



Public Notice Details

Planning Application Details

| | |
|-----------------------|-----------|
| Application No | DA2500063 |
|-----------------------|-----------|

Property Details

| | |
|--------------------------|-------------------------|
| Property Location | 59 Lowes Road Tunbridge |
|--------------------------|-------------------------|

Application Information

| | |
|---|---------------------------------------|
| Application Type | Discretionary Development Application |
| Development Category | New Dwelling |
| Advertising Commencement Date | 4/7/25 |
| Advertising Closing Period | 18/7/25 |
| <small>If the Council Offices are closed during normal office hours within the above period, the period for making representations is extended.</small> | |

Enquiries regarding this Application can be made via to Southern Midlands Council on (03) 6254 5050 or by emailing planningenquires@southernmidlands.tas.gov.au. Please quote the development application number when making your enquiry.

Representations on this application may be made to the General Manager in writing either by

Post: PO Box 21, Oatlands Tas 7120
Email: mail@southernmidlands.tas.gov.au
Fax: 03 6254 5014

All representations must include the authors full name, contact number and postal address and be received by the advertising closing date.

APPLICATION FOR PLANNING PERMIT

DEVELOPMENT / USE

Use this form to apply for a permit in accordance with section 57 and 58 of the *Land Use Planning and Approvals Act 1993*

Proposed
use/development:
*(Provide details of
proposed works and use).*

PROPOSED RESIDENTIAL DWELLING

Location of
Development:
*(If the development
includes more than one
site, or is over another
property include address
of both Properties).*

59 LOWES STREET, TUNBRIDGE TAS 7120

Certificate of Title/s
Volume Number/Lot
Number:

170163/1

Land Owners Name:

LARA CRAWFORD & JOSHUA COX

Full Name/s or Full Business/Company Name

Applicant's Name:

Design To Live Sandon Brown

Full Name/s or Full Business/ Company Name (ABN if registered business or company name)

Contact details:

Postal address for correspondence:

202 Wellington Street, South Launceston, 7249

Telephone or Mobile:

6344 7319

Email address:

info@designtolive.com.au

(Please note it is your responsibility to provide your correct email address and to check your email for communications from the Council.)

Details
Tax Invoice for
application fees to be
in the name of:
(if different from
applicant)

LARA CRAWFORD

Full Name/s or Full Business or Company Name and ABN if registered business or company name

Print email address

larashaylahjoy@gmail.com

ABN

What is the estimated value of all the new work proposed

\$ \$150,000.00



For Commercial Planning Permit Applications Only

Signage:

Is any signage proposed?

Yes

No

If yes, attach details: size, location and art work

Business Details:

Existing hours of operation

| Hours | am | to | pm |
|----------|----|----|----|
| Weekdays | | | |
| Sat | | | |
| Sun | | | |

Proposed hours of new operation

| Hours | am | to | pm |
|----------|----|----|----|
| Weekdays | | | |
| Sat | | | |
| Sun | | | |

Number of existing employees:

Number of proposed new employees:

Traffic Movements:

Number of commercial vehicles serving the site at present

Approximate number of commercial vehicles servicing the site in the future

Number of Car Parking Spaces:

How many car spaces are currently provided

How many new car spaces are proposed

Please tick ✓ answer

Is the development to be staged:

Yes

No

Please attach any additional information that may be required by Part 6.1 *Application Requirements* of the Tasmanian Planning Scheme – Southern Midlands.

Signed Declaration

I/we as owner of the land or person with consent of the owner hereby declare that:

- I/we have read the Certificate of Title and Schedule of Easements for the land and I/we are satisfied that this application is not prevented by any restrictions, easements or covenants.
- I/we provide permission by or on behalf of the applicant for Council officers to enter the site to assess the application.
- The information given in this application is true and accurate. I/we understand that the information and materials provided with this application may be made available to the public. I/we understand that the Council may make such copies of the information and materials as, in its opinion, are necessary to facilitate a thorough consideration of the application.
- I/we have secured the necessary permission from the copyright owner to communicate and reproduce the plans submitted with the application for assessment. I/we indemnify the Southern Midlands Council for any claim or action taken against it regarding a breach of copyright in respect of any of the information or material provided.
- I/we declare that, in accordance with Section 52(1) of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their consent is attached and the application form signed by the Minister of the Crown responsible and/or the General Manager of the Council.

Applicant Signature
(If not the Title Owner)

Applicant Name (please print)

Date

Sandon Brown

20/05/2025

Land Owner(s) Signature

Land Owners Name (please print)

Date



Land Owner(s) Signature

Land Owners Name (please print)

Date

PRIVACY STATEMENT

The Southern Midlands Council abides by the Personal Information Protection Act 2004 and views the protection of your privacy as an integral part of its commitment towards complete accountability and integrity in all its activities and programs.

Collection of Personal Information: The personal information being collected from you for the purposes of the Personal Information Protection Act, 2004 and will be used solely by Council in accordance with its Privacy Policy. Council is collecting this information from you in order to process your application.

Disclosure of Personal Information: Council will take all necessary measures to prevent unauthorised access to or disclosure of your personal information. External organisations to whom this personal information will be disclosed as required under the Building Act 2000. This information will not be disclosed to any other external agencies unless required or authorised by law.

Correction of Personal Information: If you wish to alter any personal information you have supplied to Council please telephone the Southern Midlands Council on (03) 62545050. Please contact the Council's Privacy Officer on (03) 6254 5000 if you have any other enquires concerning Council's privacy procedures.

Information & Checklist Sheet

DEVELOPMENT / USE

Use this check list for submitting your application for a planning permit –Please do not attach the check list with your application

Submitting your application ✓

1. All plans and information required per Part 6.1 Application Requirements of the Tasmanian Planning Scheme i.e.: site plan showing all existing buildings, proposed buildings, elevation plans etc. ☐
2. Copy of the current Certificate of Title, Schedule of Easements and Title Plan (Available from Service Tasmania Offices) ☐
3. Any reports, certificates or written statements to accompany the Application (if applicable) required by the relevant zone or code. ☐
4. Prescribed fees payable to Council ☐

Information

If you provide an email address in this form then the Southern Midlands Council ("the Council") will treat the provision of the email address as consent to the Council, pursuant to Section 6 of the Electronic Transactions Act 2000, to using that email address for the purposes of assessing the Application under the Land Use Planning and Approvals Act 1993 ("the Act").

If you provide an email address, the Council will not provide hard copy documentation unless specifically requested.

It is your responsibility to provide the Council with the correct email address and to check your email for communications from the Council.

If you do not wish for the Council to use your email address as the method of contact and for the giving of information, please tick ✓ the box ☐

Heritage Tasmania

If the Property is listed on the Tasmanian Heritage Register then the Application will be referred to Heritage Tasmania unless an Exemption Certificate has been provided with this Application. (Phone 1300 850 332 (local call cost) or email enquires@heritage.tas.gov.au)

TasWater

Depending on the works proposed Council may be required to refer the Application to TasWater for assessment (Phone 136992)

IMPORTANT: There is no connection between Planning approval and Building & Plumbing approvals.

