



Public Notice Details

Planning Application Details

Application No	DA2500073
-----------------------	-----------

Property Details

Property Location	111 Springhill Bottom Road Colebrook
--------------------------	--------------------------------------

Application Information

Application Type	Discretionary Development Application
Development Category	Dwelling, Studio and Outbuilding
Advertising Commencement Date	2/8/25
Advertising Closing Period	16/8/25
<small>If the Council Offices are closed during normal office hours within the above period, the period for making representations is extended.</small>	

Enquiries regarding this Application can be made via to Southern Midlands Council on (03) 6254 5050 or by emailing planningenquires@southernmidlands.tas.gov.au. Please quote the development application number when making your enquiry.

Representations on this application may be made to the General Manager in writing either by

Post: PO Box 21, Oatlands Tas 7120
Email: mail@southernmidlands.tas.gov.au
Fax: 03 6254 5014

All representations must include the authors full name, contact number and postal address and be received by the advertising closing date.

6/6/25



APPLICATION FOR PLANNING PERMIT DEVELOPMENT / USE

Use this form to apply for a permit in accordance with section 57 and 58 of the *Land Use Planning and Approvals Act 1993*

Proposed
use/development:
(Provide details of
proposed works and use).

DWELLING AND STUDIO (HOME OFFICE)
OUTBUILDING (FARM SHED)

Location of
Development:
(If the development
includes more than one
site, or is over another
property include address
of both Properties).

111 SPRINGHILL BOTTOM ROAD
COLEBROOK
7027

Certificate of Title/s
Volume Number/Lot
Number:

16580 / 5

Land Owners Name:

MARVIN GAMBOX TUMBAGAHAW

Full Name/s or Full Business/Company Name

Applicant's Name:

Full Name/s or Full Business/ Company Name (ABN if registered business or company name)

Contact details:

Postal address for correspondence:

AS ABOVE

Telephone or Mobile:

0432077076

Email address:

MARVIN.TUMBAGAHAW@GMAIL.COM

(Please note it is your responsibility to provide your correct email address and to check your email for communications from the Council.)

Details

Tax Invoice for
application fees to be
in the name of:
(if different from
applicant)

Full Name/s or Full Business or Company Name and ABN if registered business or company name

Print email address

ABN

What is the estimated value of all the new work proposed

\$ 400,000



For Commercial Planning Permit Applications Only

Signage:

Is any signage proposed?

Yes

☐

No

☒

If yes, attach details: size, location and art work

Business Details:

Existing hours of operation

Hours	am	to	pm
Weekdays			
Sat			
Sun			

Proposed hours of new operation

Hours	am	to	pm
Weekdays			
Sat			
Sun			

Number of existing employees:

Number of proposed new employees:

Traffic Movements:

Number of commercial vehicles serving the site at present

Approximate number of commercial vehicles servicing the site in the future

Number of Car Parking Spaces:

How many car spaces are currently provided

How many new car spaces are proposed

Is the development to be staged:

Please tick ✓ answer

Yes

☒

No

☐
Please attach any additional information that may be required by Part 6.1 *Application Requirements* of the Tasmanian Planning Scheme – Southern Midlands.

Signed Declaration

I/we as owner of the land or person with consent of the owner hereby declare that:

1. I/we have read the Certificate of Title and Schedule of Easements for the land and I/we are satisfied that this application is not prevented by any restrictions, easements or covenants.
2. I/we provide permission by or on behalf of the applicant for Council officers to enter the site to assess the application.
3. The information given in this application is true and accurate. I/we understand that the information and materials provided with this application may be made available to the public. I/we understand that the Council may make such copies of the information and materials as, in its opinion, are necessary to facilitate a thorough consideration of the application.
4. I/we have secured the necessary permission from the copyright owner to communicate and reproduce the plans submitted with the application for assessment. I/we indemnify the Southern Midlands Council for any claim or action taken against it regarding a breach of copyright in respect of any of the information or material provided.
5. I/we declare that, in accordance with Section 52(1) of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their consent is attached and the application form signed by the Minister of the Crown responsible and/or the General Manager of the Council.

Applicant Signature
(If not the Title Owner)

Applicant Name (please print)

Date

Land Owner(s) Signature

Land Owners Name (please print)

Date



Land Owner(s) Signature

Land Owners Name *(please print)*

Date

PRIVACY STATEMENT

The Southern Midlands Council abides by the Personal Information Protection Act 2004 and views the protection of your privacy as an integral part of its commitment towards complete accountability and integrity in all its activities and programs.

Collection of Personal Information: The personal information being collected from you for the purposes of the Personal Information Protection Act, 2004 and will be used solely by Council in accordance with its Privacy Policy. Council is collecting this information from you in order to process your application.

Disclosure of Personal Information: Council will take all necessary measures to prevent unauthorised access to or disclosure of your personal information. External organisations to whom this personal information will be disclosed as required under the Building Act 2000. This information will not be disclosed to any other external agencies unless required or authorised by law.

Correction of Personal Information: If you wish to alter any personal information you have supplied to Council please telephone the Southern Midlands Council on (03) 62545050. Please contact the Council's Privacy Officer on (03) 6254 5000 if you have any other enquires concerning Council's privacy procedures.



Information & Checklist Sheet

DEVELOPMENT / USE

Use this check list for submitting your application for a planning permit –Please do not attach the check list with your application

Submitting your application ✓

1. All plans and information required per Part 6.1 Application Requirements of the Tasmanian Planning Scheme i.e.: site plan showing all existing buildings, proposed buildings, elevation plans etc. ☐
2. Copy of the current Certificate of Title, Schedule of Easements and Title Plan (Available from Service Tasmania Offices) ☐
3. Any reports, certificates or written statements to accompany the Application (if applicable) required by the relevant zone or code. ☐
4. Prescribed fees payable to Council ☐

Information

If you provide an email address in this form then the Southern Midlands Council ("the Council") will treat the provision of the email address as consent to the Council, pursuant to Section 6 of the Electronic Transactions Act 2000, to using that email address for the purposes of assessing the Application under the Land Use Planning and Approvals Act 1993 ("the Act").

If you provide an email address, the Council will not provide hard copy documentation unless specifically requested.

It is your responsibility to provide the Council with the correct email address and to check your email for communications from the Council.

If you do not wish for the Council to use your email address as the method of contact and for the giving of information, please tick ✓ the box ☐

Heritage Tasmania

If the Property is listed on the Tasmanian Heritage Register then the Application will be referred to Heritage Tasmania unless an Exemption Certificate has been provided with this Application. (Phone 1300 850 332 (local call cost) or email enquires@heritage.tas.gov.au)

TasWater

Depending on the works proposed Council may be required to refer the Application to TasWater for assessment (Phone 136992)

IMPORTANT: There is no connection between Planning approval and Building & Plumbing approvals.

Owners are to ensure that the work is either Low-Risk Building Work, Notifiable Building Work or Permit work in accordance with the Directors Determination – Categories of Building & Demolition Work v 1.4 dated 12 March 2021 prior to any building works being carried out on the land.

https://www.cbos.tas.gov.au/data/assets/pdf_file/0014/405014/Directors-determination-categories-of-building-and-demolition-work-2021.pdf

SEARCH OF TORRENS TITLE

VOLUME	FOLIO
16580	5
EDITION	DATE OF ISSUE
4	13-May-2021

SEARCH DATE : 21-Nov-2023

SEARCH TIME : 09.44 AM

DESCRIPTION OF LAND

Parish of YARLINGTON, Land District of MONMOUTH

Lot 5 on Diagram 16580

Derivation : Whole of Lot 5 Gtd. to J. Brett. Whole of Lot 6

Gtd. to P. Goodman. Whole of Lot 31 Gtd. to M. D'Arcey.

Whole of Lot 32 Gtd. to C. Delaney.

Prior CT 3969/67

SCHEDULE 1

M838919 TRANSFER to CRAIG KEVIN DENNY Registered
15-Sep-2020 at noon

SCHEDULE 2

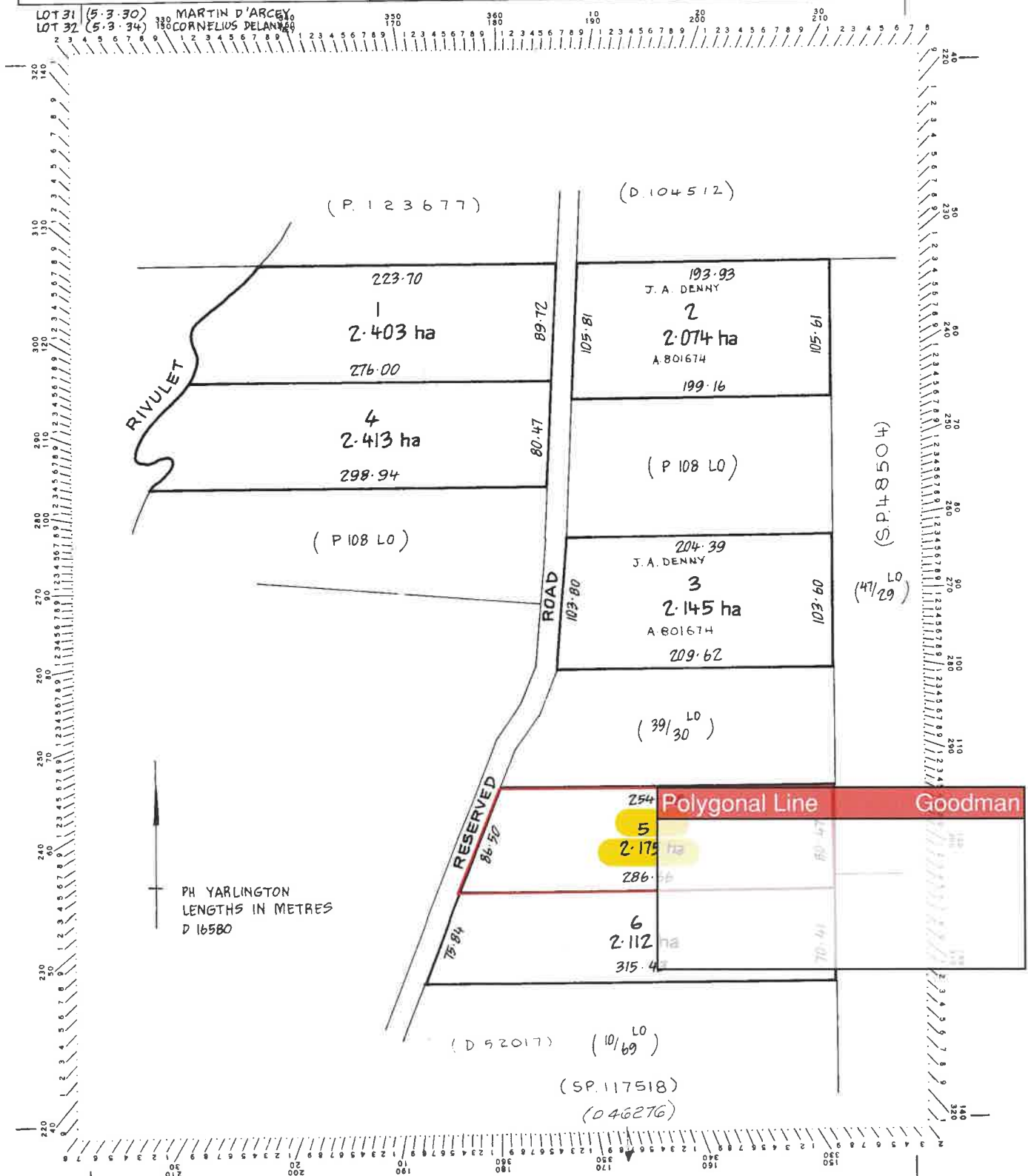
Reservations and conditions in the Crown Grant if any

E261792 MORTGAGE to B&E Ltd Registered 13-May-2021 at noon

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

Owner: DECEASED PERSONS ESTATE	PLAN OF SURVEY by Surveyor _____ of land situated in the	Registered Number: D 16580
Title Reference: Z 1242	LAND DISTRICT MONMOUTH PARISH OF YARLINGTON	Approved: 15 SEP 1981 Effective from: _____ <i>J. Broad</i> Recorder of titles
Grantee: LOT 1 (5.0.12) JOHN HALLORAN LOT 3 (5.1.8) PATRICK McDONALD LOT 5 (5.1.20) JAMES BRETT LOT 6 (5.0.35) PATRICK GODDMAN	SCALE 1: 3000 MEASUREMENTS IN METRES	



<~~lbrown~~@southernmidlands.tas.gov.au>

~~8/6/25~~
Subject: RE: Payment plan - Enforcement Action

Withhold building/plumbing approval until the DA debt has been settled...

