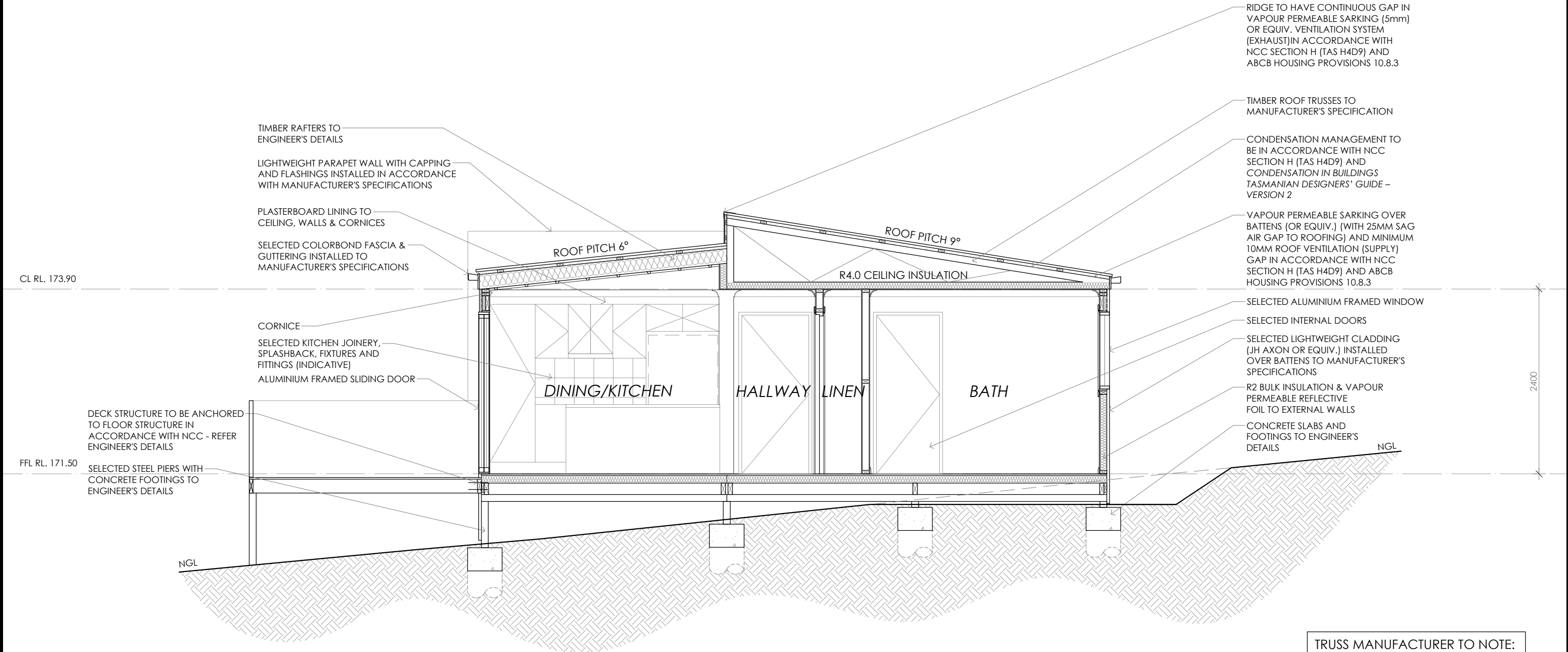
Energy efficiency:
Insulation must comply with AS/NZS4859.1 and be installed in accordance with ABCB housing provisions Part 13.2.2 and comply with minimum R values for climate zone 7.
Bulk insulation between external studs to be insulated with min R2.0. (Ensure batts fit within cavity without compression, making sure that there is at least 25mm gap from the reflective surface). External walls are to be clad with vapour permeable reflective foil over the outside of the timber frame. Ceiling to be insulated with R4.0 and

vapour permeable sarking. Floor to be insulated with Min R1.7 batts where applicable. Seal exhaust fans to Ensuite, Bathroom, Laundry and Kitchen. All downlights to be IC rated. Construction of the external walls, floor and roof for compliance with building sealing requirements shall comply with BCA 2019 Part 3.12

General:
All flashings, weep holes and damp proof coursing to be in accordance with NCC Housing provisions Part 5.7. Fibre cement sheet in accordance with NCC Housing provisions Part 7.5. Block construction in accordance NCC Housing provisions Part 5. Plasterboard linings to internal walls and ceilings with selected cornice. (see below for wet areas)

Wet areas: All wet areas shall comply with the requirements of ABCB Housing provisions Part 10.2. Provide waterproof plasterboard sheeting to all walls and ceilings. Provide ceramic tiles or other approved water resistant lining in accordance with Part 10.2.9 to a minimum height of 1800mm to shower walls and to a height of min 150mm behind baths, basins, sinks, troughs, washing machines and wall fixtures.

For construction of floor wastes refer to NCC ABCB Housing provisions part 10.2.12. For typical installation requirements for substrate preparation, penetrations, flashings/ junctions, membranes, screeds, hobs, baths, showers, door jambs and screens refer to ABCB Housing provisions part 10.2.14-32.



SECTION A-A

TRUSS MANUFACTURER TO NOTE:
ALL TRUSSES TO BE DESIGNED TO BE SUPPORTED BY ALL EXTERNAL WALLS FOR BOTH DEAD AND WIND LOADS.

© COPYRIGHT IN WHOLE OR IN PART

07

PROJECT NORTH

CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.

DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS.