Owners are to ensure that the work is either Low-Risk Building Work, Notifiable Building Work or Permit work in accordance with the Directors Determination – Categories of Building & Demolition Work v 1.4 dated 12 March 2021 prior to any building works being carried out on the land.

https://www.cbos.tas.gov.au/_data/assets/pdf_file/0014/405014/Directors-determination-categories-of-building-and-demolition-work-2021.pdf



Mail: 202 Wellington Street, South Launceston 7249
A.B.N: 71 615 812 747
Phone: 6344 7319
Email: info@designtolive.com.au

23 June 2025

SMC - KEMPTON

RECEIVED

23/06/2025

Planning Application Cover Letter

Applicant: Design To Live PTY LTD

Development: Proposed Dwelling

Owner: Lara Crawford

Address: 59 Lowes Street, Tunbridge 7120

Council: Southern Midlands Council

Zone: Rural

To Bernadette Conde,

Please find below further information for the proposed development at 59 Lowes Street, Tunbridge 7120.

C8.0 Scenic Protection Code – Clause 8.6.1

- (P2.a)** – The site slopes gently away from the Midland Highway and forms part of the scenic foreground. Given the site fall and proposed building height of approximately 4300mm, the works will not obscure sightlines to the scenic midground and background, thereby minimising any loss of scenic value along the road corridor.
- (P2.b)** – The existing driveway is constructed from compacted gravel, and fits within the surrounding rural landscape. The proposed driveway extension will also be constructed from compacted gravel, ensuring the new works also blend into the rural landscape.
- (P2.c)** – The external finish of the proposed dwelling will be a dark grey with an approximate solar reflectance index (SRI) of 30. Existing containers A and B also feature a dark grey finish, which will be retained following the completion of the proposed works. These finishes work to blend the proposed development into the natural landscape, ensuring there is no unreasonable loss of scenic value along the Midland Highway.
- (P2.d)** – The proposed works are limited to a small section of the larger site, with the undeveloped area to be used as paddocks. The design of the proposed dwelling resembles a small shed and will be clad in Colorbond®, resembling surrounding structures and blending into the rural landscape. The two existing shipping containers are located behind the dwelling, which will partially obscure them from view along the road carriageway. These strategies work together to minimise the impact of the proposed works on the scenic value of the area.
- (P2.e)** – As the fall across the site is minimal, no cut or fill will be required.
- (P2.f)** – The proposed development does not form part of any skylines.
- (P2.g)** – Existing vegetation to the north of the site acts as a natural buffer, partially obscuring the proposed development when travelling south along the Midland Highway. When travelling north, several properties within Tunbridge are visible, with some being of scenic importance as outlined in SOU-C8.2.1. For this reason, screening has not been proposed to the south of the site to retain existing sightlines to key structures. If additional

screening is required, the vegetation to the north of the site could be extended with avenue planting to match the existing avenue planting on the opposite side of the highway. This would ensure key views are maintained as drivers enter Tunbridge (from the south), while the proposed development becomes screened as they approach and pass the site. When travelling south, this would ensure the dwelling is fully screened from drivers as they pass the site.

(P2.h.a) – No significant vegetation will be cleared during the proposed works. The development features a 20m setback from the Midland Highway, ensuring views to the scenic midground and background are retained.

(P2.h.b, d & e) – As mentioned above, if additional screening is required, the existing vegetation to the north of the site could be extended to match the existing avenue planting. This would also continue the planting traditions within the scenic area.

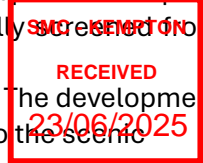
(P2.h.c) – No existing hedgerows, avenue or exotic plantings will be cleared or modified during the proposed development.

(P2.h.f) – No signage is proposed within the development.

Please let me know if you require further clarification on any of the above points.

Regards,

Sandon Brown
(B.ArchBuiltEnv, M.Arch)





PROPOSED DWELLING,
59 LOWES STREET,
TUNBRIDGE , 7120.

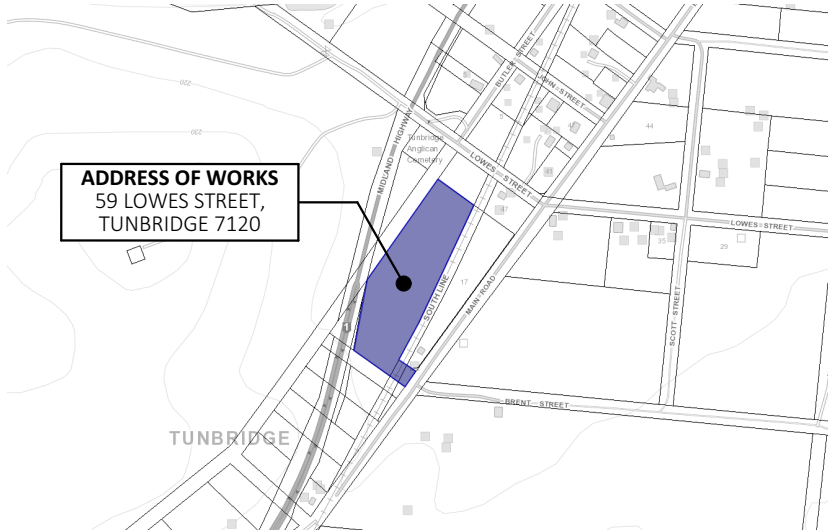
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23/06/2025



| DRAWING # | DRAWING |
|-----------|-----------------------------|
| LWSS59-1 | COVER PAGE |
| LWSS59-2 | SITE PLAN 1:1000 - EXISTING |
| LWSS59-3 | SITE PLAN 1:1000 - PROPOSED |
| LWSS59-4 | SITE PLAN 1:200 - PROPOSED |
| LWSS59-5 | FLOOR PLAN |
| LWSS59-6 | EXTERNAL SERVICES |
| LWSS59-7 | ELEVATIONS NE-SW |
| LWSS59-8 | ELEVATIONS SE-NW |
| LWSS59-9 | PERSPECTIVES |

| | | | | | |
|-------------------------------|-------|----------------------|--|--------------------|----------|
| AREAS | | COUNCIL | | ZONE | |
| | (m²) | SOUTHERN MIDLANDS | | RURAL | |
| PROPOSED DWELLING | 99.00 | LAND TITLE REFERENCE | 170163/1 | ENERGY STAR RATING | TBC |
| PROPOSED PORCH | 32.68 | PROPERTY ID | 3411163 | CLIMATE ZONE | 7 |
| EXISTING SHIPPING CONTAINER A | 29.77 | LOT SIZE (M²) | 23500 | ALPINE AREA | N/A |
| EXISTING SHIPPING CONTAINER B | 14.79 | BAL RATING | TBC | CORROSION ENV' | LOW |
| EXISTING CARAVAN A | 11.91 | DESIGN WIND CLASS | TBC | SITE HAZARDS | BUSHFIRE |
| EXISTING CARAVAN B | 11.91 | SOIL CLASSIFICATION | TBC | | |
| | | PLANNING OVERLAY | PRIORITY VEGETATION AREA, BUSHFIRE-PRONE AREAS, SCENIC ROAD CORRIDOR | | |