Grant Finn | Manager | Development & Environmental Services



85 Main Street, Kempton, TAS, 7120

(All correspondence to P O Box 21, Oatlands, TAS, 7120)

P: 03 6254 5050

E: gfinn@southernmidlands.tas.gov.au

W: www.southernmidlands.tas.gov.au

From: Timothy Kirkwood <tkirkwood@southernmidlands.tas.gov.au>

Sent: Monday, 26 May 2025 2:24 PM

To: Louisa Brown <lbrown@southernmidlands.tas.gov.au>

Cc: Grant Finn <gfinn@southernmidlands.tas.gov.au>

Subject: RE: Payment plan - Enforcement Action

Rather than worry about how he is going to pay the \$1200 DA Fee, I think we should alert him (up front) to the fact that an Agronomist Report will be required which will mean an additional \$5K.

At least he then knows what he is facing all-up and wont waste his \$1200 DA fee without resolving how he can pay the Agronomist.

If he sought that out, we could offer him settlement terms which I would suggest be a minimum of \$300 per month (i.e. payable over 4 months) with the first \$300 being paid at the time of lodgement and then 3 instalments of \$300.

What do you think?

Tim

From: Louisa Brown <lbrown@southernmidlands.tas.gov.au>

Sent: Monday, 26 May 2025 1:52 PM

To: Timothy Kirkwood <tkirkwood@southernmidlands.tas.gov.au>

Cc: Grant Finn <gfinn@southernmidlands.tas.gov.au>

Subject: FW: Payment plan - Enforcement Action

Hi Tim,

I know that you have had some discussions with Linda about this property owner on Springhill Bottom Road, Colebrook. Marvin is his name.

Phil and I met with Marvin last week, Thursday and I issued him with a Notice to Take Enforcement Action, requesting that he submits an application for a Planning Permit by 12 June. Linda has placed a Building Notice on the property over 12 months ago and I felt things were dragging on too long. He needs a Planning Permit before the Building surveyor will issue a Temporary occupancy for this dwelling.

The reason for the email is two fold, firstly he is claiming poor to pay the Discretionary Planning Application fee of \$1200. He would like to know if there is some kind of payment option plan? Or similar? What information will they need to provide to confirm the financial difficulty?

SMC - KEMPTON
RECEIVED
6/6/25

Lot 5 103 SPRINGHILL BOTTOM RD
COLEBROOK TAS 7027

Proposed Dwelling



Sheet Index					
Layout ID	Layout Name	Revision	Issued	Published	Remark
	Cover Page		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
A.01.1	3D Images		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
A.01.2	3D Images		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
A.01.3	General Notes		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
A.01.4	Site Plan		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
A.01.5	Site Plan		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
A.01.6	Floor Plan		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
A.01.7	Roof Plan		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
A.01.8	Elevations		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
A.01.9	Elevations		<input type="checkbox"/>	<input checked="" type="checkbox"/>	

ZONING

21.0 Agriculture Zone

SITE AREA

80470 square metres per title plan TBC

SITE COVERAGE

0.20 % TBC

PROJECT SPECIFICATION

BUILDING AREAS

PROPOSED DWELLING FOOTPRINT
- 161 square metres TBC

Outdoor space
- 80309 square metres TBC

ENERGY SUMMARY

FLOOR INSULATION
R6.0 TBC

EXTERNAL WALL INSULATION
2x R2.0 - Total R4.0 TBC

INTERNAL WALL INSULATION
R2.7 TBC

ROOF INSULATION
R6 + sarking R0.2
Total R6.2 TBC

Double glazed thermally broken aluminum window
frames & sliding doors double glazed aluminum TBC

Light fittings suitable for installation in insulation and
do not compromise performance

TITLE REFERENCE

Title Reference: CT 16580/5
Property ID: 9236680

CONSULTANT REPORTS

BAL ASSESSMENT
Required

ENGINEERING
TBC

SOIL TEST
TBC

Concept
Design
17/06/2024

- 1. Design drawings must not be scaled.
- 2. All dimensions in millimetres unless noted otherwise.
- 3. All work carried out shall be in accordance with Australian Standards, the NCC, local authority by-laws & regulations and manufacturer's specifications.
- 4. Verify all dimensions on site before commencement.
- 5. All drawings shall be read in conjunction with consultants specifications and details.
- 6. Any discrepancies shall be referred to the Designer.

Revision History			
RevID	ChID	Change Name	Date

Company Title

D7

Duda Mello

architectural drafter

Maria Eduarda Oliveira
ABN 81 238 774 926
P 0415287185
E dudamelloa@gmail.com
W www.dudamelloa.com

Project info

Proposed Dwelling

ADD Lot 5103 Springhill Bottom Rd, Colebrook
TAS 7027 Australia

Client details

Marvin & Donna Tumbagahan
P 0432 077 076
E marvin.tumbagahan@gmail.com
ADD Lot 5 103 Springhill Bottom Rd,Colebrook,TAS7027

Drawing Name

Sheet Index

Drawing Scale

Not to Scale @ A3

Date

17/06/2024

Layout ID

Revision



Concept

Design

17/06/2024

Revision History			
RevID	ChID	Change Name	Date

Company Title

DM

Duda Mello

architectural drafter

Maria Eduarda Oliveira

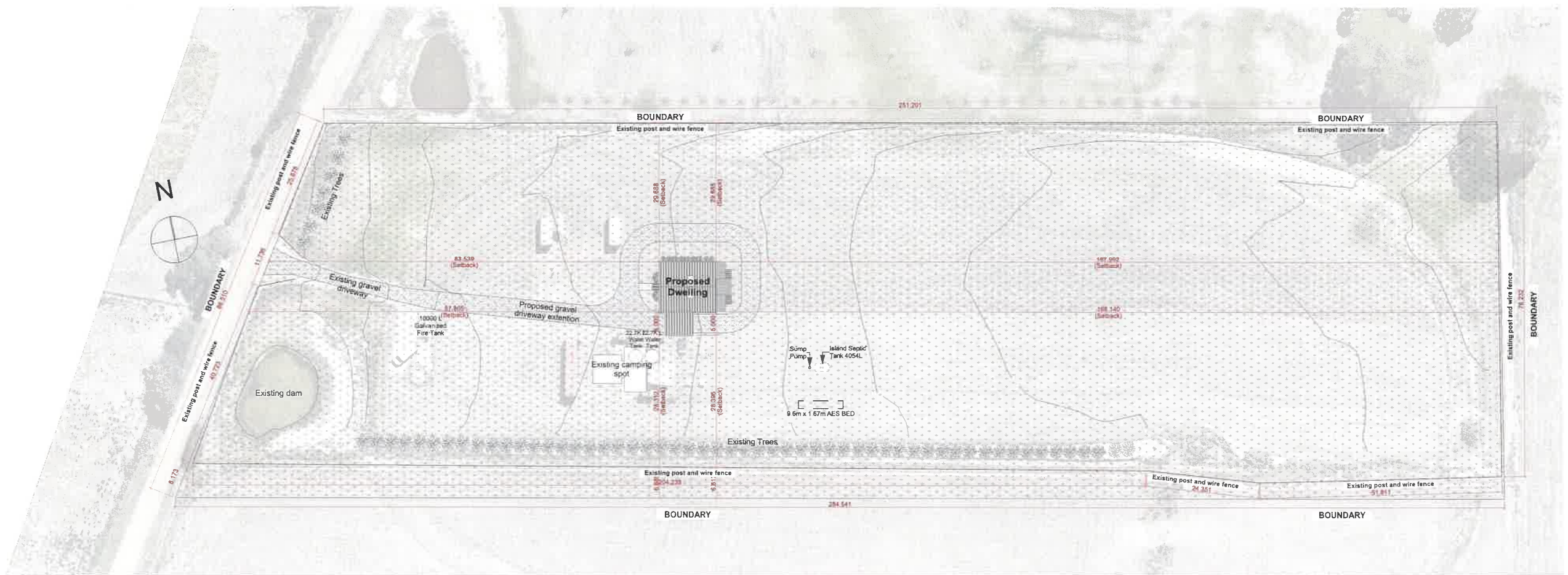
ABN 81 238 774 926

P 0415287185

E dudamelloa@gmail.com

W www.dudamelloa.com

Project info	
Proposed Dwelling	
ADD Lot 5103 Springhill Bottom Rd, Colebrook TAS 7027 Australia	
Client details	
Marvin & Donna Tumbagahan	
P 0432 077 076	
E marvin.tumbagahan@gmail.com	
ADD Lot 5 103 Springhill Bottom Rd,Colebrook,TAS7027	
Drawing Name	
Drawing Scale	
@ A3	
Date	
17/06/2024	
Layout ID	Revision
A.01.2	



1:500 Site Plan 1:500

Surface Legend	
	Gravel
	Composite Ekodeck
	Grass

Revision History			
Rev	CHD	Change Name	Date

Company Title

D7
Duda Mello
architectural drafter

Maria Eduarda Oliveira
ABN 81 238 774 926
P 0415287 185
E dudameloa@gmail.com
W www.dudameloa.com

Project info

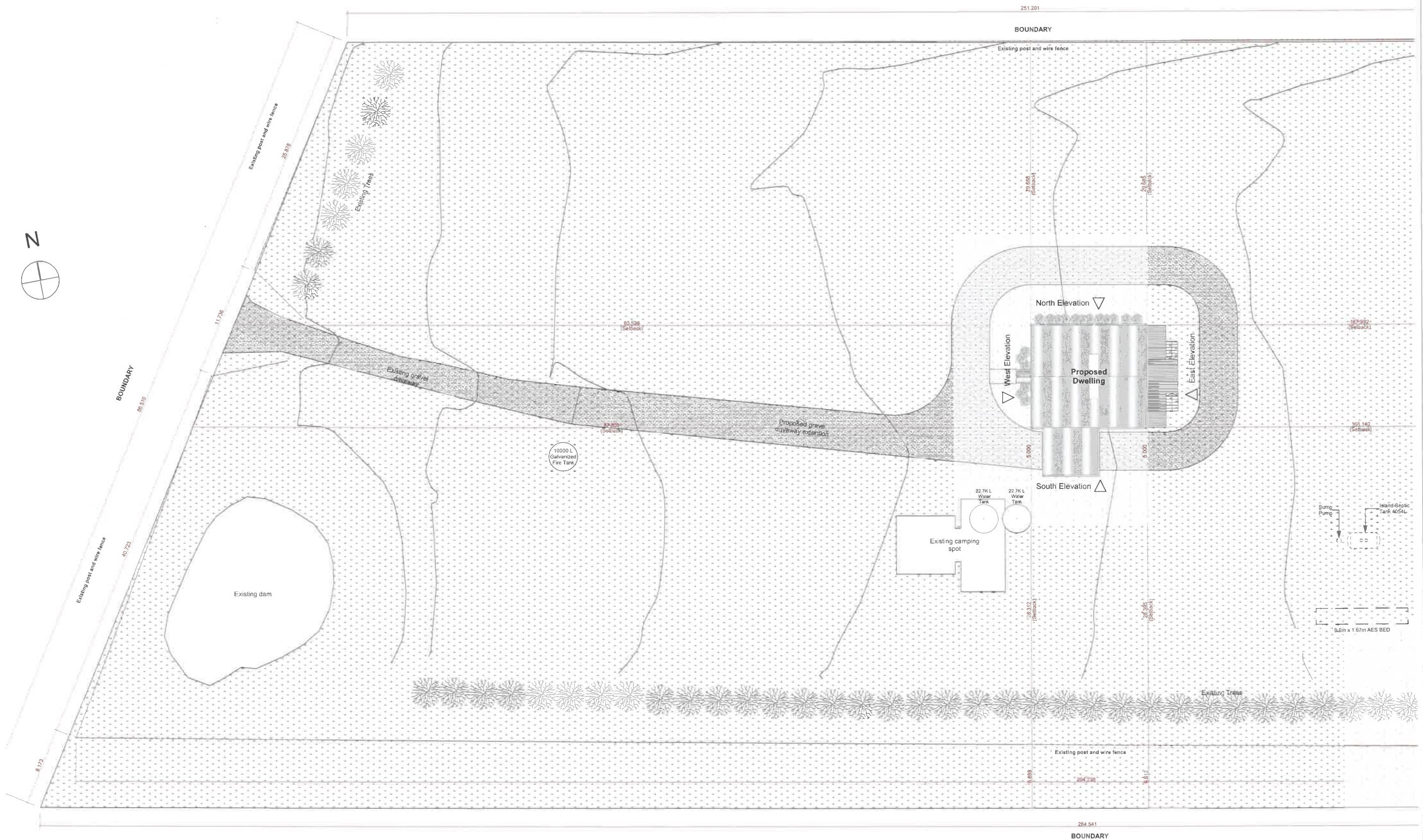
Proposed Dwelling

ADD Lot 5103 Springhill Bottom Rd. Colebrook
TAS 7027 Australia

Client details

Marvin & Donna Tumbagahan
P 0432 077 076
E marvin.tumbagahan@gmail.com
ADD Lot 5103 Springhill Bottom Rd Colebrook TAS7027