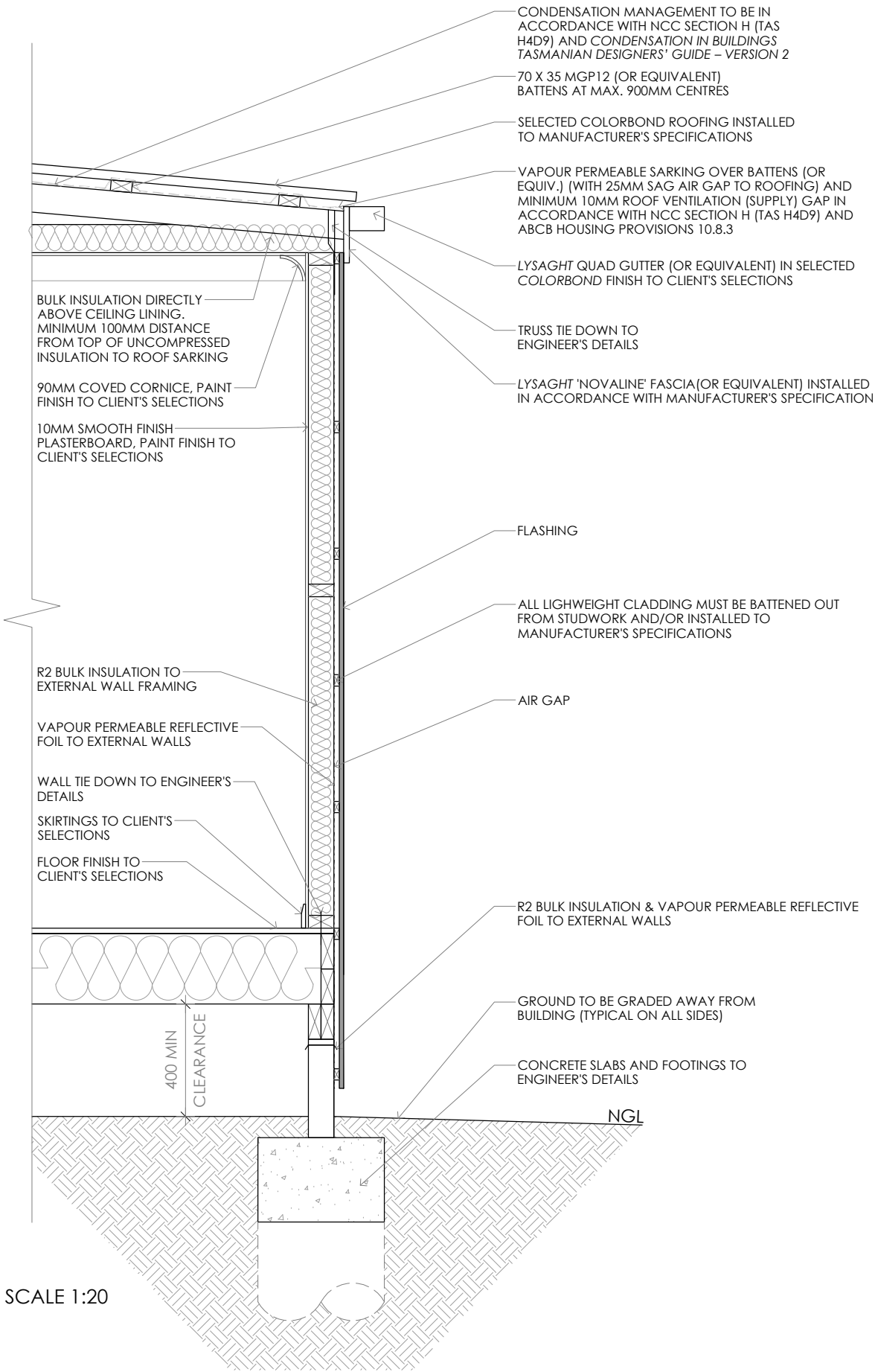
PRELIMINARY

REV:	DESCRIPTION:	BY:	DATE:
SK	ISSUED FOR CLIENT REVIEW	QT	18/12/24
A	ISSUED FOR CLIENT REVIEW	NN	20/02/25
B	ADD WINDOWS	NN	01/04/25

CREATIVE HOMES HOBART

CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS: Lot 2 Owens Hill Road Bagdad		CLIENT: Kate Berry
DESIGNER: I. Brown	ACCRED. NO.: CC6652	SHEET: 7 of 9
DRAWN: N. Nguyen	DATE: December 2024	DESIGN TYPE: Custom
CHECKED:	DATE:	DRAWING NO:
SCALE: 1:50	REV: B	---