| | | | | | | | | | | | |
|--|----------------------------|-----------------------|---|--|------|------------|--------------|----------|------|-------------|--------|
|  <div>ACC # 371799313 ABN. 71 615 812 747 PH. 6344 7319 E. info@designtolive.com.au W. designtolive.com.au</div> | CLIENT/S: LARA CRAWFORD | DRAWING COVER PAGE | I/WE APPROVE THESE DRAWING TO BE CORRECT PER CONTRACT. | COPYRIGHT: This is the sole property of Design To Live, and may not be used in whole, or in part without written or formal consent from Design To Live. Legal action will be taken against any person/s infringing the copyright. | REV. | DATE | DESCRIPTION | DESIGNER | M.L. | JOB NUMBER | LWSS59 |
| | | | | | R1 | 20/05/2025 | FOR PLANNING | DRAWN | S.B. | DRAWING | 1/9 |
| | | | | | R2 | 23/06/2025 | PLANNING RFI | | | | |
| | | | | | | | | CHECKED | M.L. | SCALE (@A3) | NTS |
| SITE ADDRESS: 59 LOWES STREET, TUNBRIDGE , 7120. | | | SIGNATURE: SIGNATURE: | DATE: DATE: | | | | | | | |



LOCALITY PLAN
NOT TO SCALE

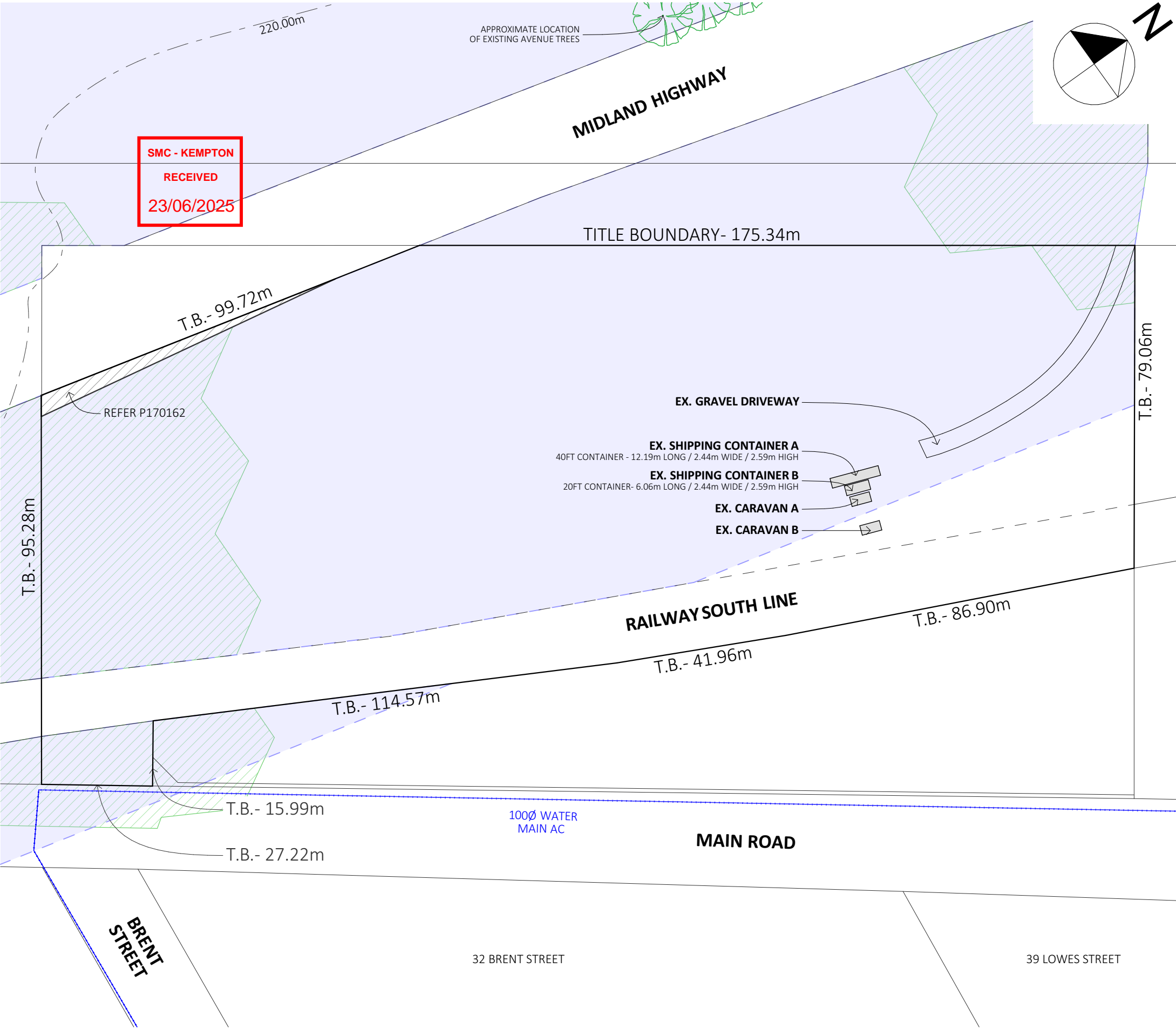
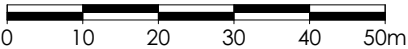
NOTE:
NO VEGETATION TO BE REMOVED

KEY:

PRIORITY VEGETATION AREA

SCENIC ROAD CORRIDOR

| AREA | m ² |
|-------------------------------|----------------|
| EXISTING SHIPPING CONTAINER A | 29.77 |
| EXISTING SHIPPING CONTAINER B | 14.79 |
| EXISTING CARAVAN A | 11.91 |
| EXISTING CARAVAN B | 11.91 |



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CLIENT/S:
LARA CRAWFORD

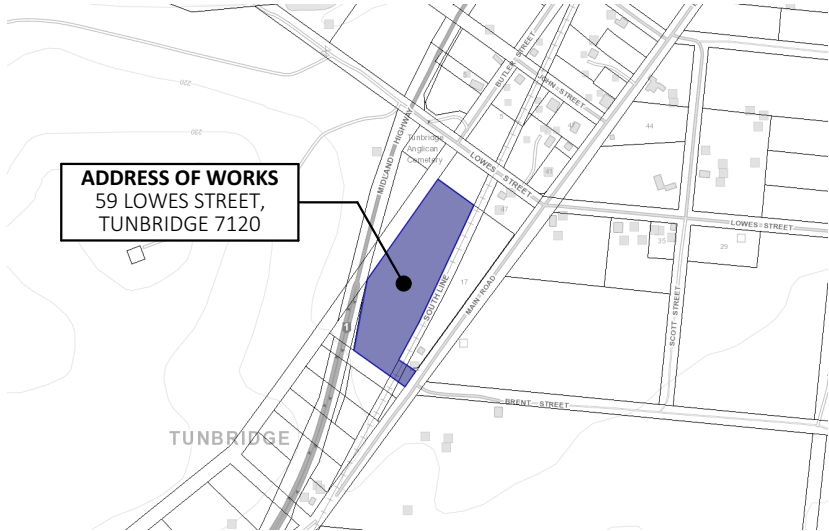
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DRAWING
SITE PLAN
1:1000 -
EXISTING