Drawing Name	
Site Plan 1:500	
Drawing Scale	
1:500 @ A1	
Date	
17/06/2024	
Layout ID	
A.01.4	
Revision	

[illegible]

Company Title



Maria Eduarda Oliveira
ABN 81 238 774 926
P 0415287185
E dudameloa@gmail.com
W www.dudameloa.com

Project info

Proposed Dwelling

ADD Lot 5103 Springhill Bottom Rd, Colebrook
TAS 7027 Australia

Client details

Marvin & Donna Tumbagahan
P 0432 077 076

E marvin.tumbagahan@gmail.com
ADD Lot 5 103 Springlily Bottom Rd, Colebrook, TAS7027

Drawing Name

Site Plan

Drawing Scale
1:200 @ A1

Date 17/06/2024

Layout ID	Revision
A.01.5	

SMC - KEMPTON
RECEIVED
6/6/25

WINDOWS
Energy efficient double glazed
5mm glazing - 9mm argon gas
gap - 5mm glazing. Aluminium
frame.
POWDER COAT COLOUR:
Monument TBC
SUPPLIER:
SHIELD DOORS & WINDOWS
HOBART
312 Argyle Street, North Hobart,
TAS 7001
Ph: (03) 6234 4944
hobart@uptons.net.au

SLIDING DOORS
Double glazed configurations with
9mm argon gas sealed units.

Aluminium frame.
POWDER COAT COLOUR:
Monument TBC
SUPPLIER:
SHIELD DOORS & WINDOWS
HOBART
312 Argyle Street, North Hobart,
TAS 7001
Ph: (03) 6234 4944
hobart@uptons.net.au

BAL RATING TBC

FLOOR
Steel frame floor deck with 22mm DuraflorTM.
Carpet and Tile finish.

FLOOR TILE
To be selected.

FLOOR INSULATION
R6 Floor Batts
Fit tightly between floor joists TBC

WALL INTERNAL LINING
10mm plasterboard painted finish.
COLOUR : To be specified. Square
stop, no cornice, metal trowel edge to
window frames.

SELECTED INTERNAL LINING
On selected internal premium Grade B/BB
birch plywood.TBC
Square stop, no cornice, metal trowel edge to
window frames TBC. Plywood indicated on plan
in yellow surrounding main commum area.
FINISH: Natural colour TBC.
SUPPLIER: TBC.

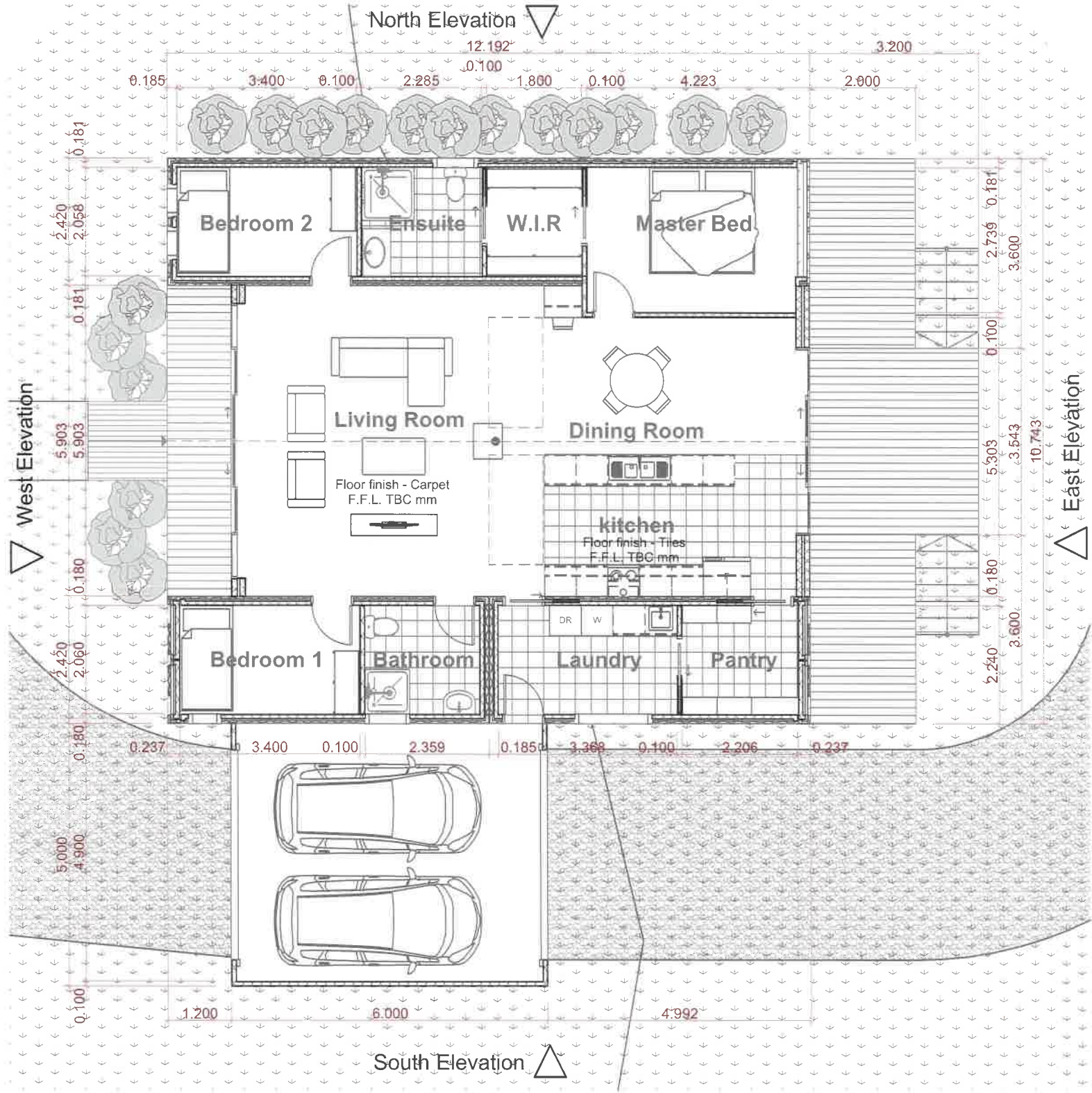
CEILING
10mm plasterboard
Square stopped. No Cornice.
Metal return edge to window frames.
Painted Finish
COLOUR: to be selected

SELECTED CEILING
On selected internal premium Grade B/BB
birch plywood.TBC
Square stop, no cornice, metal trowel edge to
window frames TBC. Plywood indicated on plan
in yellow surrounding main commum area.
FINISH: Natural colour TBC.
SUPPLIER: TBC.

WALL INSULATION
2x R2.0 high density batts in 140mm
wall cavity TBC
R2.7 high density batts in 90mm wall
cavity TBC

EXTERNAL WALL CLADDING
To Porta Roof specification

EXTERNAL WALL FRAMING
To Porta Roof specification



0.

Floor Plan

1:100

Concept
Design
17/06/2024

Revision History			
RevID	ChID	Change Name	Date

Company Title

D1
Duda Mello
architectural drafter

Maria Eduarda Oliveira
ABN 81 238 774 926
P 0415287185
E dudamelloa@gmail.com
W www.dudamelloa.com

Project info

Proposed Dwelling

ADD Lot 5103 Springhill Bottom Rd, Colebrook
TAS 7027 Australia

Client details

Marvin & Donna Tumbagahan
P 0432 077 076
E marvin.tumbagahan@gmail.com
ADD Lot 5 103 Springhill Bottom Rd,Colebrook,TAS7027

Drawing Name

Floor Plan

Drawing Scale

1:100 @ A3

Date

17/06/2024

Layout ID

A.01.6

Revision

ROOF
Colourbond CORODEK® 0.42 BM (0.47TCT)
COLOUR: Shale grey
To SHEDS N HOMES HOBART specification

ROOF BRACING
To SHEDS N HOMES HOBARTs specification

FLASHINGS
Colorbond
COLOUR: Monument
To Porta Roof specification

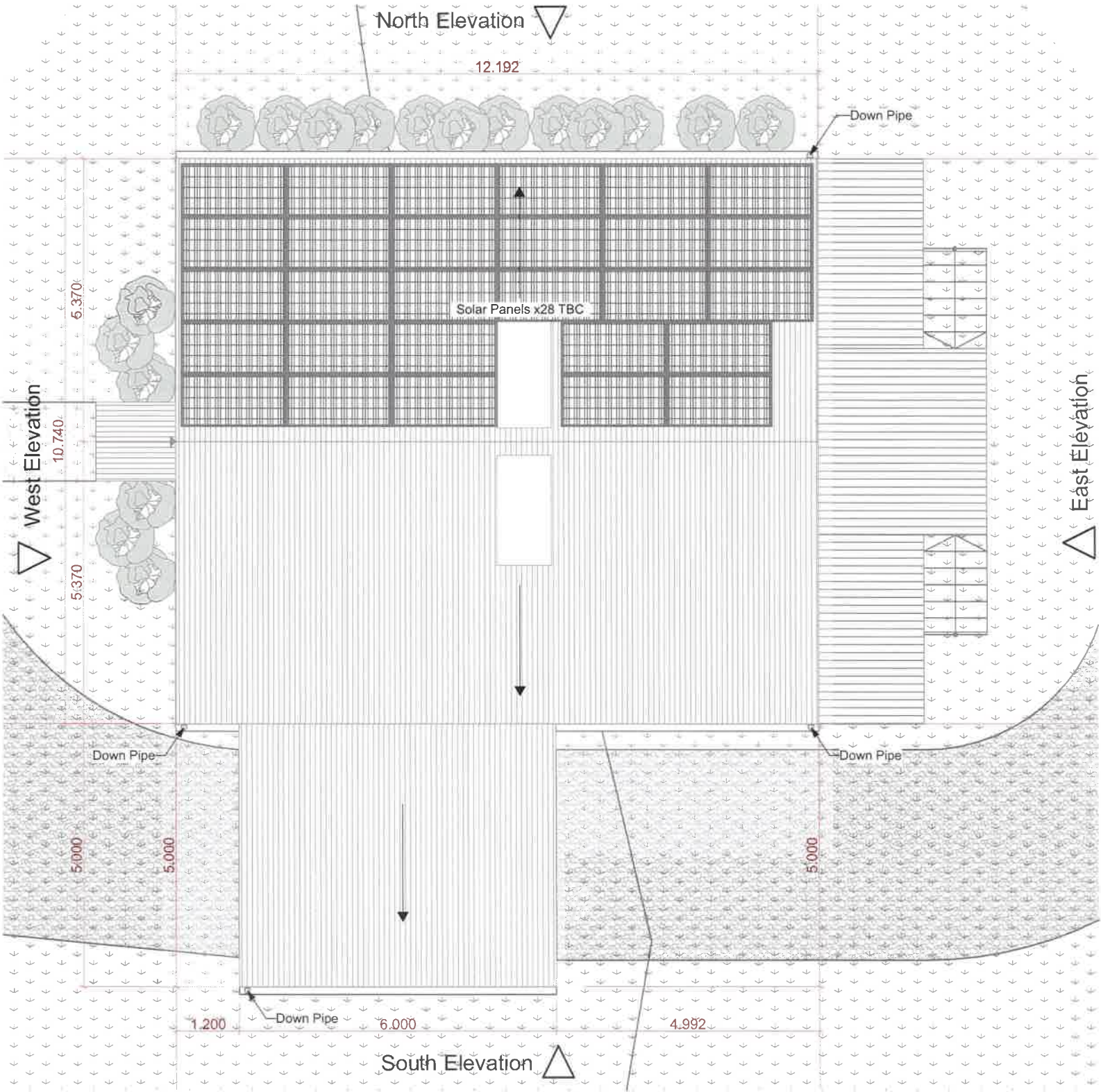
ROOF BATTENS
To Porta Roof specification