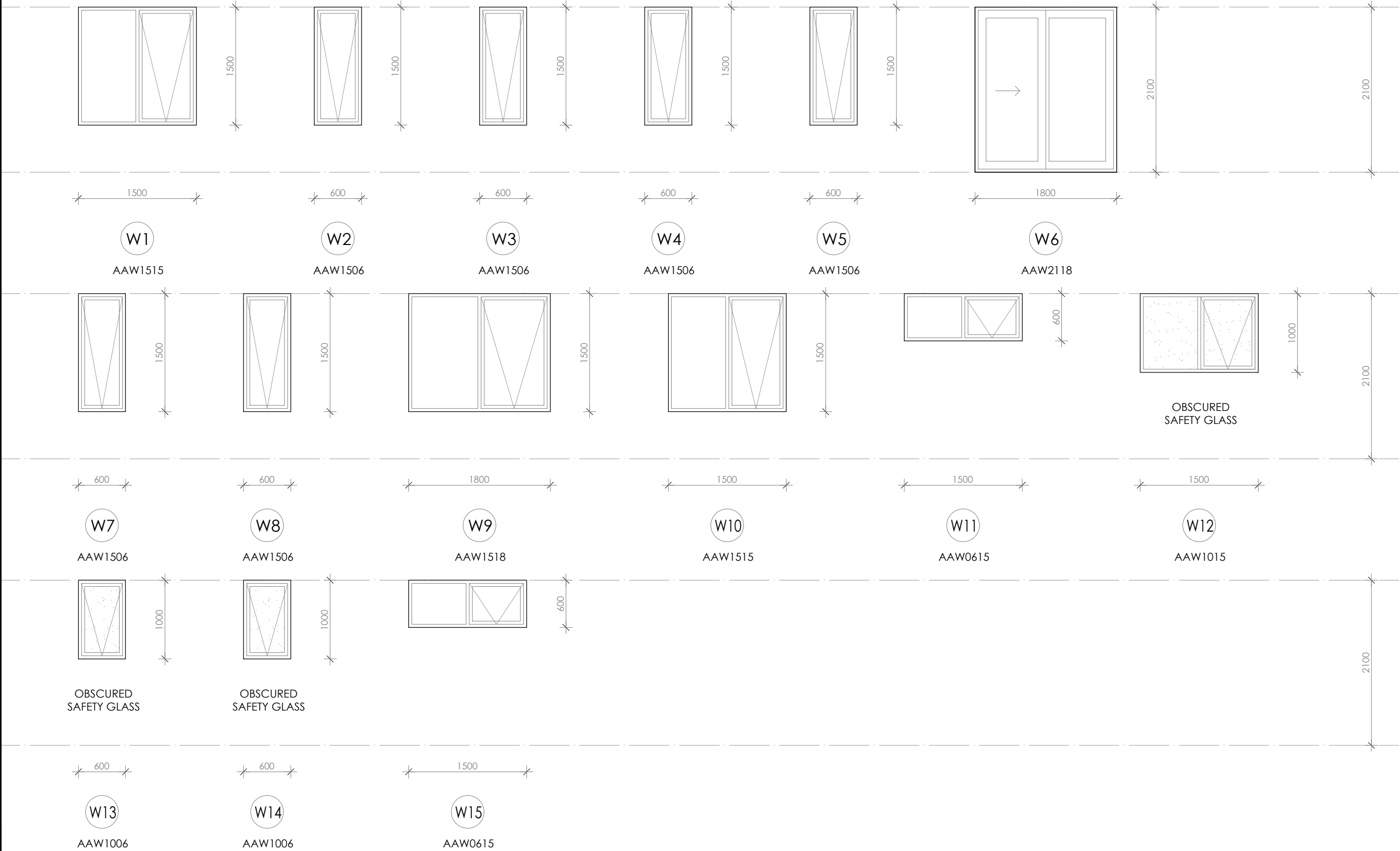
FLOOR, WALL & ROOF DETAIL SCALE 1:20

TYPICAL SECTION DETAILS

PRELIMINARY

© COPYRIGHT IN WHOLE OR IN PART

08		CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS. DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS.	REV:	DESCRIPTION:	BY:	DATE:		CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000			DESIGNER: I. Brown		ACCRED. NO.: CC6652	SHEET: 8 of 9
			SK	ISSUED FOR CLIENT REVIEW	QT	18/12/24					DRAWN: N. Nguyen		DATE: December 2024	DESIGN TYPE: Custom
			A	ISSUED FOR CLIENT REVIEW	NN	20/02/25					CHECKED:		DATE:	DRAWING NO:
			B	ADD WINDOWS	NN	01/04/25					SCALE: AS SHOWN		REV: B	---



WINDOW SCHEDULE

fg FIXED GLAZING

Framing NCC H1D6
All timber framing, fixing and bracing shall comply with AS 1684 and the requirements of NCC H1D6. Manufactured sizes must not be undersized to those specified, for all timber sizes, stress grades, spacing and wall bracing refer to Engineer's details. Tie-down details shall be in accordance with Engineer's details and comply with NCC H1D6 (4). Structural steel members shall comply with the requirements of clauses in NCC H1D6 (3). Refer to Engineer's details where provided.

Glazing NCC H1D8
All windows to be aluminium awning style, double glazed (obscured safety glass to bathrooms as shown on drawings). All glazing shall comply with the requirements of AS 2047 & AS 1288 and NCC H1D8.

Human impact safety requirements shall comply with NCC H1D8 (3) and Part 8.4 of the ABCB Housing provisions.

Note:
Builder and subcontractors to verify all dimension and levels prior to the commencement of any work. Give 24hrs minimum notice where amendments are required to design of working drawings. These drawings are to be read in conjunction with Engineer's and Surveyor's drawings and notes. Do not scale drawings. Dimensions are to take preference over scale. Building specification and Engineer's drawings shall override architectural drawings. All construction work shall be carried out in accordance with the state building regulations, local council by-laws and relevant NCC and AS codes.

Important notice for attention of Owners:
the Owners attention is drawn to the fact that foundations and associated drainage in all sites requires continuing maintenance to assist footing performance. Advice for foundation maintenance is contained in the CSIRO building technology file 18 and it is the Owners responsibility to maintain the site in accordance with this document.

Energy efficiency:
Insulation must comply with AS/NZS4859.1 and be installed in accordance with ABCB housing provisions Part 13.2.2 and comply with minimum R values for climate zone 7.
Bulk insulation between external studs to be insulated with min R2.0. (Ensure batts fit within cavity without compression, making sure that there is at least 25mm gap from the reflective surface). External walls are to be clad with vapour permeable reflective foil over the outside of the timber frame. Ceiling to be insulated with R4.0 and vapour permeable sarking. Floor to be insulated with Min R1.7 batts where applicable. Seal exhaust fans to Ensuite, Bathroom, Laundry and Kitchen. All downlights to be IC rated. Construction of the external walls, floor and roof for compliance with building sealing requirements shall comply with BCA 2019 Part 3.12

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© COPYRIGHT IN WHOLE OR IN PART

PRELIMINARY

09	PROJECT NORTH	CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS. DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS.	REV:	DESCRIPTION:	BY:	DATE:
			SK	ISSUED FOR CLIENT REVIEW	QT	18/12/24
			A	ISSUED FOR CLIENT REVIEW	NN	20/02/25
			B	ADD WINDOWS	NN	01/04/25



CREATIVE HOMES
HOBART

CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS: Lot 2 Owens Hill Road Bagdad		CLIENT: Kate Berry	
DESIGNER: I. Brown	ACCRED. NO.: CC6652	SHEET: 9 of 9	
DRAWN: N. Nguyen	DATE: December 2024	DESIGN TYPE: Custom	
CHECKED:	DATE:	DRAWING NO: ---	
SCALE: 1:50	REV: B		

SITE INVESTIGATION REPORT

**AS 2870 SITE CLASSIFICATION &
AS 4055 WIND LOADS FOR HOUSING**

**CLIENT:
BOOTH FAMILY TRUST**

**PROJECT ADDRESS:
LOT 2 OWENS HILL ROAD
BAGDAD 7030**

**PROPOSED DEVELOPMENT:
RESIDENTIAL DWELLING**

**FILE NUMBER:
H2855**

**DATE:
28 JUNE 2024**

**HED CONSULTING
UNIT 2, 1 LIVERPOOL ST, HOBART 7000
P 03 6146 0334 E info@hed-consulting.com.au**



**HED
CONSULTING**

1. Executive Summary

The subject land is located at Lot 2 Owens Hill Road, Bagdad. The development proposal includes the construction of a residential dwelling. The site investigation has been conducted in accordance with AS2870:2011 *Residential slabs and footings* and AS4055-2021 *Wind Load for housing*. A summary of the report is detailed in the table below.