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| R1 | 20/05/2025 | FOR PLANNING | DRAWN | S.B. | DRAWING | 2/9 |
| R2 | 23/06/2025 | PLANNING RFI | | | | |
| | | | CHECKED | M.L. | SCALE (@A3) | 1:1000 |



LOCALITY PLAN
NOT TO SCALE

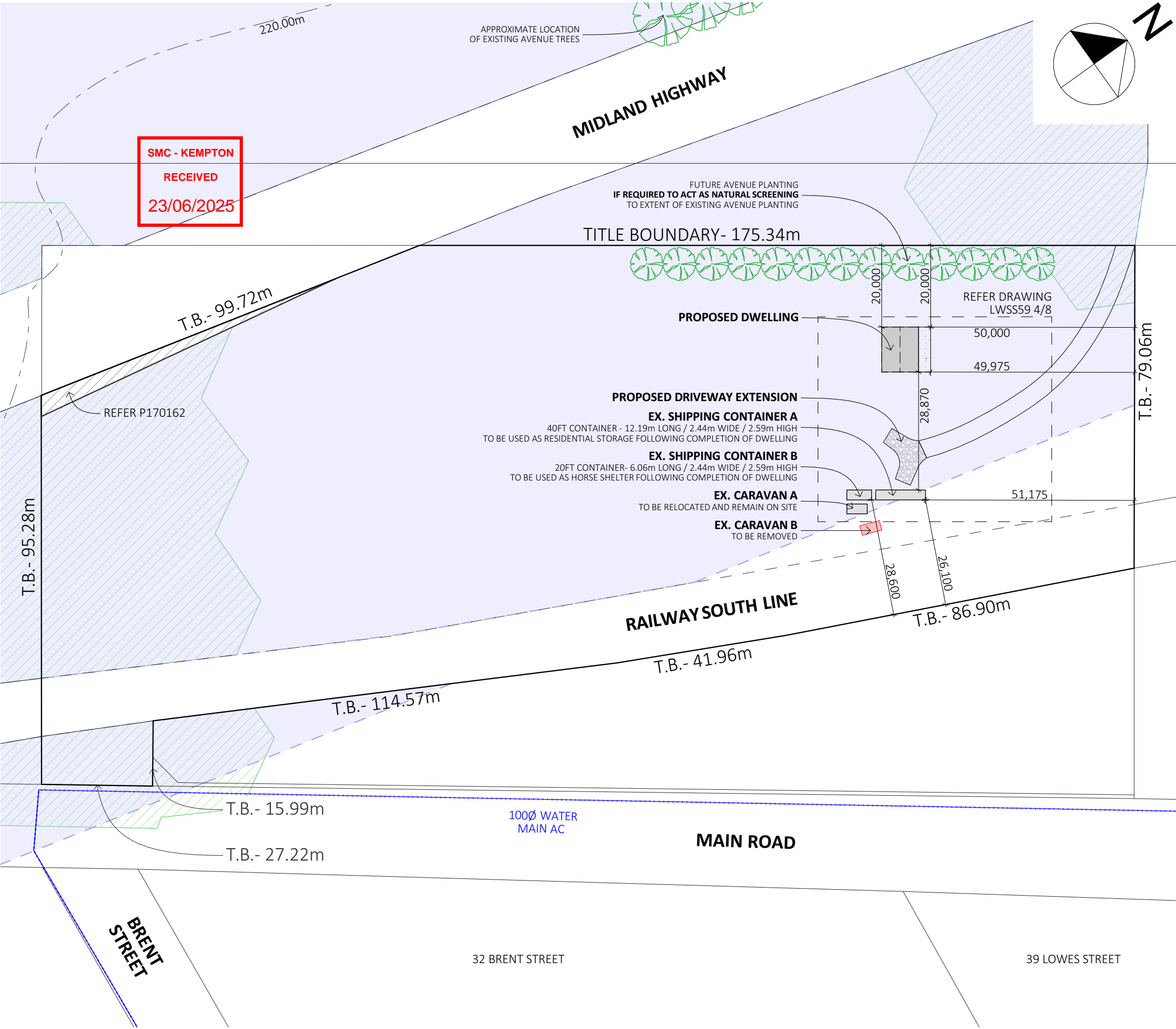
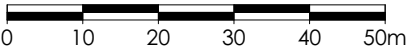
NOTE:
NO VEGETATION TO BE REMOVED

KEY:

PRIORITY VEGETATION AREA

SCENIC ROAD CORRIDOR

| AREA | m ² |
|-------------------------------|----------------|
| PROPOSED DWELLING | 99.00 |
| EXISTING SHIPPING CONTAINER A | 29.77 |
| EXISTING SHIPPING CONTAINER B | 14.79 |
| EXISTING CARAVAN A | 11.91 |



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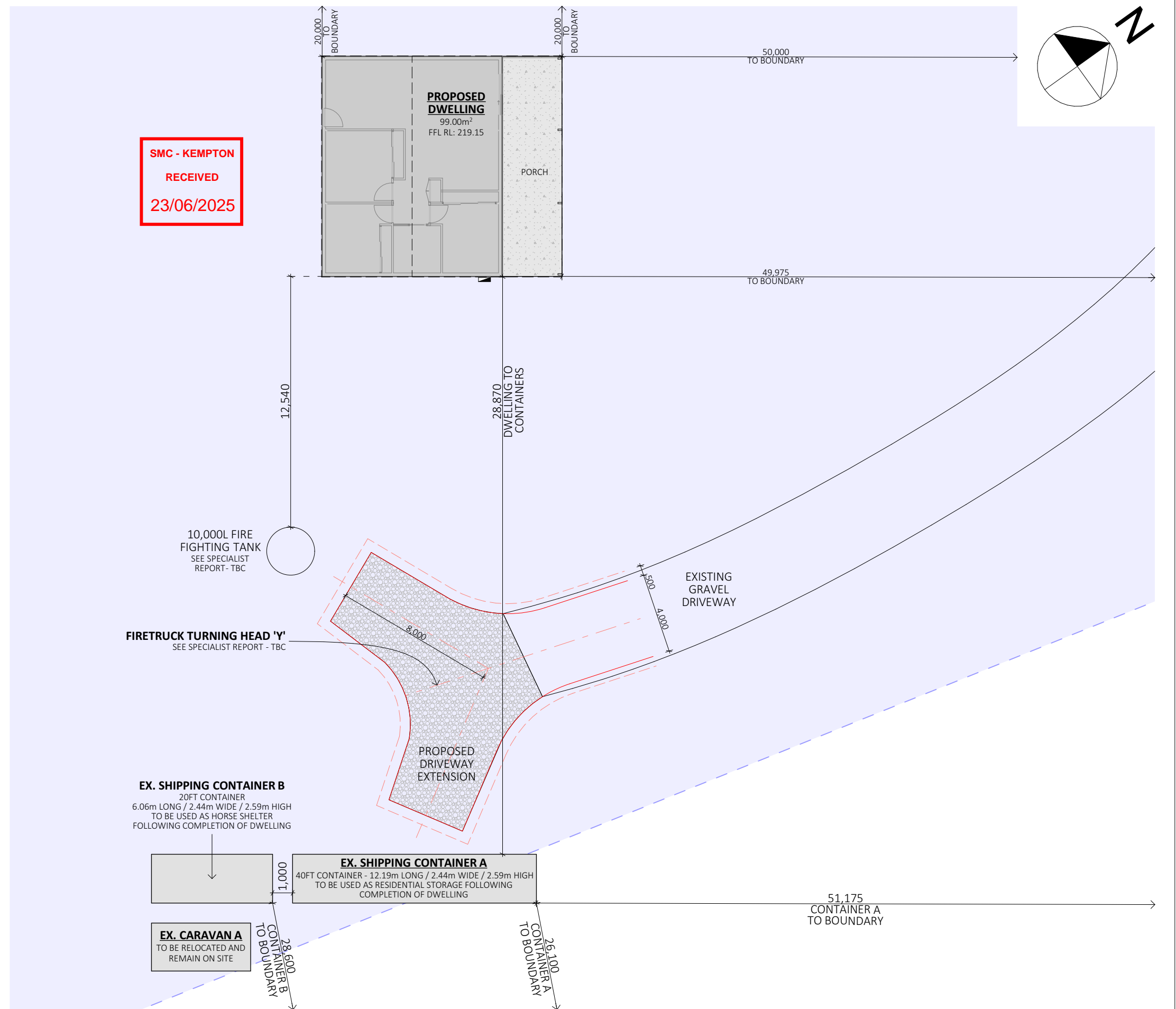
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TUNBRIDGE , 7120.