RAFTERS
To Porta Roof specification

ROOF SARKING
Bradford Enviroseal ProctorWrap HTS-IT
Product code 190904. Installed on top of roof
battens and under vent batten TBC

ROOF INSULATION
R6 batts suitable for 250mm cavity.
Fit tightly between rafters. Allow air space above
insulation (battens layer) Provide aluminum
ventilation strips under roofing at gutter and at
roof TBC
DWELLING ROOF AREA : TBC square metres

VENT BATTEN
Vented batten
20x45mm Black 90 lineal metres per box. TBC
SUPPLIER: Becks Mitre 10
Install continuous strip on top of sarking



1.

Roof Plan

1:100

Concept

Design

17/06/2024

Revision History			
RevID	ChID	Change Name	Date

Company Title

D7

Duda Mello

architectural drafter

Maria Eduarda Oliveira

ABN 81 238 774 926

P 0415287185

E dudamelloa@gmail.com

W www.dudamelloa.com

Project info

Proposed Dwelling

ADD Lot 5103 Springhill Bottom Rd, Colebrook
TAS 7027 Australia

Client details

Marvin & Donna Tumbagahan

P 0432 077 076

E marvin.tumbagahan@gmail.com

ADD Lot 5 103 Springhill Bottom Rd,Colebrook,TAS7027

Drawing Name

Roof Plan

Drawing Scale

1:100 @ A3

Date

17/06/2024

Layout ID

A.01.7

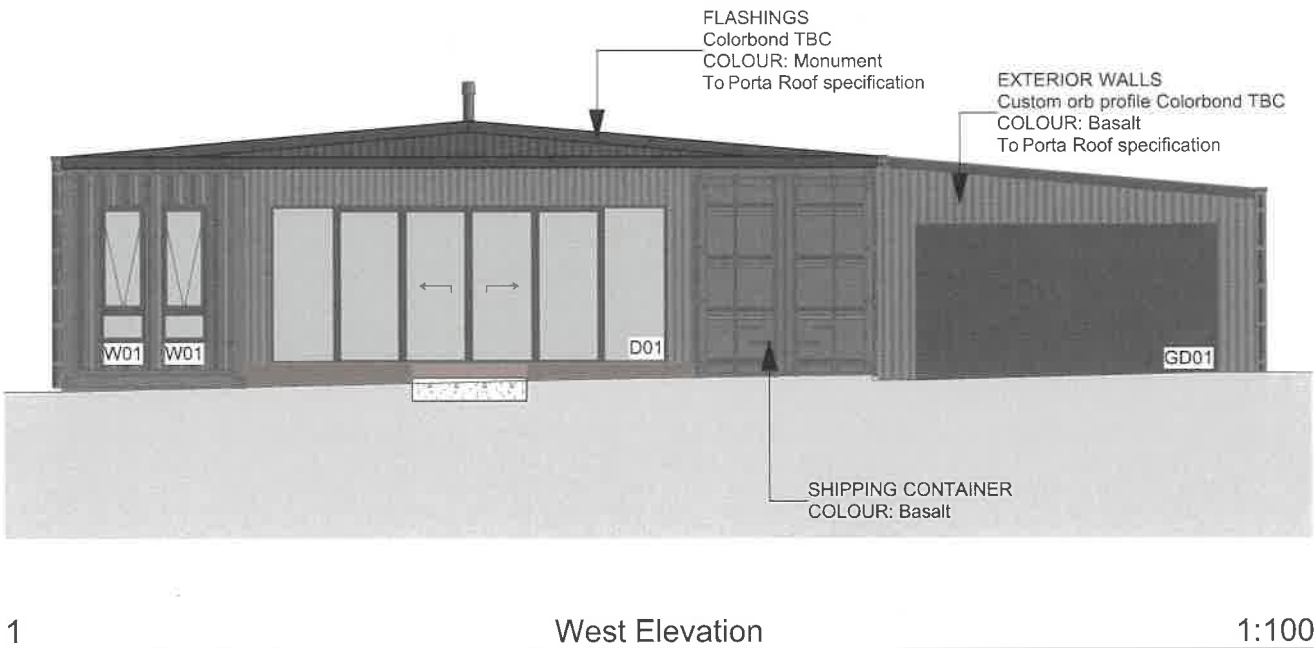
Revision

SMC - KEMPTON
RECEIVED
6/6/25

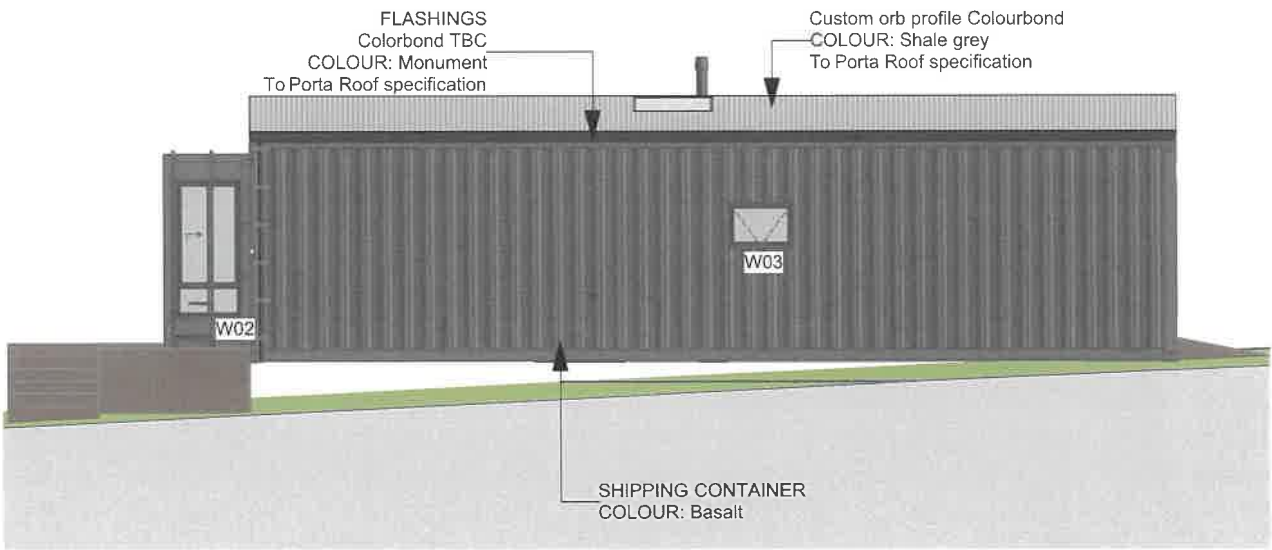
WINDOWS
Energy efficient double glazed
5mm glazing - 9mm argon gas
gap - 5mm glazing. Aluminium
frame.
POWDER COAT COLOUR:
Monument TBC
SUPPLIER:
SHIELD DOORS & WINDOWS
HOBART
312 Argyle Street, North Hobart,
TAS 7001
Ph: (03) 6234 4944
hobart@uptons.net.au

SLIDING DOORS
Double glazed configurations with
9mm argon gas sealed units.

Aluminium frame.
POWDER COAT COLOUR:
Monument TBC
SUPPLIER:
SHIELD DOORS & WINDOWS
HOBART
312 Argyle Street, North Hobart,
TAS 7001
Ph: (03) 6234 4944
hobart@uptons.net.au



1 West Elevation 1:100



2 North Elevation 1:100

Concept
Design
17/06/2024

Revision History			
RevID	ChID	Change Name	Date

Company Title

D1
Duda Mello
architectural drafter

Maria Eduarda Oliveira
ABN 81 238 774 926
P 0415287185
E dudamelloa@gmail.com
W www.dudamelloa.com

Project info

Proposed Dwelling

ADD Lot 5103 Springhill Bottom Rd, Colebrook
TAS 7027 Australia

Client details

Marvin & Donna Tumbagahan
P 0432 077 076
E marvin.tumbagahan@gmail.com
ADD Lot 5 103 Springhill Bottom Rd,Colebrook,TAS7027

Drawing Name

West Elevation, North Elevation

Drawing Scale

1:100 @ A3

Date

17/06/2024

Layout ID

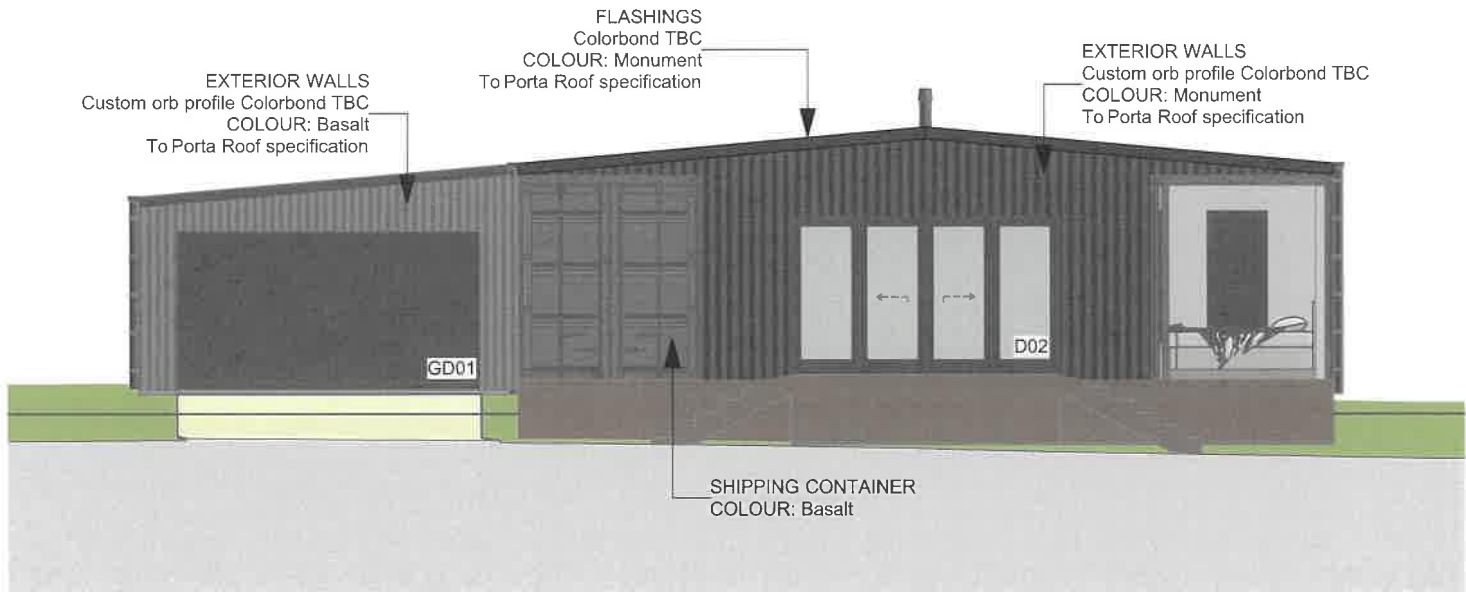
A.01.8

Revision

SMC - KEMPTON
RECEIVED
6/6/25

WINDOWS
Energy efficient double glazed
5mm glazing - 9mm argon gas
gap - 5mm glazing. Aluminium
frame.
POWDER COAT COLOUR:
Monument TBC
SUPPLIER:
SHIELD DOORS & WINDOWS
HOBART
312 Argyle Street, North Hobart,
TAS 7001
Ph: (03) 6234 4944
hobart@uptons.net.au