Analysis	Observations / Results
Site classification	H1
Surface movement (y_s) range:	40-60mm (natural soil profile)
Geology:	Quaternary alluvial fans
Refusal depth:	1.2m (hard sandy clay)
Soil bearing capacity:	>100 kPa @ 0.35m depth
Modified Emerson Crumb test:	Dispersive clay @ 0.35m depth
Wind classification:	N3

2. Client Information and Site Location

	Information
Agent:	Booth Family Trust
Site address:	Lot 2 Owens Hill Road Bagdad
Property ID:	
Title Reference:	

3. Site information

Site information	Results
Size of development:	Residential dwelling
Services available:	Power, telecommunications, water & sewerage & stormwater
Zoning:	Village
Tenure:	Private Freehold
Permit Authority:	Southern Midlands Council
Planning Overlays:	Bushfire-prone areas

4. Site visit

Site investigation	Observations / Results
Date of site investigation:	25/6/2024
Slope:	10% (natural slope)
Aspect:	East
Rainfall:	21mm (preceding two weeks) ¹
Drainage:	Imperfect
Vegetation:	Grass
Erosion:	No significant erosion was observed

¹ Bureau of Meteorology, <http://www.bom.gov.au>, Daily Rainfall Tea Tree (The Point)

5. Soil Profile

A bore hole was conducted near the centre of the lot. The bore hole revealed a sandy topsoil overlying medium - high plasticity clay at a depth of 0.35m. Auger refused at a depth of 1.2m on hard sandy clay. The soil profile and location of the bore hole is shown in the appendix of this report.

6. Site Stability

The site exhibits no signs of significant erosion or land instability.

Earthworks shall comply with AS3798-2007 Guidelines on earthworks for commercial and residential developments.

7. AS2870 Site Classification

The site is classified as: **H1**

The natural soil profile has 40-60mm γ_s surface movement.

Dispersive clay soil is dispersive and prone to tunnel erosion. The clay subsoil should not be exposed to rainfall and covered with a minimum 100mm of non – dispersive topsoil. Footings and service trenches should be dug when weather is fine, and concrete poured as soon as practical after excavation.

8. AS4055 Wind Classification

The site is classified as per AS4055 – 2021 Wind loads for housing.

Site information	Results
Geographic region:	A
Terrain Category:	1
Topographic classification:	T0
Shielding:	NS
Wind Classification:	N3
Wind Speed ($V_{h,u}$):	50m/s

9. General notes and limitations

Site Investigation:

Site investigation conducted in accordance with the requirements of clause 2.4 of AS2870:2011. The aim of a site investigation is to obtain information about the soil at the location of the intended building(s). The location of bore holes are based on information supplied from the client and other any other location that is deemed necessary by HED Consulting to provide an accurate report. The investigation only applies to this part of the site and the results and recommendations of this report should not be used for any other part of the site.

HED Consulting aims to provide an accurate report at the time of the investigation however natural variations in soil characteristics and depth can occur over short distances. Soil conditions can also vary over time due to climatic events or earthworks. For example, the bearing capacity of clay soils can vary due to the seasonal climatic events. HED Consulting accepts no responsibility for soil conditions that are different to what was inspected at the time of the investigation. If the soil conditions encountered vary to the results of this report HED Consulting should be contacted for advice. As per clause 2.5.2 of AS2870:2011 the site may require to be re-classified if a cut exceeds 500mm or depth of fill would result in a P classification (when the earthworks were not known at the time of investigation).

Soil testing:

Soil samples (when collected) are tested in accordance with AS1289.7.1.1 – 2003 *Soil reactivity tests-determination of the shrinkage index of a soil-shrink swell index*. Soil testing is not required for all sites due to previous testing of similar material and/or using professional opinion. Bearing capacity of soil is based on field testing with accordance to clause 6.1.7 of AS1726:2017 and / or pocket penetrometer and / or DCP method. Bearing capacity of clays can vary seasonally. Clay can lose strength with high moisture content and increase in strength when clay dries. Bearing capacity results are estimated and are valid for the time of the investigation only. Emersion testing is conducted in accordance with Dispersive Soils and their Management, Technical Reference Manual, Marcus Hardie – 2009. This test reveals whether a clay is dispersive or not.

Building maintenance notes:

The building foundations shall be designed by an engineer. The builder must ensure that good site drainage is provided during the construction phase. Soil drains shall be constructed before excavation of the footings. Roof water should be diverted away from the footing as soon as the roof is constructed by using temporary pipes if necessary.

The long-term performance of the building is dependent upon satisfactory ongoing maintenance by the owner. The builder and owner should obtain a copy of the notes contained within the CSIRO – Building Technology Services, Foundation Maintenance and Footing Performance. A copy of this manual can be purchased from CSIRO Publishing, <http://www.publish.csiro.au>. Earthworks shall comply with AS3798-2007 Guidelines on Earthworks for commercial and residential developments.

10. Appendix

10.1 Field photos



Photo 1: Field photo showing the soil profile of bore hole BH01.

10.2 Bore hole logs

See attached.

10.3 Site plan

See attached.

10.4 Form 55

See attached.



Bore hole No.