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SITE PLAN
1:1000 -
PROPOSED

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| | | | CHECKED | M.L. | SCALE (@A3) | 1:1000 |

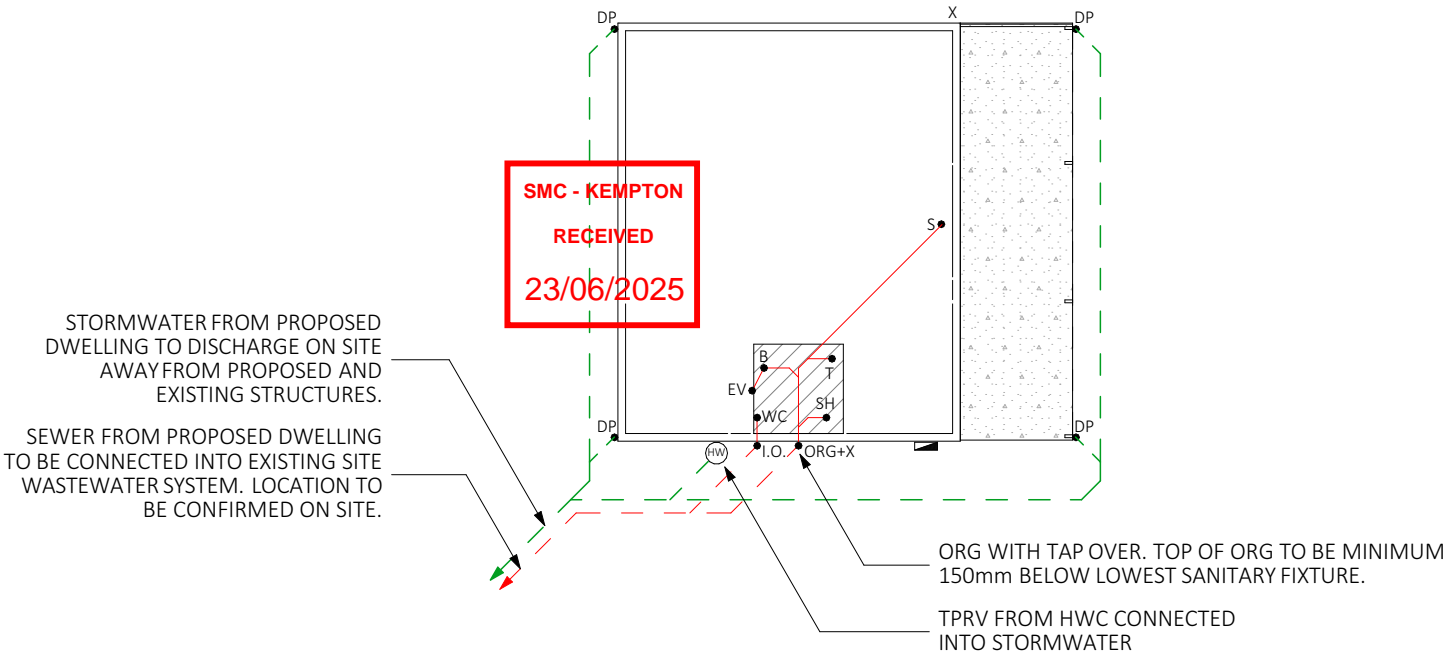


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|------|------------|--------------|----------|---------|------------|-------------|
| R1 | 20/05/2025 | FOR PLANNING | DRAWN | S.B. | DRAWING | 4/9 |
| R2 | 23/06/2025 | PLANNING RFI | | CHECKED | M.L. | SCALE (@A3) |
| | | | | | | |
| | | | | | | |

LEGEND

| | |
|--|-----------------------------|
| B | BASIN |
| Ba | BATH |
| S | SINK (65Ø) |
| T | LAUNDRY TUB (65Ø) |
| SH | SHOWER |
| WC | WATER CLOSET |
| FW | FLOOR WASTE |
| EV | VENT (THROUGH TO ROOF) |
| IO | INSPECTION OPENING |
| ORG | O/FLOW RELIEF GULLY |
| RE | RODDING EYE |
| X | EXTERNAL TAP |
| P | DRAINAGE PIT (450 x 450mm) |
| DP | DOWNPIPE (90Ø) |
|  | WET AREAS |
|  | STORMWATER LINE (100mm PVC) |
|  | SEWER LINE (100mm PVC) |

THIS PAGE IS TO BE PRINTED
AND READ IN COLOUR.



INSTALL INSPECTION OPENINGS AT MAJOR BENDS FOR STORMWATER AND ALL LOW POINTS OF DOWNPIPES.

PROVIDE SURFACE DRAIN TO BACK OF BULK EXCAVATION TO DRAIN LEVELLED PAD PRIOR TO COMMENCING FOOTING EXCAVATION.

SERVICES

THE HEATED WATER SYSTEM MUST BE DESIGNED AND INSTALLED WITH PART B2 OF THE NCC VOLUME THREE- PLUMBING CODE OF AUSTRALIA.