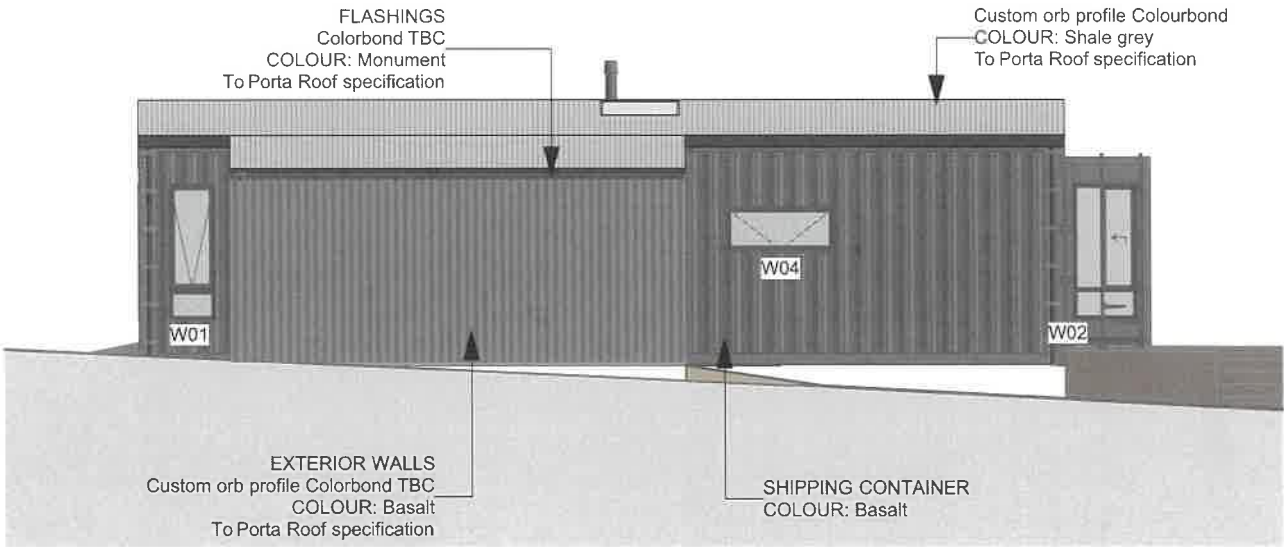
SLIDING DOORS
Double glazed configurations with
9mm argon gas sealed units.
Aluminium frame.
POWDER COAT COLOUR:
Monument TBC
SUPPLIER:
SHIELD DOORS & WINDOWS
HOBART
312 Argyle Street, North Hobart,
TAS 7001
Ph: (03) 6234 4944
hobart@uptons.net.au



3

East Elevation

1:100



4

South Elevation

1:100

Concept
Design
17/06/2024

Revision History			
RevID	ChID	Change Name	Date

Company Title

D7

Duda Mello

architectural drafter

Maria Eduarda Oliveira
ABN 81 238 774 926
P 0415287185
E dudamelloa@gmail.com
W www.dudamelloa.com

Project info

Proposed Dwelling

ADD Lot 5103 Springhill Bottom Rd, Colebrook
TAS 7027 Australia

Client details

Marvin & Donna Tumbagahan
P 0432 077 076
E marvin.tumbagahan@gmail.com
ADD Lot 5 103 Springhill Bottom Rd,Colebrook,TAS7027

Drawing Name

East Elevation, South Elevation

Drawing Scale

1:100 @ A3

Date

17/06/2024

Layout ID

A.01.9

Revision

RECEIVED
6/6/25

GENERAL NOTES

Notes are to be read and understood by all involved in the project.

These drawings are to be read in conjunction with other consultants drawings.
Including documentation and specification provided by the Surveyor, Engineer, Soil Engineer & Energy Assessor.
Any discrepancies shall be referred to the designer.

Do not scale from the drawings
All dimensions shall be verified on site before commencing any work.

Note all materials and workmanship to be in accordance with the National Construction Code (NCC) and relevant Australian standards (AS)

BUSH FIRE
Construction detailing to comply with AS3959. All persons working on project to be familiar with the construction requirements for the identified BAL rating of this site.

ENERGY EFFICIENCY
Generally in accordance with NCC H6 Climate zone 7 applicable to Tasmania Climate zone 8 in Apline areas . The specification for this building's insulation, electrical specification and glazing specification result in it meeting or exceeding the required minimum star energy efficiency rating. Insulation or glazing specification can not be altered without affecting the buildings star rating. Any changes need to be made in consultation with the energy assessor and designer.

PERMITS.
Contractors are to obtain all permits and provide all certificates on completion.

SERVICES
Contractors are to fully inform themselves of existing site conditions and services prior to commencing any excavation and construction.
Existing services to be located on and around the building site before construction.

Where known these are identified on the drawings but the exact location and the extent of services may vary from that indicated on the drawings. Services should be located using an appropriate service such as "Dial Before You Dig", Telstra, etc. Appropriate excavation practice should be used and where necessary specialist contractor engaged. Underground power lines may be located in and around the site. All underground power lines must be disconnected or accurately located and adequate warning signs used prior to any construction maintenance or demolition work commencing. Overhead power lines may be located on or near the site. These pose a risk of electrocution if struck or approached by lifting devices or other plant and persons working above ground level. Where there is a danger of this occurring, power lines should be, where practical, disconnected or relocated. Where this is not practical adequate warning in the form of brightly coloured tape, or signage should be used, or a protective barrier provided.

DEMOLITION
Provide as necessary any temporary props and bracing and ensure the safety and condition of any existing buildings and services as the works proceed.

CONSTRUCTION
Construction and maintenance on or around the building is likely to involve persons working above ground level or above floor levels. Where this occurs one of the following measures should be taken to avoid objects falling, from the area where work is being carried out.
1. Prevent or restrict access to the area bellow where the work is being carried out.
2. Provide toe boards to scaffolding and work platforms.
3. Provide a protective structure below the work area.
4. Ensure that all persons below the work area have Personal Protective Equipment.

TEMPORARY BRACING / FALLING OBJECTS
As construction, renovation or demolition works proceed parts of the structure may need supporting, including fabricated steelwork, timber framing, heavy panels and many other components.
Contractors should ensure that temporary bracing or other temporary required support is in place at all times,if collapse which may injure a person, is a possibility. Mechanical lifting of materials and components during construction, maintenance or demolition presents a risk of falling objects. Contractors should ensure that appropriate lifting devices are used, that loads are properly secured, and that access below the load is prevented or restricted.

SITWORKS
Earthworks of site to be in accordance with NCC Part 3.2 and AS2870. Drainage works to be in accordance with NCC Part 3.3 & AS/NZS 3500.3 & AS3500.5. Surface Drainage works to be in accordance with NCC Part 3.3.3 - finished ground to fall away from building, 50mm in first 100mm. Finished slab to be a minimum of 150mm above natural ground. 50mm above paved surfaces. Fill to prevent ponding of water under suspended slabs.

FOUNDATIONS
Generally to be in accordance with AS2870. Preparation for placement of Concrete and Reinforcement to be to AS2870. Site classification to be in accordance with AS2870. All foundation material shall be approved by the engineer and inspected by the building surveyor before the pouring of concrete. All footings are to be founded in natural undisturbed material. Footings are not to be founded on fill. Maintenance of the site and footings is the owners responsibility. Footings founded on rock need to be approved by engineer

CONCRETE
All concrete construction shall conform with AS3600
All concrete to be constructed to engineers specification.

STRUCTURAL STEEL WORK
Fabrication shall comply with AS1250, AS4100, AS1511, AS1554, as applicable.
All steelwork to be constructed to engineers specification.
Use high durability finishes as specified on these drawings.

FRAMING
Timber framing to be in accordance with NCC 6.0 and AS1684.
Manufactured timber members to be in accordance with prescribed framing manual. Subfloor ventilation in accordance with NCC 6.2. Subfloor area to be clear of organic materials and rubbish. Provide vent openings in substructure walls at a rate of 6000mm²/m of wall length with vents not more than 600mm from corners. Subfloor to contain no dead airspaces. 150mm clearance required to underside of floor framing members. Tie down and bracing of frame to be in accordance with AS1684. Wind load design to be in accordance with AS4055. Structural steel framing to be in accordance with NCC 6.3, AS4100 and AS4600 and structural engineers design and specification.

MANSONRY
Install Masonry in accordance with NCC 5.0 and AS 3700.2001 Masonry structures.

ROOF & WALL CLADDINGS
Generally to be in accordance with NCC 7.0. Roof cladding to be in accordance with NCC 7.2. Wall claddings to be in accordance with NCC 7.5. Metal sheet roofing AS1562.1 Colourbond Roofing to comply with corrosion protection NCC 6.3.9.
Gutters and downpipes generally to be in accordance with NCC 7.4 & AS/NZS 3500.3 & The Tasmanian plumbing code.
Down pipes to be 90mm diameter or 50x100mm rectangular .
Wall cladding to be installed in accordance with NCC 7.0 and Manufacturers specification. Flashings to NNC 7.5.6.
Install all roofing and cladding materials in accordance with Product installation information sheets

CONDENSATION
Reference should be made to "Condensation in Buildings - Tasmania Designers' Guide - Version 2 (by CBOS)"
Use only vapour permeable wall and roof wraps specified on these drawings and install to manufacturers specification. All rangehoods, clothes dryers, bathroom exhaust fans to exhaust to outside air.
Wall detailing to be constructed as drawn in details with air cavities/battens where shown to prevent condensation. Roof sarking to be placed under vent roof battens to create airspace between roof and sarking limiting contact and condensation issues. Keep buildings dry during construction to prevent trapping moisture in the structure or insulation. External claddings to be installed before internal finishes.
Provide vents to ceiling spaces above insulation and into any sub floor spaces.

BUILDING FABRIC
Generally in accordance with NCC 13.2.

BUILDING INSULATION
Insulation to be fitted to form a continuous barrier to roof/ceiling walls and floor,

REFLECTIVE BUILDING MEMBRANE
Install to form a 20mm airspace between membrane and external lining / cladding. Fit closely to penetrations and openings seal with tape, adequately support and joints to be lapped 150mm and taped.

BULK INSULATION
Maintain thickness and position after installation. continuous cover without voids except around services.

ELECTRICAL
Use only fitting specified on the electrical plan, including sealed LED downlights suitable for installation in insulation and surface mounted lights to prevent moisture entering ceiling cavities. Consult with designer if changes are to be made to the specified lighting list as this will impact on the energy performance of the building and lighting efficiency calculations.

FINISHES
Use finishes specified. If altered consult designer.
If selected by owner surface finishes should be selected in accordance with ASHB197:1999 and AS/NZs 4586:2004 Finishes selected should minimise the risk of floors and paved areas becoming slippery.