BH01

Page 1 of 1

Project Number : H2855

Engineering Log - Bore hole

Client: Booth Family Trust Date: 25/06/2024
Project Address: Lot 2 Owens Hill Road, Bagdad Borehole Location: Lat -042.605187° / Long +147.215328° (±4.5m)
Logged By: J Hepper Drilling Method: 55mm Sitech Auger

Drilling Information					Observation / Notes				
Method	Support	Water	Depth (mm)	Group Symbol	Material Description: Colour, Structural, Fraction, Plasticity, Bedding, Additional	Moisture Condition	Consistency / Relative Density	In situ testing (Est. KPa)	Structure and Additional Observations
			0		SAND, with clay, trace silt, trace rootlets, dark brown	M	L		
			200						
				SP	SAND, trace clay, trace silt, grey - white	M	MD		
			350						
				Cl, CH	CLAY, with sand, brown slightly mottled orange, high plasticity, dispersive	M	St	> 100	D
					Auger refusal on hard sandy clay				

Drilling Method

HA - Hand Auger
E - Excavator
WB - Wash Boring

Support

C - Casing

Sample and Tests

U - Undisturbed Sample
D - Disturbed Sample
PP - Pocket Penetrometer
DCP - Dynamic Cone Penetration Test
SPT - Standard Penetration Test
SV - Shear Vane Test

Classification Symbols and

Soil Description
Based on Unified Soil Classification System and in accordance with AS1726

Moisture Condition

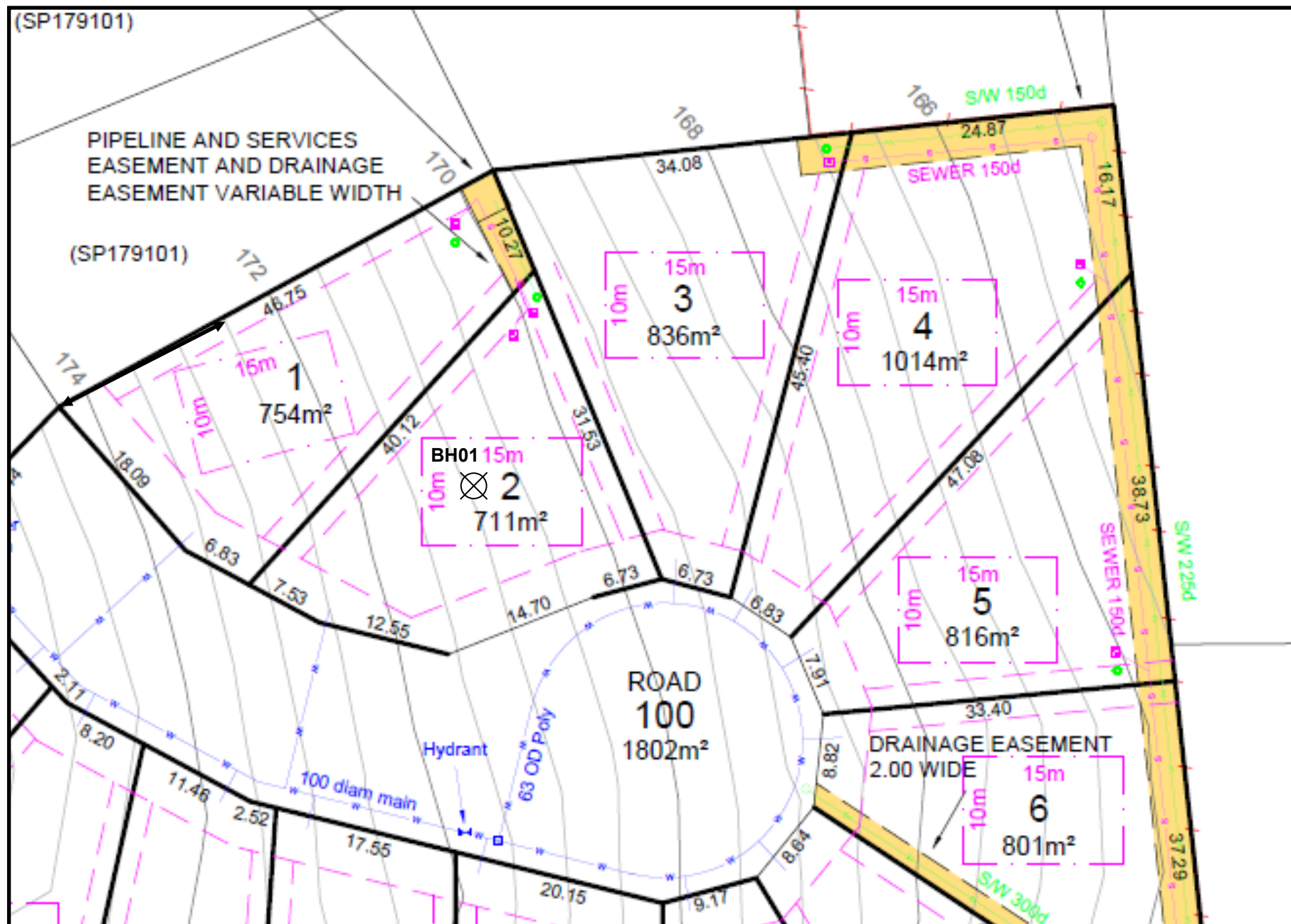
W - Wet
M - Moist
D - Dry

Consistency / Relative Density

VS - Very Soft L - Loose
S - Soft MD - Medium Dense
F - Firm D - Dense
St - Stiff VD - Very Dense
Vst - Very Stiff
H - Hard
Fr - Friable

Water

▼ Level
▷ Inflow
◁ Partial Loss



**CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE
ITEM****Section 321**

To: Owner /Agent
 Address
 Suburb/postcode

Form **55****Qualified person details:**

Qualified person:
 Address: Phone No:
 Fax No:
 Licence No: Email address:

Qualifications and Insurance details: (description from Column 3 of the
Director's Determination - Certificates
by Qualified Persons for Assessable
Items)

Speciality area of expertise: (description from Column 4 of the
Director's Determination - Certificates
by Qualified Persons for Assessable
Items)

Details of work:

Address: Lot No:
 Certificate of title No:
 The assessable item related to this certificate: (description of the assessable item being
certified)
 Assessable item includes –
 - a material;
 - a design
 - a form of construction
 - a document
 - testing of a component, building
 system or plumbing system
 - an inspection, or assessment,
 performed

Certificate details:

Certificate type: (description from Column 1 of
Schedule 1 of the Director's
Determination - Certificates by
Qualified Persons for Assessable
Items n)

This certificate is in relation to the above assessable item, at any stage, as part of - (tick one)

building work, plumbing work or plumbing installation or demolition work: ☒

or

a building, temporary structure or plumbing installation: ☐

In issuing this certificate the following matters are relevant –

Documents:

AS2870 Site Classification and AS4055 Wind Classification dated 28 June 2024

Relevant
calculations:

References:

AS2870 – 2011, AS4055 – 2021

Substance of Certificate: (what it is that is being certified)

Foundation and wind classification

Scope and/or Limitations

Footings to inspected by engineer prior to pour.