THERMAL INSULATION FOR HEATED WATER PIPING MUST:

- A) BE PROTECTED AGAINST THE EFFECTS OF WEATHER AND SUNLIGHT; AND
- B) BE ABLE TO WITHSTAND THE TEMPERATURES WITHIN THE PIPING ; AND
- C) USE THERMAL INSULATION IN ACCORDANCE WITH AS/NZS 4859.1

HEATED WATER PIPING THAT IS NOT WITHIN A CONDITIONED SPACE MUST BE THERMALLY INSULATED AS FOLLOWS:

1. INTERNAL PIPING

- a) ALL FLOW AND RETURN INTERNAL PIPING THAT IS-
 - i) WITHIN AN UNVENTILATED WALL SPACE
 - ii) WITHIN AN INTERNAL FLOOR BETWEEN STOREYS; OR
 - iii) BETWEEN CEILING INSULATION AND A CEILINGMUST HAVE A MINIMUM R-VALUE OF 0.2

2. PIPING LOCATED WITHIN A VENTILATED WALL SPACE, AN ENCLOSED BUILDING SUBFLOOR OR A ROOF SPACE

- a) ALL FLOW AND RETURN PIPING
- b) COLD WATER SUPPLY PIPING AND RELIEF VALVE PIPING WITHIN 500mm OF THE CONNECTION TO CENTRAL WATER HEATING SYSTEM, MUST HAVE A MINIMUM R-VALUE OF 0.45

3. PIPING LOCATED OUTSIDE THE BUILDING OR IN AN UNENCLOSED BUILDING SUB FLOOR OR ROOF SPACE

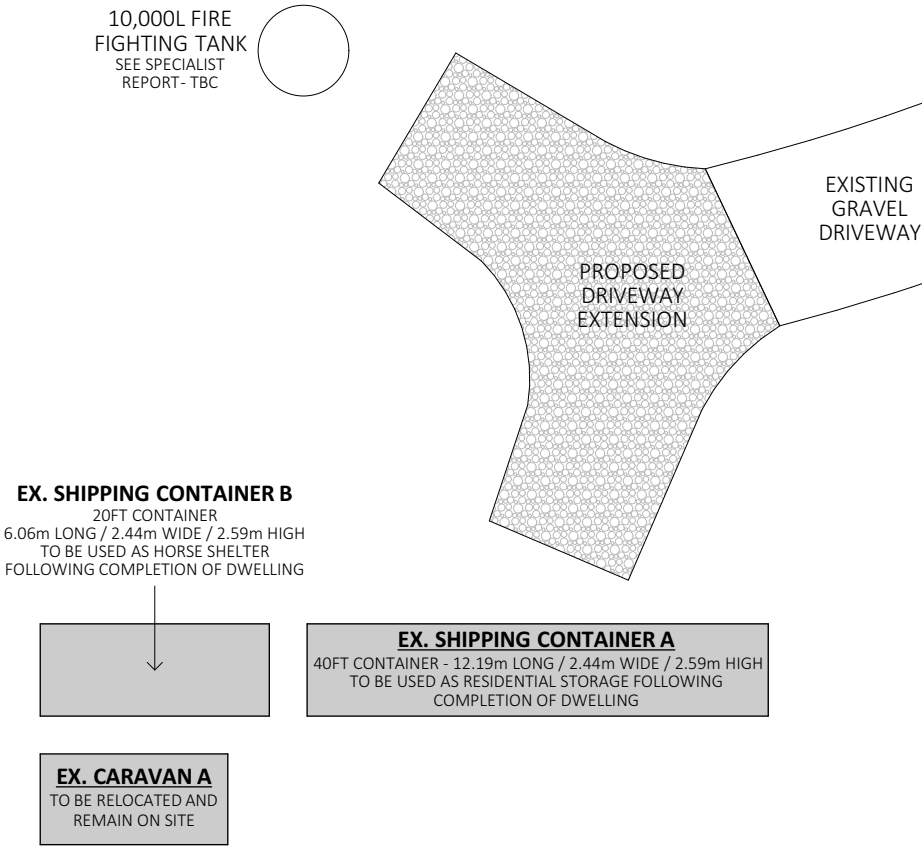
- a) ALL FLOW AND RETURN PIPING
- b) COLD WATER SUPPLY PIPING AND RELIEF VALVE PIPING WITHIN 500mm OF THE CONNECTION TO CENTRAL WATER HEATING SYSTEM MUST HAVE A MINIMUM R-VALUE OF 0.6

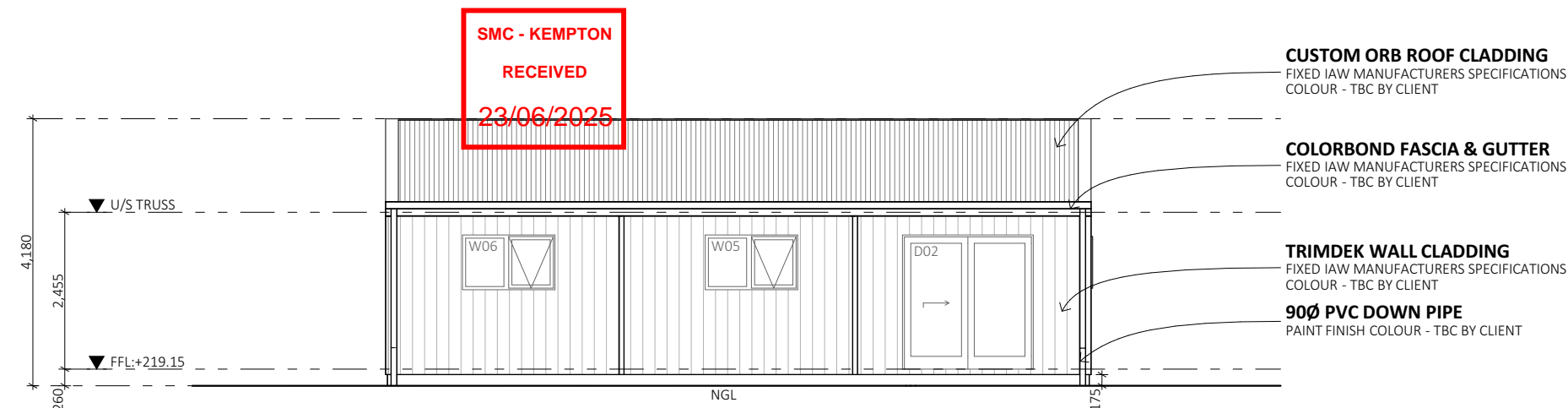
PIPING WITHIN AN INSULATED TIMBER FRAMED WALL, SUCH AS THAT PASSING THROUGH A WALL STUD, IS CONSIDERED TO COMPLY WITH THE ABOVE INSULATION REQUIREMENTS.

NOTES:

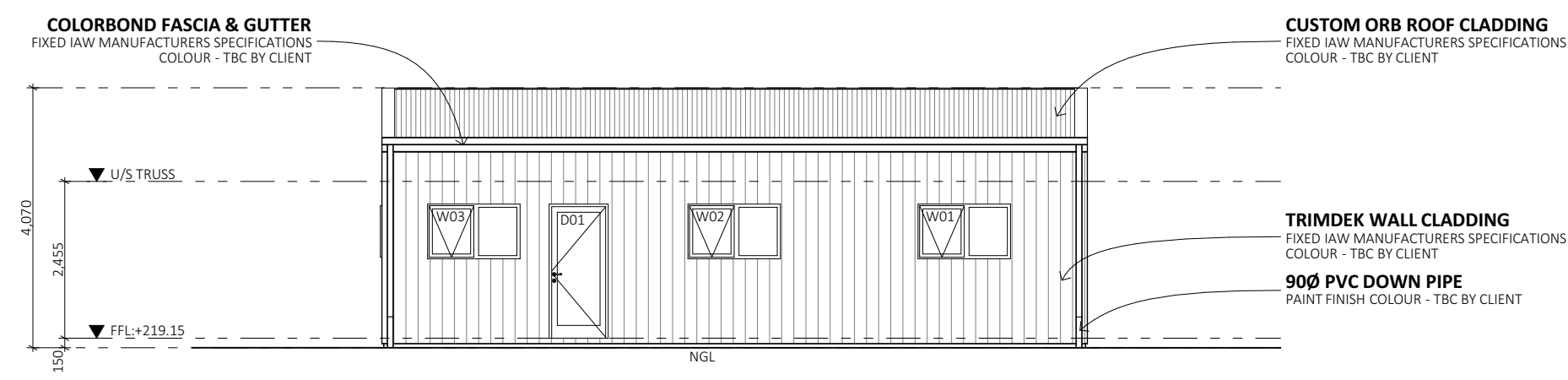
ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH LOCAL AUTHORITIES. ALL WORK IS TO COMPLY WITH AS-3500 AND LOCAL PLUMBING CODE AND SHOULD BE CARRIED OUT BY A LICENSED PLUMBER.

ALL WORKS ARE TO BE IN ACCORDANCE WITH THE WATER SUPPLY CODE OF AUSTRALIA MELBOURNE RETAIL WATER AGENCIES INTERGRATED CODE (WSA 03-2011-3.1 VERSION 3.1 MRWA VERSION 2.0) AND THE SEWERAGE CODE OF AUSTRALIA MELBOURNE RETAIL WATER AGENCIES INTERGRATED CODE (WSA 02-2014-3.1 MRWA VERSION 2.0) AND TASWATER'S SUPPLEMENTS TO THESE CODES.



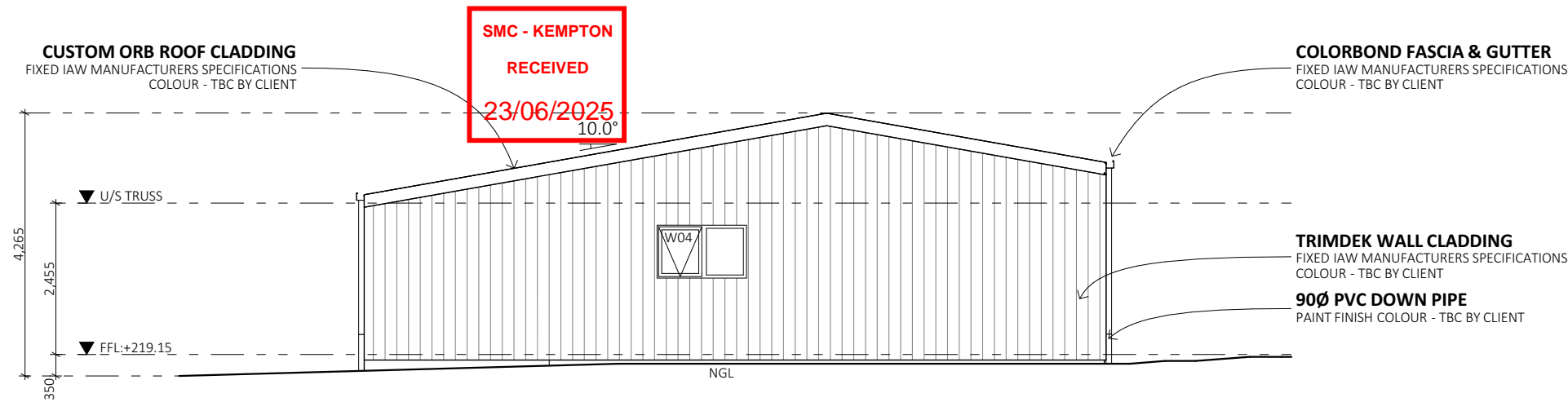


NORTH EASTERN ELEVATION

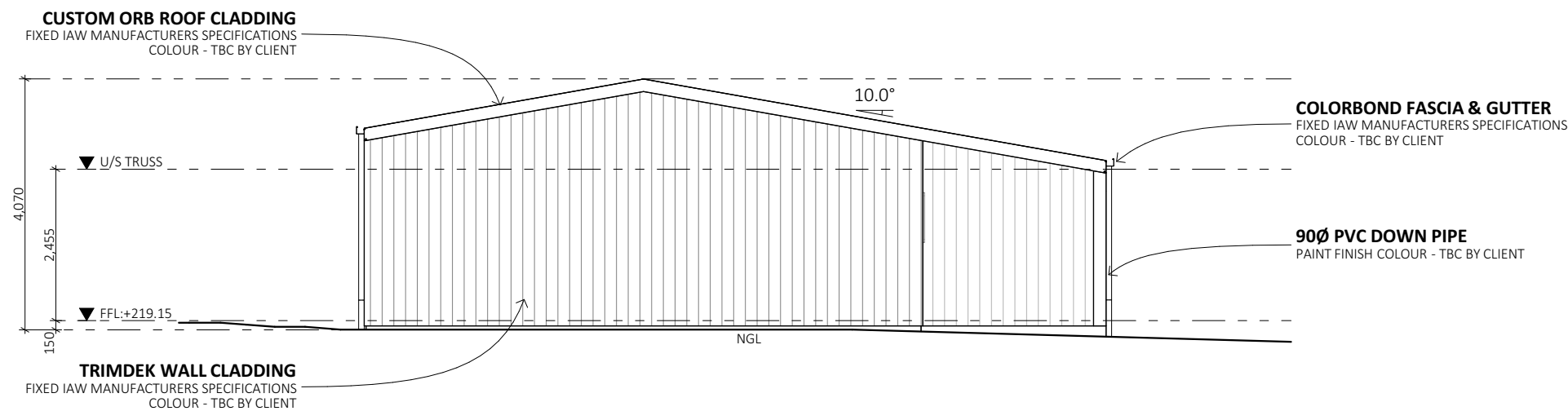


SOUTH WESTERN ELEVATION





SOUTH EASTERN ELEVATION



NORTH WESTERN ELEVATION



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ABN. 71 615 812 747
PH. 6344 7319
E. info@designtolive.com.au
W. designtolive.com.au

CLIENT/S:
LARA CRAWFORD

SITE ADDRESS:
59 LOWES STREET,
TUNBRIDGE, 7120.

**DRAWING
ELEVATIONS
SE-NW**

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SIGNATURE:

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DATE:

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| | | | CHECKED | M.L. | SCALE (@A3) | 1:100 |



ACC # 371799313
ABN. 71 615 812 747
PH. 6344 7319
E. info@designtolive.com.au
W. designtolive.com.au

CLIENT/S:
LARA CRAWFORD

SITE ADDRESS:
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TUNBRIDGE , 7120.

**DRAWING
PERSPECTIVES**

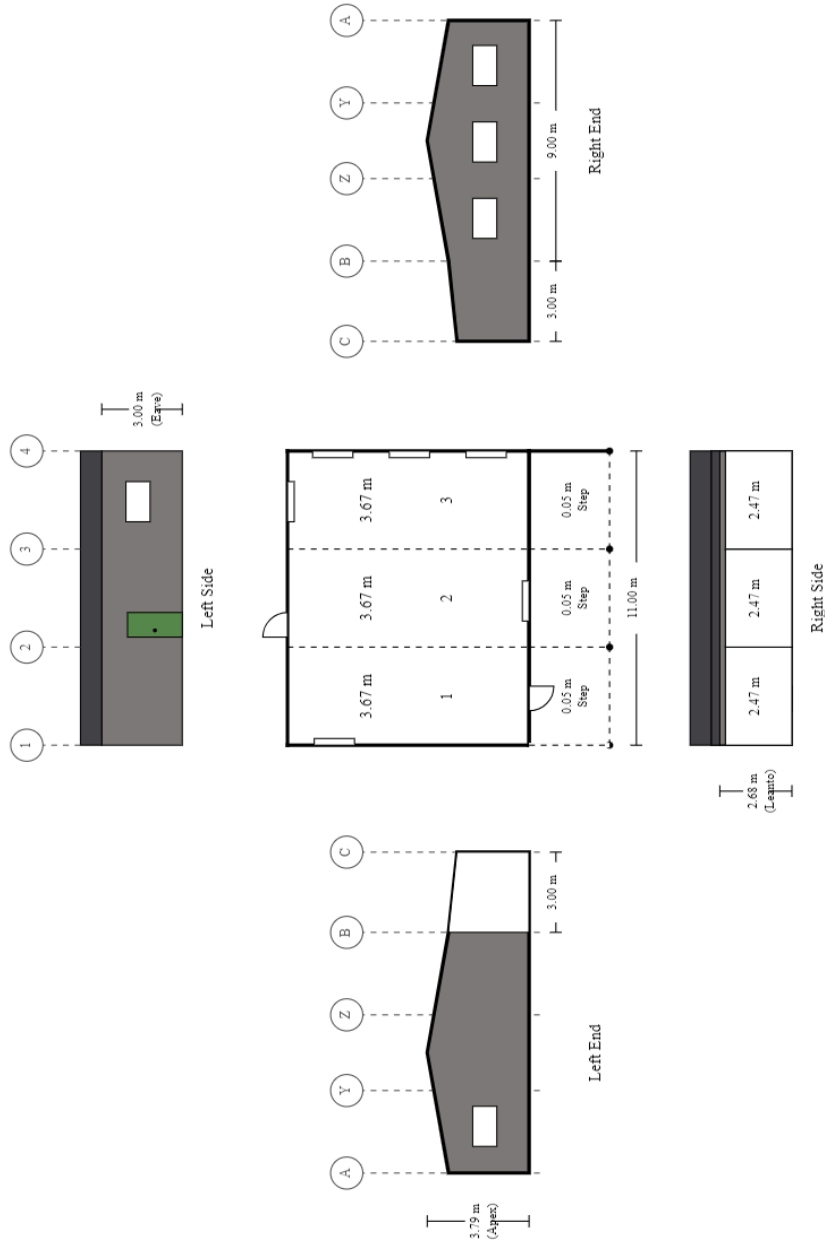
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SIGNATURE: **DATE:**

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| | | | CHECKED | M.L. | SCALE (@A3) | NTS |



Building Layout

Ref: DOUSCOT2404090-10

Purchaser Name: Lara Kremer

Site Address:

Ref # DOUSCOT2404090-10

Print Date: 16/09/24

Seller: Wide Span Sheds Pty Ltd

Name: Dougal Scott

Phone: 1300 943 377

Fax: 1800 427 400

Email: dougal.scott@sheds.com.au

Building Information

The design criteria nominated has been assessed by your trained sales consultant. This assessment is subject to the certifying engineers confirmation. Final assessment by the engineer may result in a change to the materials and price.

From the site location and the usage information we have at hand, it is likely that the building is subject to a Marine Influence and/or Industrial Influence. We refer you to BlueScope Technical Bulletins (in particular but not limited to TB1A, TB1B, TB4, TB17, TB30 and TB35) to consider the environmental conditions and the materials that have been specified in your quotation. BlueScope warranties and any other supplier warranties will be limited under certain conditions. If you contact BlueScope on 1800 800 789, they will be able to discuss this further with you. Should you wish to consider changing to materials with a longer warranty or service life, your sales consultant will be able to assist.

The Ridge capping (flashing over the apex of the building) will be provided suitable to Scribe In. SA HB 39 provides guidelines and nominates that ridge capping should be scribed in. The NCC does not call up this standard, so it is not mandatory. If you do not want to Scribe In your ridge capping, please advise your sales consultant to remove it from your quotation.



NO COMPROMISE STEEL BUILDING SOLUTIONS

www.sheds.com.au

SEARCH OF TORRENS TITLE

| | |
|------------------|------------------------------|
| VOLUME 170163 | FOLIO 1 |
| EDITION 3 | DATE OF ISSUE 19-Dec-2021 |

SEARCH DATE : 19-Feb-2025

SEARCH TIME : 10.00 AM

DESCRIPTION OF LAND

Town of TUNBRIDGE

Lot 1 on Plan 170163

Derivation : Part of Lots 2, 3, 4, 5 and 6 (Section S) Gtd. to
Michael Solomon

Prior CT 236248/1

SCHEDULE 1


M930920 TRANSFER to LARA JEAN CRAWFORD and JOSHUA COX as
tenants in common in equal shares Registered
19-Dec-2021 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

| | | | | | |
|--|--|---|--|---|--|
| OWNER: RODNEY JOHN HAZELWOOD LORRAINE JOY HAZELWOOD FOLIO REFERENCE: C.T.236248/1 GRANTEE: PART OF LOTS 2, 3, 4, 5, AND 6 (SECTION S) GRANTED TO M. SOLOMON. | | PLAN OF TITLE LOCATION TOWN OF TUNBRIDGE SECTION S FIRST SURVEY PLAN No. COMPILED BY LEARY AND COX SURVEYORS SCALE 1:1250 LENGTHS IN METRES | | REGISTERED NUMBER <h3 style="text-align: center;">P170163</h3> APPROVED 23 NOV 2015  <small>Recorder of Titles</small> | |
| MAPSHEET MUNICIPAL CODE No. 125 (5233) | | LAST UPI No. | | LAST PLAN No. P236248 | |
| ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN | | | | | |

"EXCEPTED LANDS"

BALANCE PLAN