FIRE SAFETY
Generally to be in accordance with NCC 9.0. Fire separation to be in accordance with NCC 9.2. External walls and gable ends constructed within 900mm of a boundary or within 1800mm to another Class 1 building on the same lot are to extend to the underside of non combustible roofing / eaves and are to be constructed of masonry skin 90mm thick or have an FRL of 60/60/60. Roof lights are not to be placed closer than 900mm from a boundary or 1800mm from another Class building on the same lot.
Smoke alarms to be in accordance with NCC 9.5 & AS3786. Locations indicated on electrical plan. Ceilings - 300mm away from wall junction. Cathedral ceilings - 500mm down from apex. Walls - 300mm down from ceiling junction. Heating appliances generally to be compliant with NCC 12.4 & AS2918. Fireplace extend hearth 150mm to the side of the opening 300mm. Freestanding extend hearth 400mm beyond the unit. Freestanding appliance to be 1200mm from a combustible wall surface. 50mm from a masonry wall. Flue installation to NCC 12.4.4. Top of chimney to extend 300mm above highest part of building within 3600mm.
Construction in Bushfire Area to be in accordance with NCC 9.0 & AS3959

FLASHINGS
All openings must be adequately flashed using materials that comply with AS/NZS 2904.

GLAZING
Generally glazing to be in accordance with NCC 8.0 and AS 1288

WINDOWS
ALL glazed window and door assemblies in external walls to comply with AS2047. All other glass to comply with AS1288 Consult with designer if changes are to be made to the specified window schedule as this will impact on the energy performance of the building. All framed openings to be measured on site prior to window manufacture.

SHOWER SCREENS
Shower screens to be Grade A toughened safety glass. Labelled to comply with safety standards.

WALL SARKING
Use only breathable wall sarkings tape all joins batten layer over sarking to create vent space. Vent strip to bottom of walls. Use stainless lockergroup perforated metal with hole size suitable for BAL rating.

HEALTH AND AMENITY
Generally wet area waterproofing to be in accordance with AS 3740 and NCC 10.2.1. Waterproofing of surfaces in shower area to a height of 1800mm above finished floor. Wall surfaces adjacent to plumbing fixtures, bath etc to be protected to a height of 150mm above fixture. Membrane to be Class 3 Hydraban by Laticrete or equivalent.
Ceiling heights to be in accordance with NCC 10.3.
Windows / roof lights to provide light transmitting area equal to 10% of room area. Ventilation to be in accordance with NCC 10.6 and AS 1668.2 for mechanical ventilation. Exhaust fans for bathroom/laundry/w.c to be vented to outside . Natural ventilation to be provided at a rate of 5%of room floor are in accordance with NCC 10.6.2.

STAIR CONSTRUCTION
Generally in accordance with NCC 11.2.1. Stairs Maximum 18 risers minimum 2 risers to each flight. Riser not to be less than 125mm. Treads to have a non slip surface or nosing Riser - min 115 max 190 Going - min 240 max 355.
Slope relationship to be 700 max 550 min (2r +1g).
Balustrade Generally in accordance with NCC 11.3. Balustrade required where area is not bounded by wall or where level exceeds 1000mm above floor level to finished floor level or ground level. Balustrade 865 on stairs, measured from line of stair nosing . 1000 high above floor or landing. Openings in balustrades / infill members to be constructed so as not to allow a 125mm sphere to pass between members. Where floor level exceeds 4000 above floor level infill members between 150 and 760 above floor level, to be constructed so as to prevent climbing.

BUILDING SEALING
Generally in accordance with NCC 13.4. Chimneys or flues to be fitted with sealing damper or flap. Roof lights to habitable rooms to be fitted with operable or permanent seals to limit air leakage. External windows and doors to habitable rooms / air conditioned spaces to be fitted with seals. Exhaust fans to habitable rooms or air conditioned spaces to be fitted with self closing damper or filter. Building envelope to be constructed to minimise leakage.
Construction joints and junctions of adjoining surfaces to be tight fitting and sealed by caulking.

SERVICES
Generally in accordance with NCC 13.7. Hot water system installed in accordance with AS/NZS 3500

HAZARDOUS SUBSTANCES POWDERED MATERIALS
Many materials used in the construction of this building can cause harm if inhaled in powdered form.
Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear **personal protective equipment. Including protection against inhalation** while using a powdered material, or when sanding, drilling, cutting or otherwise disturbing or creating powdered material.

TREATED TIMBER
The design of the building may include the use of treated timber. Dust or fumes from this material can be harmful.
Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear personal protective equipment. Including protection against inhalation of harmful material when sanding, drilling, cutting or using treated timber in any way that may cause harmful material to be released. Do not burn treated timber.

VOLATILE ORGANIC COMPOUNDS
Many types of glues, solvents, spray packs, paints, varnishes and some cleaning materials and disinfectants have dangerous emissions. Areas where these are used should be well ventilated while the material is being used and for a period after installation. Personal protective equipment may also be required. The manufacturers recommendations for use must be carefully considered.

SYNTHETIC MINERAL FIBRE
Glass fibre, rock wool, ceramic and other material used for thermal or acoustic insulation may contain synthetic mineral fibre which may be harmful if inhaled, or comes into contact with the skin, eyes or other sensitive parts of the body. Personal protective equipment should be used when installing, removing or working near bulk insulation material.

TIMBER FLOORS AND APPLIED FINISHES
The building may contain timber floors that have an applied finish. Areas where finishes are applied should be well ventilated during sanding and application and for a period after installation. Personal Protective Equipment is required and the manufacturers recommendations for installation must be carefully considered at all times.

CONCRETE FLOORS AND APPLIED FINISHES
Personal Protective Equipment is required when grinding and sealing concrete floors.
Areas where finishes are applied should be well ventilated. Selected finishes should minimise the risk of floors becoming slippery.

Concept Design
17/06/2024

Revision History																																								
<table><tr><td>RevID</td><td>ChID</td><td>Change Name</td><td>Date</td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr></table>	RevID	ChID	Change Name	Date																																				
RevID	ChID	Change Name	Date																																					
Company Title																																								
<div><div><div><div><div></div><div></div></div><div><div></div><div></div></div></div><div><div></div><div></div></div><div>architectural drafter</div></div></div>																																								
<div><div><div><div>Maria Eduarda Oliveira</div><div>ABN 81 238 774 926</div><div>P 0415287185</div><div>E dudamelloa@gmail.com</div><div>W www.dudamelloa.com</div></div></div></div>																																								
Project info																																								
<div>Proposed Dwelling</div>																																								
<div>ADD Lot 5103 Springhill Bottom Rd, Colebrook TAS 7027 Australia</div>																																								
Client details																																								
<div><div><div><div>Marvin & Donna Tumbagahan</div><div>P 0432 077 076</div><div>E marvin.tumbagahan@gmail.com</div><div>ADD Lot 5 103 Springhill Bottom Rd,Colebrook,TAS7027</div></div></div></div>																																								
Drawing Name																																								
Drawing Scale																																								
<div>@ A3</div>																																								
Date																																								
<div>17/06/2024</div>																																								
Layout ID																																								
<div>A.01.3</div>																																								
Revision																																								



Concept

Design

17/06/2024

Revision History			
RevID	ChID	Change Name	Date

Company Title

DM

Duda Mello

architectural drafter

Maria Eduarda Oliveira
ABN 81 238 774 926
P 0415287185
E dudamelloa@gmail.com
W www.dudamelloa.com

Project info

Proposed Dwelling

ADD Lot 5103 Springhill Bottom Rd, Colebrook
TAS 7027 Australia

Client details

Marvin & Donna Tumbagahan
P 0432 077 076
E marvin.tumbagahan@gmail.com
ADD Lot 5 103 Springhill Bottom Rd,Colebrook,TAS7027

Drawing Name

Drawing Scale

@ A3

Date

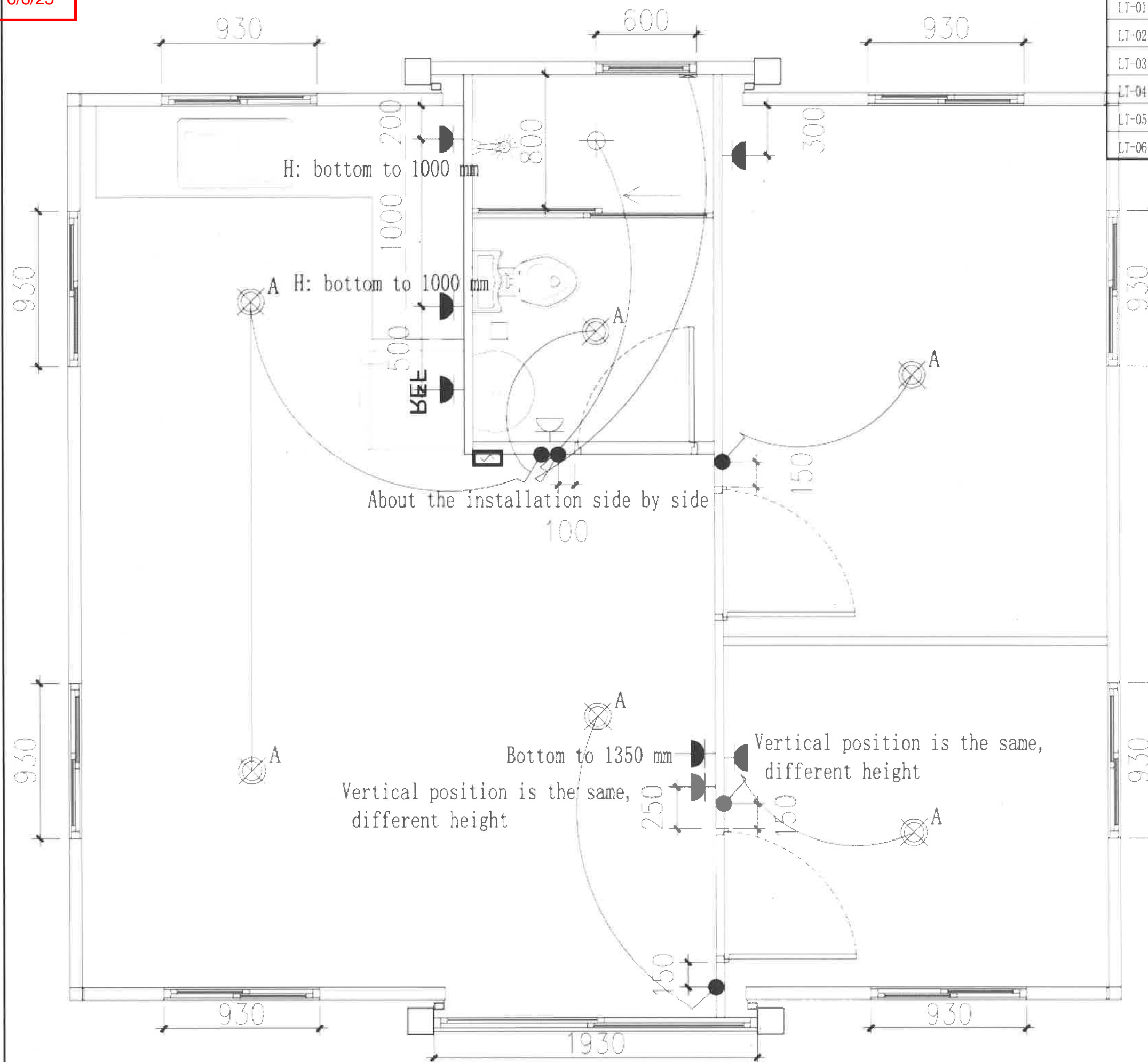
17/06/2024

Layout ID








A.01.1

Revision

Fan the top right corner



CODING LEGEND

LT-00		Residual-current device
LT-01		LED oyster light
LT-02		LED down light
LT-03		Single switch
LT-04		Double switch
LT-05		External GPO 15 amp
LT-06		Double GPO 10 amp