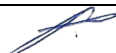
Limitations as per section 9.0 of site investigation report dated 28 June 2024

I certify the matters described in this certificate.

Qualified person:

Signed:

JOE HEPPER



Certificate No:

H2855

Date:

28/6/2024

SEARCH OF TORRENS TITLE

VOLUME 188332	FOLIO 2
EDITION 1	DATE OF ISSUE 23-May-2025

SEARCH DATE : 02-Jul-2025

SEARCH TIME : 12.58 PM

DESCRIPTION OF LAND

Parish of STRANGFORD Land District of MONMOUTH
Lot 2 on Sealed Plan 188332
Derivation : Part of 180A-3R-33P Gtd. to Claude Armytage
Galletly & Reginald Armytage Galletly
Prior CT 179101/202

SCHEDULE 1

M980860 TRANSFER to ELLIOTT DAVID BOOTH and JULIEANNE MARY
BOOTH Registered 07-Sep-2022 at noon

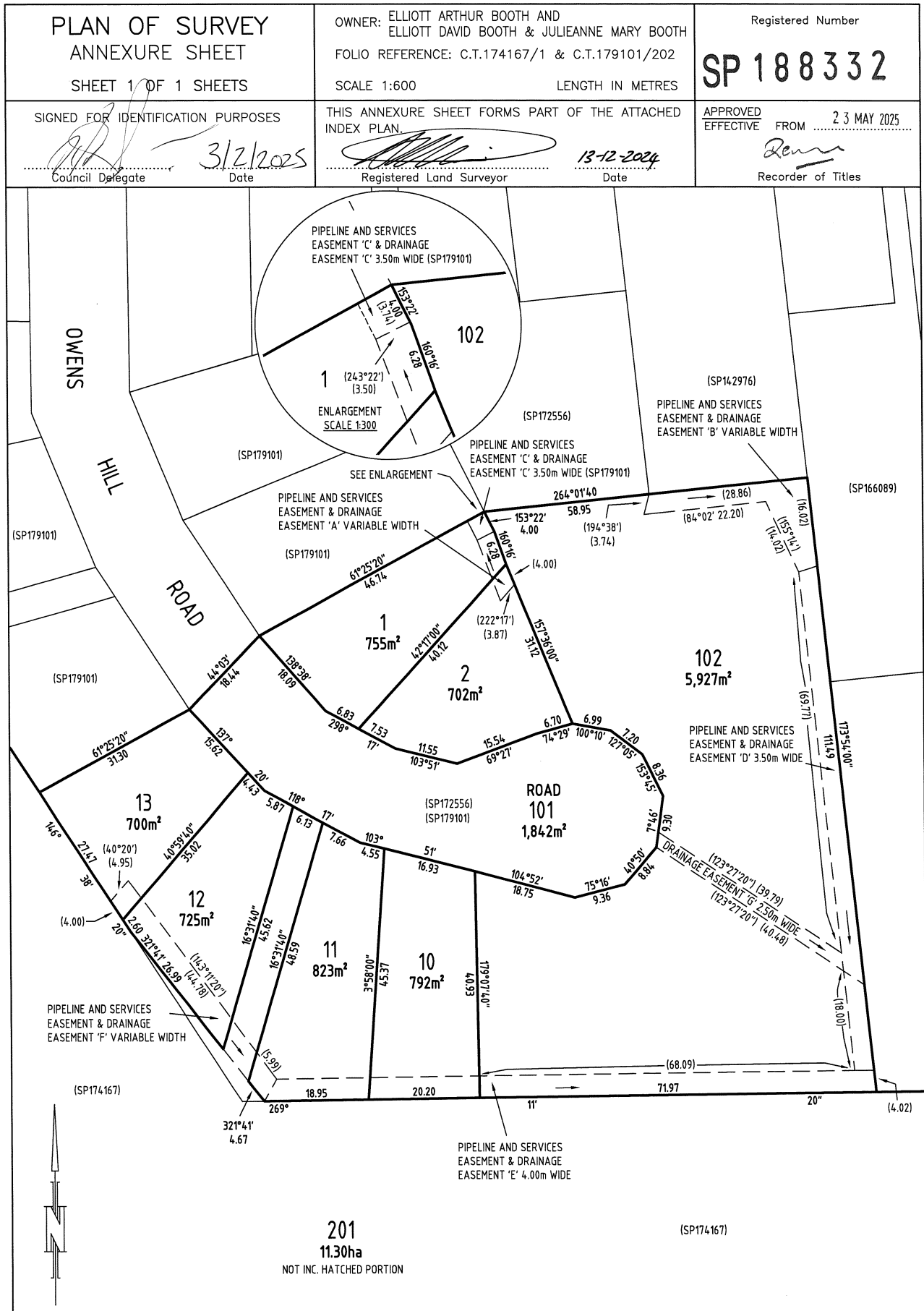
SCHEDULE 2

Reservations and conditions in the Crown Grant if any
SP188332 EASEMENTS in Schedule of Easements
SP188332 COVENANTS in Schedule of Easements
SP188332 FENCING COVENANT in Schedule of Easements
SP172556 & SP179101 FENCING COVENANT in Schedule of Easements

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

[illegible]



SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 188332

PAGE 1 OF 8 PAGES
7

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

FENCING COVENANT:

The owner of each lot on the Plan covenants with Elliott Arthur Booth, Elliott David Booth and Julieanne Mary Booth (the Vendors) that the Vendors shall not be required to fence.

EASEMENTS:

Lots 1 and 2 on the Plan are each SUBJECT TO a Pipeline and Services Easement (as defined herein) in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Limited, its successors and assigns ("TasWater") over the area marked "PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 'A' VARIABLE WIDTH" on the Plan ("the Easement Land").

Lots 1 and 2 on the Plan are each SUBJECT TO a right of drainage in gross in favour of Southern Midlands Council over the area marked "PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 'A' VARIABLE WIDTH" on the Plan.

Lot 102 on the Plan is SUBJECT TO a Pipeline and Services Easement (as defined herein) in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Limited, its successors and assigns ("TasWater") over the area marked "PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 'B' VARIABLE WIDTH" on the Plan ("the Easement Land").

T-T0929802-2

(USE ANNEXURE PAGES FOR CONTINUATION)

<p>SUBDIVIDER: Elliott Arthur Booth, Elliott David Booth and Julieanne Mary Booth</p> <p>FOLIO REF: Volume 174167 Folio 1 and Volume 179101 Folio 202</p> <p>SOLICITOR & REFERENCE: Butler, McIntyre & Butler: BW232550</p>	<p>PLAN SEALED BY: Southern Midlands Council</p> <p>DATE: 3/12/2025</p> <p>SA210001BC</p> <p>REF NO.</p> <p style="text-align: right;">Council Delegate</p>
<p>NOTE: The Council Delegate must sign the Certificate for the purposes of identification.</p>	

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Elliott Arthur Booth *Elliott David Booth* *Julieanne Mary Booth*



Information & Checklist Sheet

DEVELOPMENT / USE

Use this check list for submitting your application for a planning permit –Please do not attach the check list with your application

Submitting your application ✓

1. All plans and information required per Part 6.1 Application Requirements of the Tasmanian Planning Scheme i.e.: site plan showing all existing buildings, proposed buildings, elevation plans etc. ☒
2. Copy of the current Certificate of Title, Schedule of Easements and Title Plan (Available from Service Tasmania Offices) ☒
3. Any reports, certificates or written statements to accompany the Application (if applicable) required by the relevant zone or code. ☐
4. Prescribed fees payable to Council ☐

Information

If you provide an email address in this form then the Southern Midlands Council ("the Council") will treat the provision of the email address as consent to the Council, pursuant to Section 6 of the Electronic Transactions Act 2000, to using that email address for the purposes of assessing the Application under the Land Use Planning and Approvals Act 1993 ("the Act").

If you provide an email address, the Council will not provide hard copy documentation unless specifically requested.

It is your responsibility to provide the Council with the correct email address and to check your email for communications from the Council.

If you do not wish for the Council to use your email address as the method of contact and for the giving of information, please tick ✓ the box ☒

Heritage Tasmania

If the Property is listed on the Tasmanian Heritage Register then the Application will be referred to Heritage Tasmania unless an Exemption Certificate has been provided with this Application. (Phone 1300 850 332 (local call cost) or email enquires@heritage.tas.gov.au)

TasWater

Depending on the works proposed Council may be required to refer the Application to TasWater for assessment (Phone 136992)

IMPORTANT: There is no connection between Planning approval and Building & Plumbing approvals.

Owners are to ensure that the work is either Low-Risk Building Work, Notifiable Building Work or Permit work in accordance with the Directors Determination – Categories of Building & Demolition Work v 1.4 dated 12 March 2021 prior to any building works being carried out on the land.

https://www.cbos.tas.gov.au/data/assets/pdf_file/0014/405014/Directors-determination-categories-of-building-and-demolition-work-2021.pdf

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 8 PAGES 7	Registered Number SP 188332
SUBDIVIDER: Elliott Arthur Booth, Elliott David Booth and Julieanne Mary Booth FOLIO REFERENCE: Volume 174167 Folio 1 and Volume 179101 Folio 202	

Lot 102 on the Plan is SUBJECT TO a right of drainage in gross in favour of Southern Midlands Council over the area marked "PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 'B' VARIABLE WIDTH" on the Plan ("the Easement Land").

Lot 1 on the Plan is SUBJECT TO a Pipeline and Services Easement (as defined herein) in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Limited, its successors and assigns ("TasWater") over the area marked "PIPELINE AND SERVICES EASEMENT 'C' & DRAINAGE EASEMENT 'C' 3.50m WIDE (SP179101)" on the Plan ("the Easement Land").

Lot 1 on the Plan is SUBJECT TO a right of drainage in gross in favour of Southern Midlands Council over the area marked "PIPELINE AND SERVICES EASEMENT 'C' & DRAINAGE EASEMENT 'C' 3.50m WIDE (SP179101)" on the Plan ("the Easement Land").

Lot 102 on the Plan is SUBJECT TO a Pipeline and Services Easement (as defined herein) in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Limited, its successors and assigns ("TasWater") over the area marked "PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 'D' 3.50m WIDE" on the Plan ("the Easement Land").

Lot 102 on the Plan is SUBJECT TO a right of drainage in gross in favour of Southern Midlands Council over the area marked "PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 'D' 3.50m WIDE" on the Plan ("the Easement Land").

Lots 10, 11 and 102 on the Plan are each SUBJECT TO a Pipeline and Services Easement (as defined herein) in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Limited, its successors and assigns ("TasWater") over the area marked "PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 'E' 4.00m WIDE" on the Plan ("the Easement Land").

Lots 10, 11 and 102 on the Plan are each SUBJECT TO a right of drainage in gross in favour of Southern Midlands Council over the area marked "PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 'E' 4.00m WIDE" on the Plan ("the Easement Land").

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E Booth *ED Booth* *J Booth*

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 8 PAGES 7	Registered Number SP 188332
SUBDIVIDER: Elliott Arthur Booth, Elliott David Booth and Julieanne Mary Booth FOLIO REFERENCE: Volume 174167 Folio 1 and Volume 179101 Folio 202	

Lots 11, 12, 13 and 201 on the Plan are each SUBJECT TO a Pipeline and Services Easement (as defined herein) in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Limited, its successors and assigns ("TasWater") over the area marked "PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 'F' VARIABLE WIDTH" on the Plan ("the Easement Land").

Lots 11, 12, 13 and 201 on the Plan are each SUBJECT TO a right of drainage in gross in favour of Southern Midlands Council over the area marked "PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 'F' VARIABLE WIDTH" on the Plan ("the Easement Land").

Lot 102 on the Plan is SUBJECT TO a right of drainage in gross in favour of Southern Midlands Council over the area marked "DRAINAGE EASEMENT 'G' 2.50m WIDE" on the Plan.

EASEMENTS CONTINUED ON PAGE 7

COVENANTS:

The owner of each lot on the Plan covenants with the Vendor and the owner of each and every other lot on the Plan and to the intent that the burden of the covenant will run with and bind the covenantor's lot and every part thereof and that the benefit thereof may be created in favour of each and every other lot on the Plan to observe the following stipulations:

other than in respect of lots 102 and 201, not to erect or permit to be erected on the lot or any part thereof more than one (1) dwelling.

The Vendor reserves the right to sell any lot on the Plan free and exempt from any one or more of the covenants set forth in relation to any lot shown on the Plan and/or to waive modify alter or extinguish any one or more of the covenants set forth above as to any lot. The exercise of this right by the Vendor in relation to any lot shall not release the owner of any other lot from any other covenants imposed upon such lot or give the owner of any lot any right of action against the Vendor or any person or persons.

DEFINITIONS:

"Pipeline and Services Easement" means:-

THE FULL RIGHT AND LIBERTY for TasWater at all times to:

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 4 OF 8 PAGES 7	Registered Number SP 188332
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- (1) enter and remain upon the Easement Land with or without employees, contractors, agents and all other persons duly authorised by it and with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse and repair the Infrastructure;
- (4) remove and replace the Infrastructure;
- (5) run and pass sewage, water and electricity through and along the Infrastructure;
- (6) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (1) without doing unnecessary damage to the Easement Land; and
 - (2) leaving the Easement Land in a clean and tidy condition; and
- (7) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and all other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lots from the highway at any then existing vehicle entry and cross the Lots to the Easement Land; and
- (8) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lots.

PROVIDED ALWAYS THAT:

- (1) The registered proprietors of the Lots in the folio of the Register ("the Owner") must not without the written consent of TasWater first had and obtained and only in compliance with any conditions which form the consent:
 - (a) alter, excavate, plough, drill or otherwise penetrate the ground level of the Easement Land;
 - (b) install, erect or plant any building, structure, fence, pit, well, footing, pipeline, paving, tree, shrub or other object on or in the Easement Land;
 - (c) remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land;
 - (d) do any thing which will or might damage or contribute to damage to any of the Infrastructure on or in the Easement Land;

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Elliott Arthur Booth, Elliott David Booth, Julianne Mary Booth

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 5 OF 7 PAGES	Registered Number SP 188332
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- (e) in any way prevent or interfere with the proper exercise and benefit of the Easement Land by TasWater or its employees, contractors, agents and all other persons duly authorised by it; or
 - (f) permit or allow any action which the Owner must not do or acquiesce in that action.
- (2) TasWater is not required to fence any part of the Easement Land.
- (3) The Owner may erect a fence across the Easement Land at the boundaries of the Lots.
- (4) The Owner may erect a gate across any part of the Easement Land subject to these conditions:
- (a) the Owner must provide TasWater with a key to any lock which would prevent the opening of the gate; and
 - (b) if the Owner does not provide TasWater with that key or the key provided does not fit the lock, TasWater may cut the lock from the gate.
- (5) If the Owner causes damage to any of the Infrastructure, the Owner is liable for the actual cost to TasWater of the repair of the Infrastructure damaged.
- (6) If the Owner fails to comply with any of the preceding conditions, without forfeiting any right of action, damages or otherwise against the Owner, TasWater may:
- (a) reinstate the ground level of the Easement Land; or
 - (b) remove from the Easement Land any building, structure, pit, well, footing, pipeline, paving, tree, shrub or other object; or
 - (c) replace any thing that supported, protected or covered the Infrastructure.

"Infrastructure" means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) power poles and lines, electrical wires, electrical cables and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land, the Infrastructure or any warnings or restrictions with respect to the Easement Land or the Infrastructure;
- (f) any thing reasonably required to support, protect or cover any of the Infrastructure;


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- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

SIGNED by ELLIOTT ARTHUR BOOTH in)
the presence of:)


ELLIOTT ARTHUR BOOTH

Witness: 

Name: Sandra Helen Oakley

Address: 19 Iden Road, Bagdad, 7030

Occupation: Triage Clerk

SIGNED by ELLIOTT DAVID BOOTH in)
the presence of:)


ELLIOTT DAVID BOOTH

Witness: 

Name: Julie Ellen Oakley

Address: 19 Iden Road, Bagdad, 7030

Occupation: Retail Sales Assistant

SIGNED by JULIANNE MARY BOOTH in)
the presence of:)


JULIANNE MARY BOOTH

Witness: 

Name: RACHEL CORNELIUS

Address: 41 QUARRY TOWN ROAD, BAGDAD 7030

Occupation: POST OFFICE LICENCEE

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 7 OF 7 PAGES	Registered Number SP 188332
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EASEMENTS CONTINUED

Lot 201 on the Plan is SUBJECT TO:

- (a) a Pipeline and Services Easement (as defined herein) in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Limited, its successors and assigns ("TasWater") over the area marked "PIPELINE EASEMENT 6.00m WIDE (P45683)" on the Plan ("the Easement Land");
- (b) a Pipeline Easement in favour of Her Majesty the Queen over the area marked "PIPELINE EASEMENT 6.00m WIDE (P45683)" on the Plan and as created by and more fully set forth in Notification No. B386291;
- (c) a Gas Pipeline Right set forth in Memorandum of Provisions No. M225 in favour of Tasmanian Gas Pipeline Pty Ltd over the area marked "GAS SUPPLY EASEMENT '22' 20.00m WIDE" on the Plan and as created by and more fully set forth in C440792 & D4385;
- (d) a Pipeline and Services Easement (as defined herein) in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Limited, its successors and assigns ("TasWater") over the area marked "DRAINAGE EASEMENT 3.00m WIDE (SP109381)" on the Plan ("the Easement Land"); and
- (e) a Right of Drainage (appurtenant to Lots 5-10 & 101 on SP109381) over the area marked "DRAINAGE EASEMENT 3.00m WIDE (SP109381)" on the Plan.

[Signature] 03/04/2025
 Bradley John Walsh
 Solicitor for the Vendors
 20 Murray Street
 Hobart TAS 7000

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