10 Lucca Road, Wyong NSW 2259
02 4333 3333
admin@sdf.com.au

1. This drawing is copy right of
Montgomery Granny Flats PTY LTD
2. All dimensions are in millimeters

星洲日報星洲新聞 1998年11月11日

2007 12 20 15:55

1992, 1993, 1994, 1995, 1996, 1997, 1998, 1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, 2269, 2270, 2271, 2272, 2273, 2274, 2275, 2276, 2277, 2278, 2279, 2280, 2281, 2282, 2283, 2284, 2285, 2286, 2287, 2288, 2289, 2290, 2291, 2292, 2293, 2294, 2295, 2296, 2297, 2298, 2299, 2300, 2301, 2302, 2303, 2304, 2305, 2306, 2307, 2308, 2309, 2310, 2311, 2312, 2313, 2314, 2315, 2316, 2317, 2318, 2319, 2320, 2321, 2322, 2323, 2324, 2325, 2326, 2327, 2328, 2329, 2330, 2331, 2332, 2333, 2334, 2335, 2336, 2337, 2338, 2339, 2340, 2341, 2342, 2343, 2344, 2345, 2346, 2347, 2348, 2349, 2350, 2351, 2352, 2353, 2354, 2355, 2356, 2357, 2358, 2359, 2360, 2361, 2362, 2363, 2364, 2365, 2366, 2367, 2368, 2369, 2370, 2371, 2372, 2373, 2374, 2375, 2376, 2377, 2378, 2379, 2380, 2381, 2382, 2383, 2384, 2385, 2386, 2387, 2388, 2389, 2390, 2391, 2392, 2393, 2394, 2395, 2396, 2397, 2398, 2399, 2400, 2401, 2402, 2403, 2404, 2405, 2406, 2407, 2408, 2409, 2410, 2411, 2412, 2413, 2414, 2415, 2416, 2417, 2418, 2419, 2420, 2421, 2422, 2423, 2424, 2425, 2426, 2427, 2428, 2429, 2430, 2431, 2432, 2433, 2434, 2435, 2436, 2437, 2438, 2439, 2440, 2441, 2442, 2443, 2444, 2445, 2446, 2447, 2448, 2449, 2450, 2451, 2452, 2453, 2454, 2455, 2456, 2457, 2458, 2459, 2460, 2461, 2462, 2463, 2464, 2465, 2466, 2467, 2468, 2469, 2470, 2471, 2472, 2473, 2474, 2475, 2476, 2477, 2478, 2479, 2480, 2481, 2482, 2483, 2484, 2485, 2486, 2487, 2488, 2489, 2490, 2491, 2492, 2493, 2494, 2495, 2496, 2497, 2498, 2499, 2500, 2501, 2502, 2503, 2504, 2505, 2506, 2507, 2508, 2509, 2510, 2511, 2512, 2513, 2514, 2515, 2516, 2517, 2518, 2519, 2520, 2521, 2522, 2523, 2524, 2525, 2526, 2527, 2528, 2529, 2530, 2531, 2532, 2533, 2534, 2535, 2536, 2537, 2538, 2539, 2540, 2541, 2542, 2543, 2544, 2545, 2546, 2547, 2548, 2549, 2550, 2551, 2552, 2553, 2554, 2555, 2556, 2557, 2558, 2559, 2560, 2561, 2562, 2563, 2564, 2565, 2566, 2567, 2568, 2569, 2570, 2571, 2572, 2573, 2574, 2575, 2576, 2577, 2578, 2579, 2580, 2581, 2582, 2583, 2584, 2585, 2586, 2587, 2588, 2589, 2590, 2591, 2592, 2593, 2594, 2595, 2596, 2597, 2598, 2599, 2600, 2601, 2602, 2603, 2604, 2605, 2606, 2607, 2608, 2609, 2610, 2611, 2612, 2613, 2614, 2615, 2616, 2617, 2618, 2619, 2620, 2621, 2622, 2623, 2624, 2625, 2626, 2627, 2628, 2629, 2630, 2631, 2632, 2633, 2634, 2635, 2636, 2637, 2638, 2639, 2640, 2641, 2642, 2643, 2644, 2645, 2646, 2647, 2648, 2649, 2650, 2651, 2652, 2653, 2654, 2655, 2656, 2657, 2658, 2659, 2660, 2661, 2662, 2663, 2664, 2665, 2666, 2667, 2668, 2669, 2670, 2671, 2672, 2673, 26

MANAGING RESPONSIBLY

DEED IN

DESIGN: PA

PLAN 5

CONFIRMED BY

STAMP 1

STAMP 2

STAMP 3

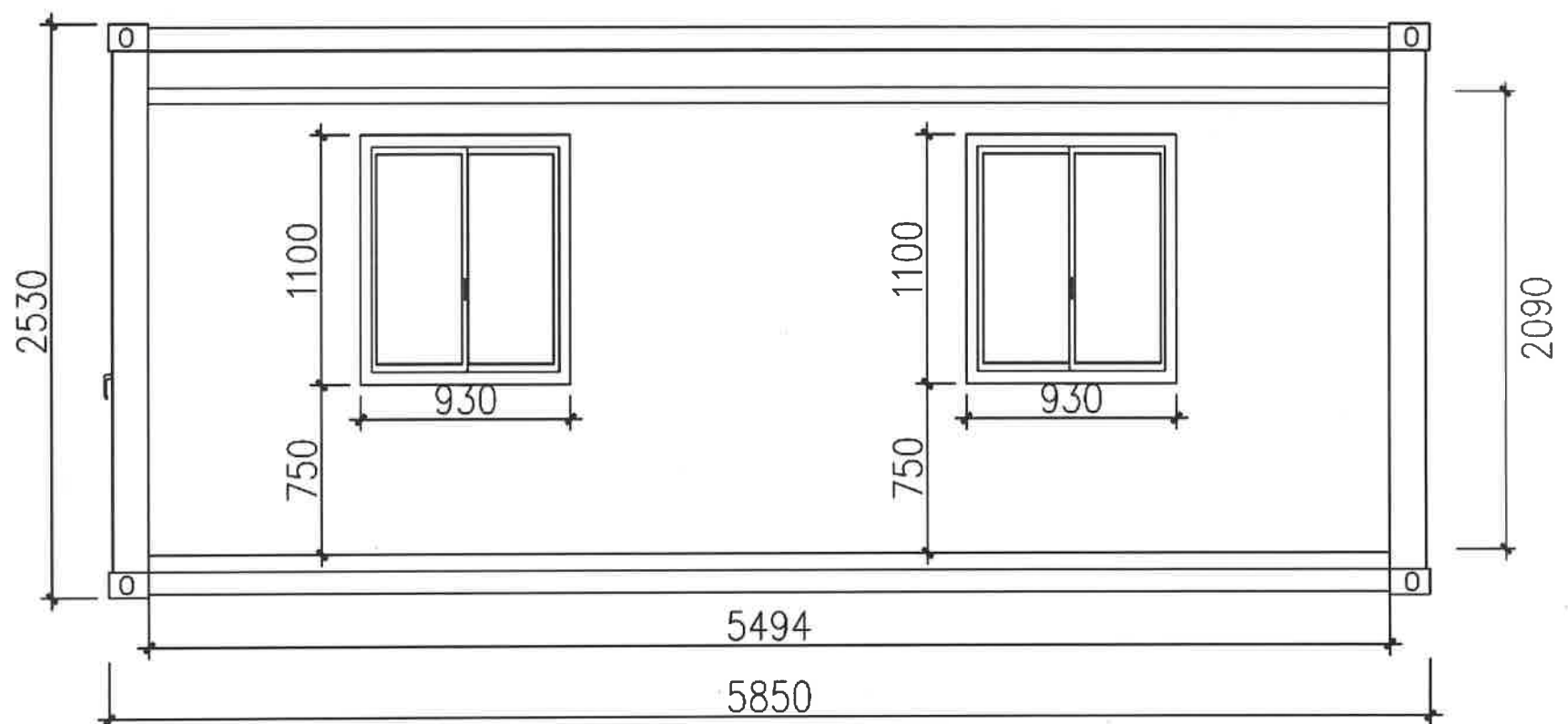
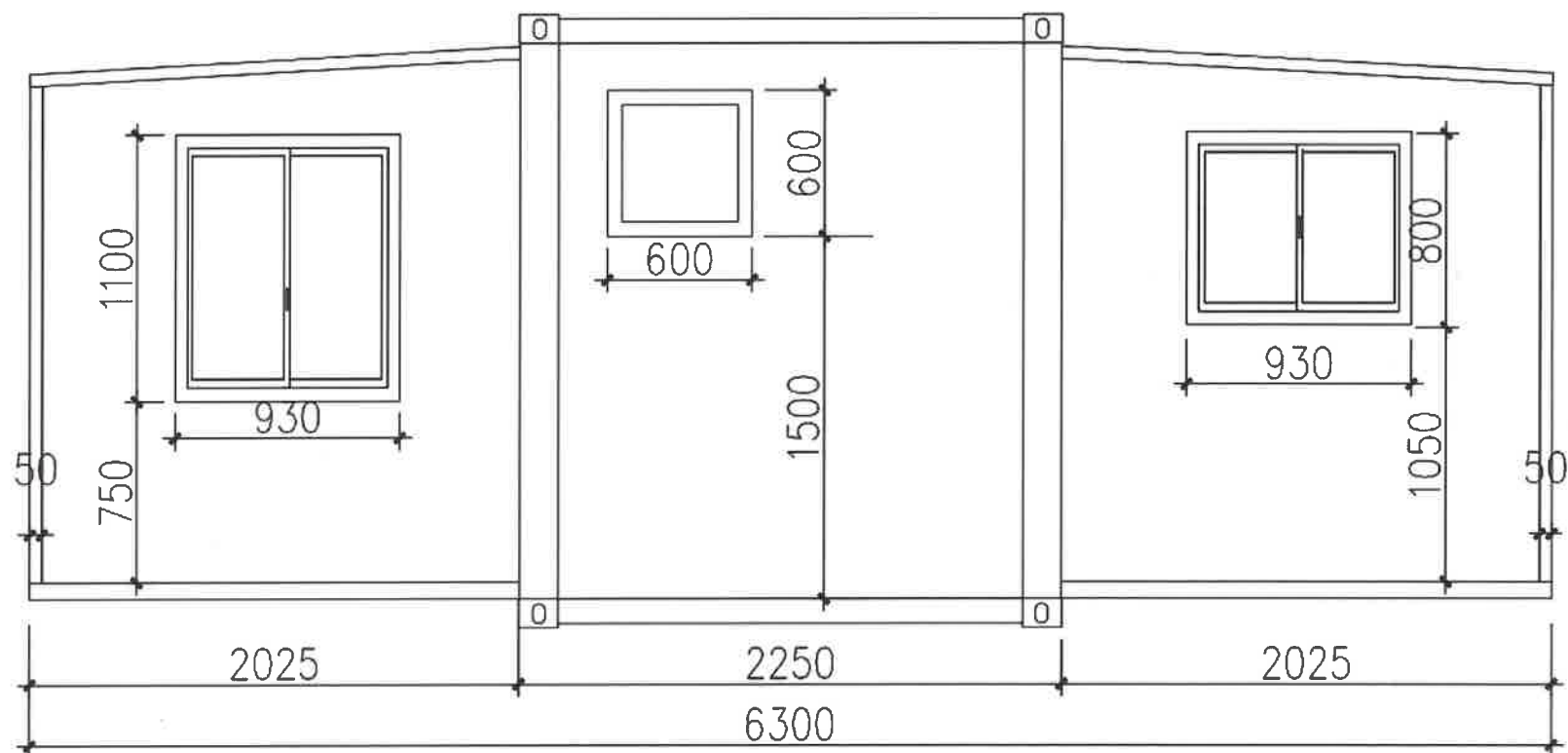
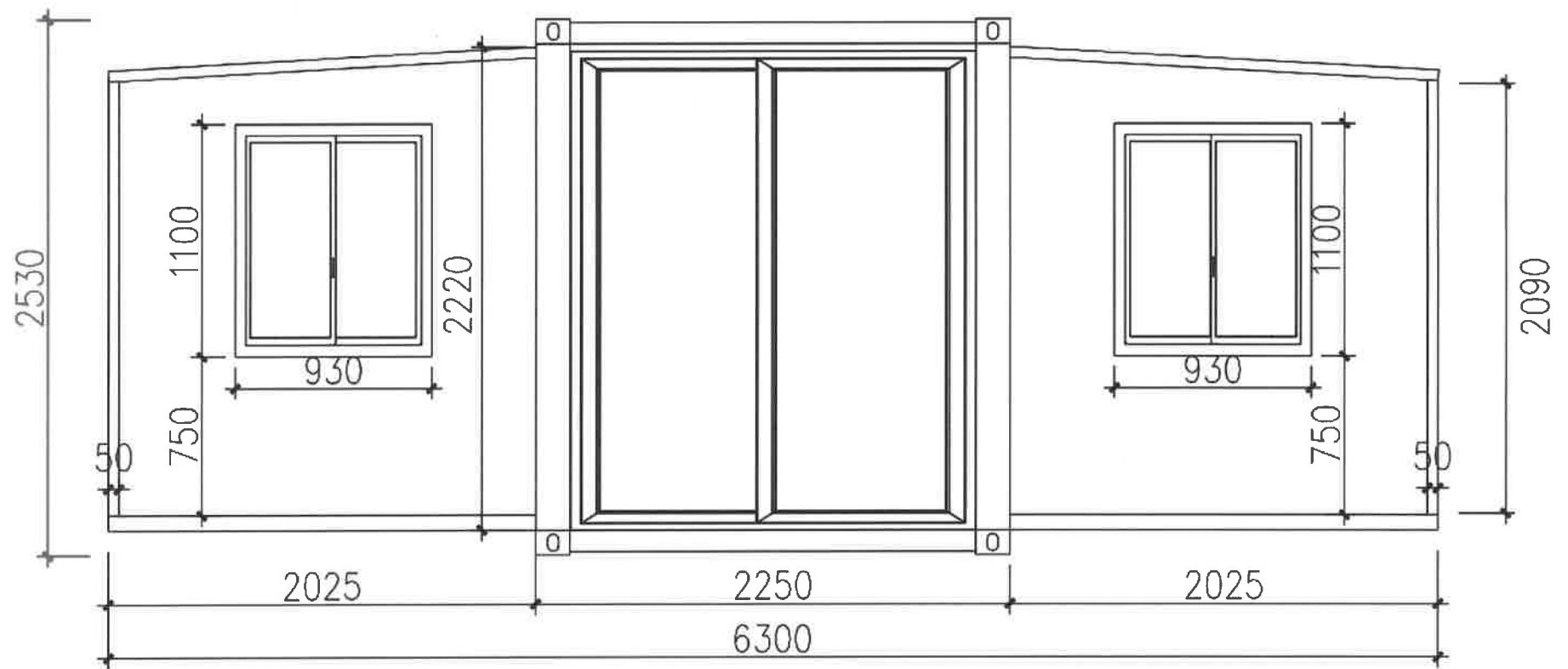
CONSTRUCTION UNITS

PROJECT

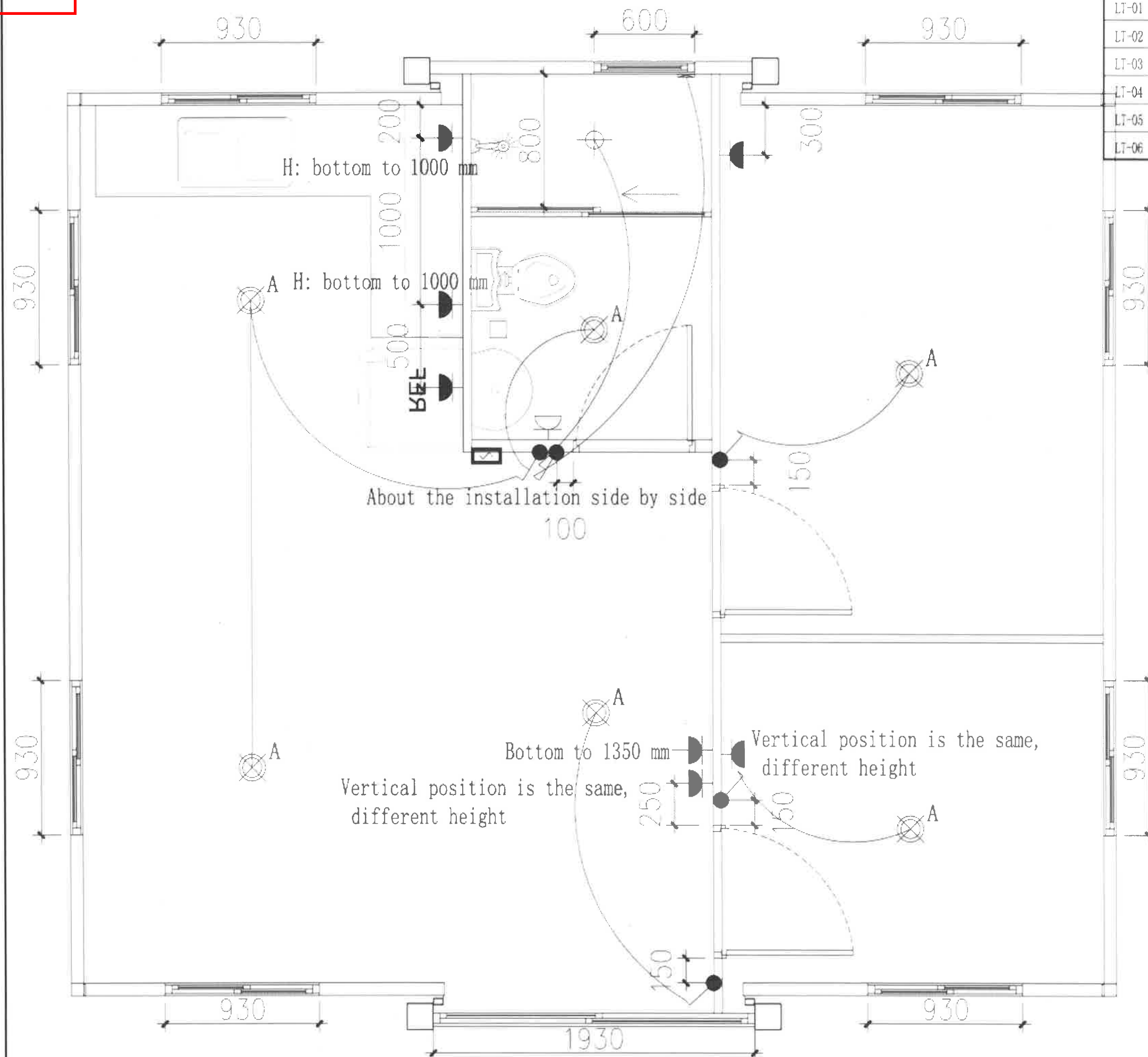
ITEM

DRAWING TITLE

PRO. NO.	SCALE 1:100
DATE 2022. 06	JS-06 DRAWING NO.



Fan the top right corner



CODING LEGEND

LT-00		Residual-current device
LT-01		LED oyster light
LT-02		LED down light
LT-03		Single switch
LT-04		Double switch
LT-05		External GPO 15 amp
LT-06		Double GPO 10 amp



10 Lucca Road, Wyong NSW 2259
02 4333 3333
admin@sdf.com.au

1. This drawing is copy right of Montgomery Granny Flats PTY LTD
2. All dimensions are in millimeters

APPROVED FOR ISSUE BY

DESIGNED BY

PROJECT DIRECTOR

DRAWING RESPONSIBLE BY

CHECKED BY

DESIGNED BY

DRAWN BY

CONFIRMED BY

STAMP 1

STAMP 2

STAMP 3

CONSTRUCTION UNITS

PROJECT

ITEM

DRAWING TITLE

FIG. NO.	SCALE
DATE	2022. 06
DRAWING NO.	JS-06



SMC - KEMPTON

RECEIVED

11/06/2025

PO Box 817, Warrnambool Vic 3280
Ph: 0448 866 205
Email: enprove@enprove.com.au
Web: www.enprove.com.au
ABN: 71 462 965 882

9th June 2025

Agricultural Merit Report

Property Details:

Property Address:	111 Springhill Bottom Road, Colebrook Tasmania 7027
Property Description(s):	9370284
Property Size:	2.2 Hectares
Local Authority:	Southern Midlands Council
Zoning / Overlays:	Agriculture Bushfire Prone Area Waterway and Coastal Protection Area (Part)
Current Use:	Vacant

I think it is fair to say that not every piece of ground in the declared agriculture zone is suitable for commercial agriculture. 111 Springhill Bottom Road can be defined as an agriculturally difficult property. The title appears to have resulted from the subdivision of a farm and other neighbouring titles have already had dwellings constructed.

The size of the property means that profitable grazing is unlikely, and any intensive agricultural use is restrained by a lack of water supply. Modern agriculture relies on scale for return and small properties, such as this, are near impossible to manage viably. The property will still have to be managed with some agricultural techniques, although it will not provide the financial returns from that vested management.

I have seen many types of different agriculture, and there is not a suitable one I could recommend for the property, and I would not recommend it be purchased for integration into another farming property.

The key decision-making aspects for this assessment are:

- The property is small and further constrained by a significant area of inundation of the waterline at the rear.
- The property has no secure water supply and getting one is uncertain and expensive (rainfall is 600mm per annum and the climate trend shows rainfall decreasing).
- The property lacks the size to allow paddock rotation and would not be productive during the summer seasons.
- The ground lacks quality soil and depth and the soil has been disturbed by the previous horse training activities.
- There is a lack of a viable agricultural method to manage the property profitably.
- There is a lack of agricultural infrastructure on the property and those facilities would need to be constructed at a significant cost.
- The investment in improving agricultural production would never be recovered.



SMC - KEMPTON

RECEIVED

11/06/2025

PO Box 817, Warrnambool Vic 3280

Ph: 0448 866 205

Email: enprove@enprove.com.auWeb: www.enprove.com.au

ABN: 71 462 965 882

The requirements of the planning provisions are to protect agricultural production in Agricultural Zone. Sometimes this can occur conversely, poor quality, unused and unoccupied land can present a risk to other productive lands. A property such as this could become a haven for weeds and pests, and therefore become a source of problems to surrounding properties. Managing those issues is distinctly beneficial to others.

I don't believe the establishment of a dwelling on the property will alter the agricultural value of the property or area, and I would think the new owner will find ways to use it valuably. Experience has shown that these types of small developments do end up contributing to the region.

Theoretical Investment & Return:

A representative farm budget has been overlaid on the property to demonstrate potential financial return/loss which could be achieved agriculturally. The model assumes 20 lambs are reared on site per year (20 is recommended by the Meat and Livestock stocking rate calculator as the suitable number for the property size).

Indicative Farm Profit/Loss (excluding dwelling and land costs, not CPI adjusted):

Income/Cost Item	Year 1	Year 2	Year 3 +
Weaner Sales (20 per year) \$	0	5,000	5,000
Lamb Purchases	2,000	2,000	2,000
Stock Maintenance (Vet, medications etc.) \$	300	300	300
Feed Costs (Hay bought in 4 months) \$	800	800	800
Pasture / Fertilizer Costs \$	2,000	200	200
Apportioned Rates, Insurances, Utilities \$	1,000	1,000	1,000
Infrastructure Investment/ Maintenance \$ (fencing, water tanks, stockyards and pipes etc.)	30,000	2,000	2,000
Variable Costs (Fuel, repairs, transport)	800	800	800
Total (Profit/Loss) \$	(36,900)	(2,100)	(2,100)

Notes:

Lambs are considered the most suitable form of agriculture for the area, considering poor pasture, low water availability, potential inundation and seasonal constraints; this budget demonstrates that it would not be profitable primarily due to small stock holding capacity.

Please feel free to contact me for any further clarification.

Dean Suckling
Agricultural & Environmental Consultant



SMC - KEMPTON

RECEIVED

11/06/2025

PO Box 817, Warrnambool Vic 3280
Ph: 0448 866 205
Email: enprove@enprove.com.au
Web: www.enprove.com.au
ABN: 71 462 965 882

DRAFT

Site Location:





SMC - KEMPTON

RECEIVED

11/06/2025

PO Box 817, Warrnambool Vic 3280

Ph: 0448 866 205

Email: enprove@enprove.com.au

Web: www.enprove.com.au

ABN: 71 462 965 882

Property Images:

