



Public Notice Details

Planning Application Details

Application No	DA2500059
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Property Details

Property Location	1185 Native Corners Road Campania
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Application Information

Application Type	Discretionary Development Application
Development Category	Change of use from Studio to Visitor Accommodation
Advertising Commencement Date	8/5/25
Advertising Closing Period	22/5/25
<small>If the Council Offices are closed during normal office hours within the above period, the period for making representations is extended.</small>	

Enquiries regarding this Application can be made via to Southern Midlands Council on (03) 6254 5050 or by emailing planningenquires@southernmidlands.tas.gov.au. Please quote the development application number when making your enquiry.

Representations on this application may be made to the General Manager in writing either by

Post: PO Box 21, Oatlands Tas 7120
Email: mail@southernmidlands.tas.gov.au
Fax: 03 6254 5014

All representations must include the authors full name, contact number and postal address and be received by the advertising closing date.



APPLICATION FOR PLANNING PERMIT

DEVELOPMENT / USE

Use this form to apply for a permit in accordance with section 57 and 58 of the *Land Use Planning and Approvals Act 1993*

Proposed
use/development:
(Provide details of
proposed works and use).

To change purpose of use from studio to Visitor's accommodation

There's no building work involved. We'd like to change the purpose of use only. This building will be used for short- or medium-term accommodation on commercial basis or at no cost.

Location of
Development:
(If the development
includes more than one
site, or is over another
property include address
of both Properties).

1185 Native Corners Road Campania
Already Exist building

Certificate of Title/s
Volume Number/Lot
Number:

Land Owners Name:

Chieko Sasaki & Justin McRoss

Full Name/s or Full Business/Company Name

Applicant's Name:

Chieko Sasaki & Justin McRoss

Full Name/s or Full Business/ Company Name (ABN if registered business or company name)

Contact details:

Postal address for correspondence: 1185 Native Corners Road Campania TAS 7026

Telephone or Mobile: 0439 523 415

Email address: schiekomail@gmail.com

(Please note it is your responsibility to provide your correct email address and to check your email for communications from the Council.)

Details

Tax Invoice for
application fees to be
in the name of:
(if different from
applicant)

Chieko Sasaki & Justin McRoss

Full Name/s or Full Business or Company Name and ABN if registered business or company name

Print email address: schiekomail@gmail.com

ABN



What is the estimated value of all the new work proposed

\$0

For Commercial Planning Permit Applications Only

Signage:

Is any signage proposed?

Yes

No

If yes, attach details: size, location and art work

Business Details:

Existing hours of operation

Hours	am	to	pm
Weekdays			
Sat			
Sun			

Proposed hours of new operation

Hours	am	to	pm
Weekdays			
Sat			
Sun			

Number of existing employees:

Number of proposed new employees:

Traffic Movements:

Number of commercial vehicles serving the site at present

Approximate number of commercial vehicles servicing the site in the future

Number of Car Parking Spaces:

How many car spaces are currently provided

How many new car spaces are proposed

Is the development to be staged:

Please tick ✓ answer

Yes

No

Please attach any additional information that may be required by Part 6.1 *Application Requirements* of the Tasmanian Planning Scheme – Southern Midlands.

Signed Declaration

I/we as owner of the land or person with consent of the owner hereby declare that:

1. I/we have read the Certificate of Title and Schedule of Easements for the land and I/we are satisfied that this application is not prevented by any restrictions, easements or covenants.
2. I/we provide permission by or on behalf of the applicant for Council officers to enter the site to assess the application.
3. The information given in this application is true and accurate. I/we understand that the information and materials provided with this application may be made available to the public. I/we understand that the Council may make such copies of the information and materials as, in its opinion, are necessary to facilitate a thorough consideration of the application.
4. I/we have secured the necessary permission from the copyright owner to communicate and reproduce the plans submitted with the application for assessment. I/we indemnify the Southern Midlands Council for any claim or action taken against it regarding a breach of copyright in respect of any of the information or material provided.
5. I/we declare that, in accordance with Section 52(1) of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their consent is attached and the application form signed by the Minister of the Crown responsible and/or the General Manager of the Council.

Applicant Signature
(If not the Title Owner)

Applicant Name (please print)

Date



Land Owner(s) Signature

Land Owners Name (please print)

Date

佐々木 智恵子

Chieko Sasaki**01/05/2025**

Land Owner(s) Signature

Land Owners Name (please print)

Date

J

Justin McRoss**01/05/2025**

PRIVACY STATEMENT

The Southern Midlands Council abides by the Personal Information Protection Act 2004 and views the protection of your privacy as an integral part of its commitment towards complete accountability and integrity in all its activities and programs.

Collection of Personal Information: The personal information being collected from you for the purposes of the Personal Information Protection Act, 2004 and will be used solely by Council in accordance with its Privacy Policy. Council is collecting this information from you in order to process your application.

Disclosure of Personal Information: Council will take all necessary measures to prevent unauthorised access to or disclosure of your personal information. External organisations to whom this personal information will be disclosed as required under the Building Act 2000. This information will not be disclosed to any other external agencies unless required or authorised by law.

Correction of Personal Information: If you wish to alter any personal information you have supplied to Council please telephone the Southern Midlands Council on (03) 62545050. Please contact the Council's Privacy Officer on (03) 6254 5000 if you have any other enquires concerning Council's privacy procedures.

AS 3959 - 2018 COMPLIANCE

ALL WORK SHALL COMPLY 111TH AS 3959:2018 'CONSTRUCTION OF BUILDINGS IN BUSHFIRE-PRONE AREAS'. CONSTRUCTION SHALL MEET CRITERIA SPECIFIED FOR BAL-12.5. WALL CLADDING SHALL BE AS SPECIFIED ON DRAWINGS, INSTALLED IN ACCORDANCE 111TH MANUFACTURER'S SPECIFICATONS.

IN ACC. 111TH PART 5.4.2 ALL JOINTS IN THE EXTERNAL SURFACE MATERIAL OF WALLS SHALL BE COVERED, SEALED, OVERLAPPED, BACKED OR BUTT-JOINTED TO PREVENT GAPS GREATER THAN 2mm (PART 3.6).

EXCEPT FOR EXCLUSIONS IN PROVIDED IN CLAUSE 3.6, VENTS & WHPHOLES IN EXTERNAL WALLS SHALL BE SCREENED 111TH MESH (2mm MAX. APERTURE) OF CORROSION-RESISTANT STEEL, BRONZE OR ALUMINIUM.

WINDOW ASSEMBLIES (INCL. FRAMING, GLAZING & SCREENING) TO CONFORM 111TH PART 5.5.3 REQUIREMENTS.

OPENABLE PORTIONS OF WINDOWS SHALL BE SCREENED INTERNALLY OR EXTERNALLY 111TH MESH OR PERFORATED SHEET (2mm MAX. APERTURE) OF CORROSION-RESISTANT STEEL, BRONZE OR ALUMINIUM IN A METAL (OR PERMITTED TIMBER SPECIES) FRAME (PART 5.5.2).

EXTERNAL DOORS SHALL BE NON-COMBUSTIBLE OR MADE OF BUSHFIRE-RESISTING TIMBER OR GRADE A SAFETY GLASS 4mm (MIN.) THICKNESS (EXTERNAL FACE ONLY IF DOUBLE-GLAZED) IN METAL (OR PERMITTED TIMBER SPECIES) FRAME. DOORS SHALL BE TIGHT-FITTING TO THE DOOR FRAME (& TO AN ABUTTING DOOR, IF APPLICABLE). SLIDING DOORS SHALL BE IN A METAL FRAME & GLAZING WITHIN DOOR SHALL BE IN A METAL FRAME, & ANY GLAZING INCORPORATED IN SLIDING DOORS SHALL BE GRADE A SAFETY GLASS 4mm (MIN.) THICKNESS. SLIDING PANELS SHALL BE TIGHT FITTING IN THE FRAMES.

ROOF/WALL & ROOF/ROOF JUNCTIONS SHALL BE SEALED OR OTHERWISE PROTECTED IN ACCORDANCE 111TH CLAUSE 3.6. ROOF VENTILATION OPENINGS, SUCH AS GABLE & ROOF VENTS, SHALL BE FITTED 111TH EMBER GUARDS MADE OF NON-COMBUSTIBLE MATERIAL OR A MESH OR PERFORATED SHEET 111TH A MAX. 2mm APERTURE MADE OF CORROSION-RESISTANT STEEL, BRONZE OR ALUMINIUM.

VERANDAH ROOF SHALL BE IN ACCORDANCE 111TH PART 5.6.4, & ALL ROOF PENETRATIONS IN ACC. 111TH 5.6.5. EAVES LININGS, FASCIAS & GABLES SHALL BE IN ACCORDANCE 111TH PART 5.6.6.

IF INSTALLED, GUTTER & VALLEY LEAF GUARDS SHALL BE NON-COMBUSTIBLE.

VERANDAH, DECKS, STEPS & LANDINGS SHALL COMPLY 111TH PART 5.7.

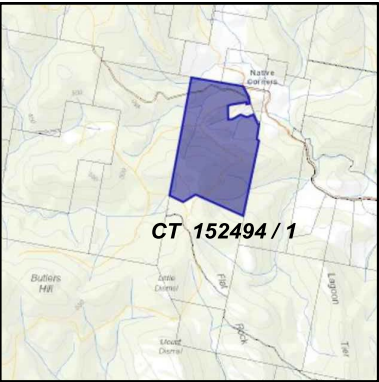
ABOVE-GROUND, EXPOSED WATER SUPPLY PIPES SHALL BE METAL (PART 5.8).

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7/5/2025

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LOCALITY PLAN

NOT TO SCALE

SITE CLASSIFICATION

(11ND CLASSIFICATION IN ACCORDANCE 111TH AS4055-20D6 11ND LOADS FOR HOUSING)

REGION	A
TERRAIN CATEGORY	TC2
11ND CLASSIFICATION	N3
CLIMATE ZONE	7
BAL	12.5
SOIL CLASSIFICATION	M
CORROSION ENVIRONMENT	LOW (NCC/BCA PART 3.5.1)

AREAS

DWELLING	177 m²
DECK AREA	52 m²
ROOFED AREA	345 m²
STUDIO	44.5 m²
TOTAL	389.5 m²
SITE AREA	113.5 ha
SITE COVERAGE	< 0.03%

DRAWING INDEX

- 1 of 16. COVER SHEET
- 2 of 16. SITE PLAN
- 3 of 16. HOUSE SITE PLAN
- 4 of 16. STUDIO CONTAINER SITE PLAN
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- 9 of 16. FLOOR FRAMING PLAN (DWELLING)
- 10 of 16. LINTELS & BRACING PLAN (DWELLING)
- 11 of 16. ROOF PLAN (DWELLING)
- 12 of 16. REFLECTED CEILING PLAN (DWELLING)
- 13 of 16. GLAZING SCHEDULE (DWELLING)
- 14 of 16. REFLECTED CEILING PLAN & GLAZING SCHEDULE (STUDIO)
- 15 of 16. SECTION A-A (STUDIO)
- 16 of 16. BRACING & TIE-DOWN NOTES

Building name/description

1185 Native Corners Road, Campania (new dwelling)

1185 Native Corners Road, Campania (new dwelling)

Class 1

Number of rows preferred in table below

10

(as currently displayed)

ID	Description	Type of space	Floor area of the space	Design Lamp or Illumination Power Load	Location	Adjustment Factor				SATISFIES PART 3.12.5.5		
						Adjustment Factors	Dimming % Area	Dimming % of Full Power	Design Lumen Depreciation Factor	Lamp or Illumination Power Density	System Share of % of Aggregate Allowance Used	System Design
1	Entry	Corridor	5.4 m²	9 W	Class 1 building					5.0 W/m²	1.7 W/m²	16% of 20%
2	Kitchen/Dining/Living	Living room	57.7 m²	72W	Class 1 building					5.0 W/m²	1.2 W/m²	11% of 20%
3	Pantry	Kitchen	6.7 m²	9W	Class 1 building					5.0 W/m²	1.3 W/m²	12% of 20%
4	Bedroom 1	Bedroom	18.2 m²	9W	Class 1 building					5.0 W/m²	0.5 W/m²	5% of 20%
5	Walk-in-robe	Bedroom	12.1 m²	9W	Class 1 building					5.0 W/m²	0.7 W/m²	7% of 20%
6	Study	Living room	10.5 m²	9W	Class 1 building					5.0 W/m²	0.9 W/m²	9% of 20%
7	Bedroom 2	Bedroom	14.2 m²	9W	Class 1 building					5.0 W/m²	0.6 W/m²	6% of 20%
8	Bedroom 3	Bedroom	10.3m²	9W	Class 1 building					5.0 W/m²	0.9 W/m²	9% of 20%
9	Hallway	Corridor	6.8 m²	9W	Class 1 building					5.0 W/m²	1.3 W/m²	12% of 20%
10	Laundry	Laundry	6.6 m²	9W	Class 1 building					5.0 W/m²	1.4 W/m²	13% of 20%

148.5 m²

153W

Class 1 building

5.0 W/m²

1.0 W/m²

if inputs are valid

✓

As Constructed Studioat 1185 Native Corne

rs Rd., Campania

for McRoss & Sasaki

1

HED Consulting

Hobart Engineering & Design

Ground Floor, The Sandstone Building 1 Liverpool St. Hobart TASMANIA 7000

Lie. No. 647043421 (03) 6146 0334

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PROPOSED NEW DWELLING & AS CONSTRUCTED STUDIO at 1185 NATIVE CORNERS RD. CAMPANIA for McROSS & SASAKI

Date :	23/12/2022	Job No. :	H2368
Scale :	Shown at A3	Sheet :	1 of 16
Drawn :	MB	Issue :	CLC

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Services

The heated water system must be designed & installed to Part B2 of NCC Volume 3 - Plumbing Code of Australia, & NCC/BCA. Volume 1 Part 3.12.5 requirements.

- Thermal insulation for heated water piping must:
- a) be protected against the effects of weather and sunlight; and
 - b) be able to withstand the temperatures within the piping; and
 - c) use thermal insulation in accord. with AS/NZS 4859.1

Heated water piping that is not within a conditioned space must be thermally insulated as follows:

1. Internal piping

- a) All flow and return internal piping that is -
 - i) within an unventilated wall space
 - ii) within an internal floor between storeys; or
 - iii) between ceiling insulation and a ceiling

Must have a minimum R-value of 0.4

2. Piping located within a ventilated wall space, an enclosed building subfloor or a roof space

- a) All flow and return piping
 - b) Cold water supply piping and relief valve piping - within 500m of the connection to central water heating system
- Must have a minimum R-value of 0.9

3. Piping located outside the building or in an unenclosed building sub-floor or roof space

- a) All flow and return piping
 - b) Cold water supply piping and relief valve piping - within 500m of the connection to central water heating system
- Must have a minimum R-value of 1.3

Piping within an insulated timber framed wall such as that passing through a wall stud, is considered to comply with the above insulation requirements.

Plumbing to AS3500 Parts 1-4 inclusive, and to the local authorities requirements.

All work shall be carried out by a licensed plumber and all necessary inspections carried out by council officers or other authorised persons.

Pipe layouts are diagrammatic only. Contractor to finalise locations and installation details 'on site'.

Hot & cold water reticulation to be copper type b. 20Ø generally with 15Ø to single fixtures.

Provide tray to hot water cylinder (HWC) and 50Ø overflow to be directed to external area.

Sanitary plumbing to be uPVC generally.

Sewerage and stormwater to on site disposal facilities. Plumber to verify connection details & locations.

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1 House Site Plan
scale: 1:500



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CAMPANIA
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HED Consulting
Hobart Engineering & Design
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1 Studio Container Site Plan
scale: 1:500

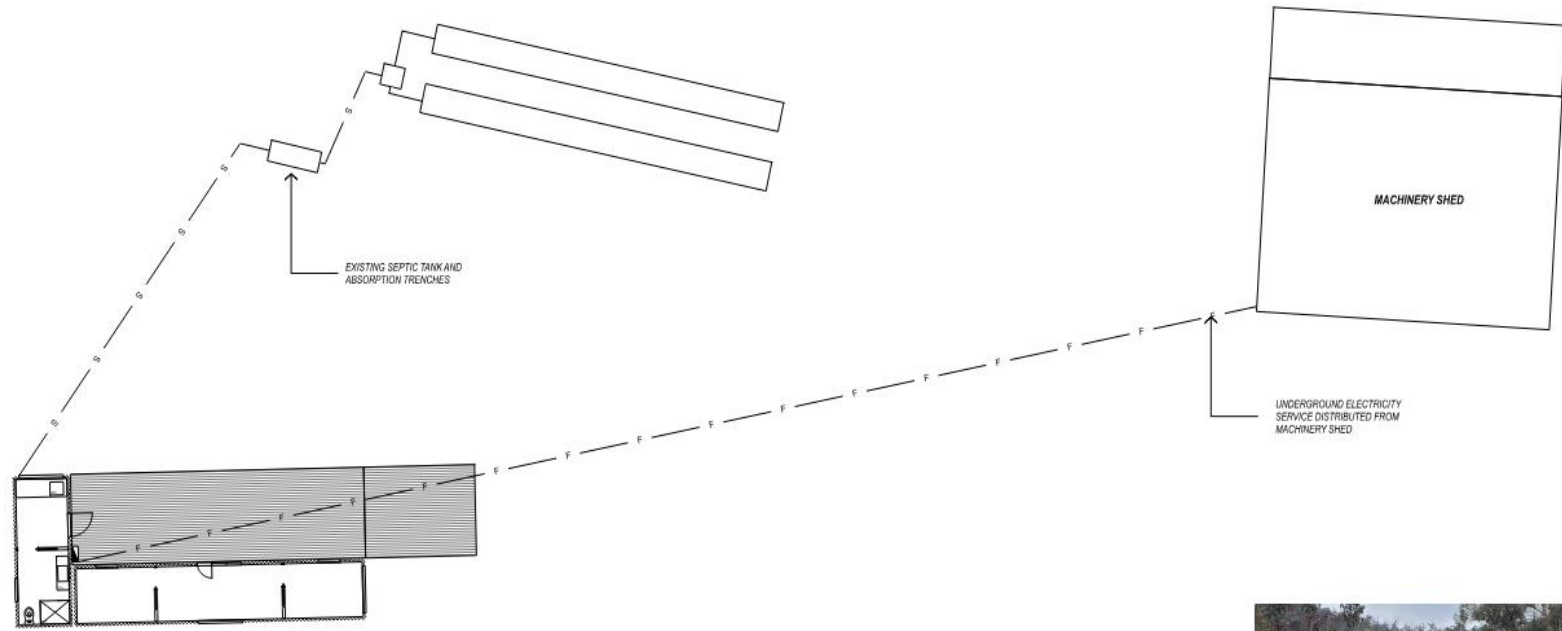


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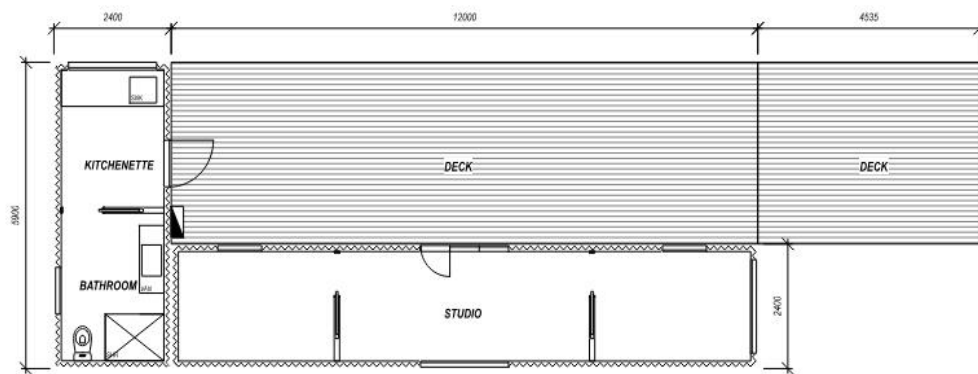
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CAMPANIA
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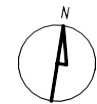
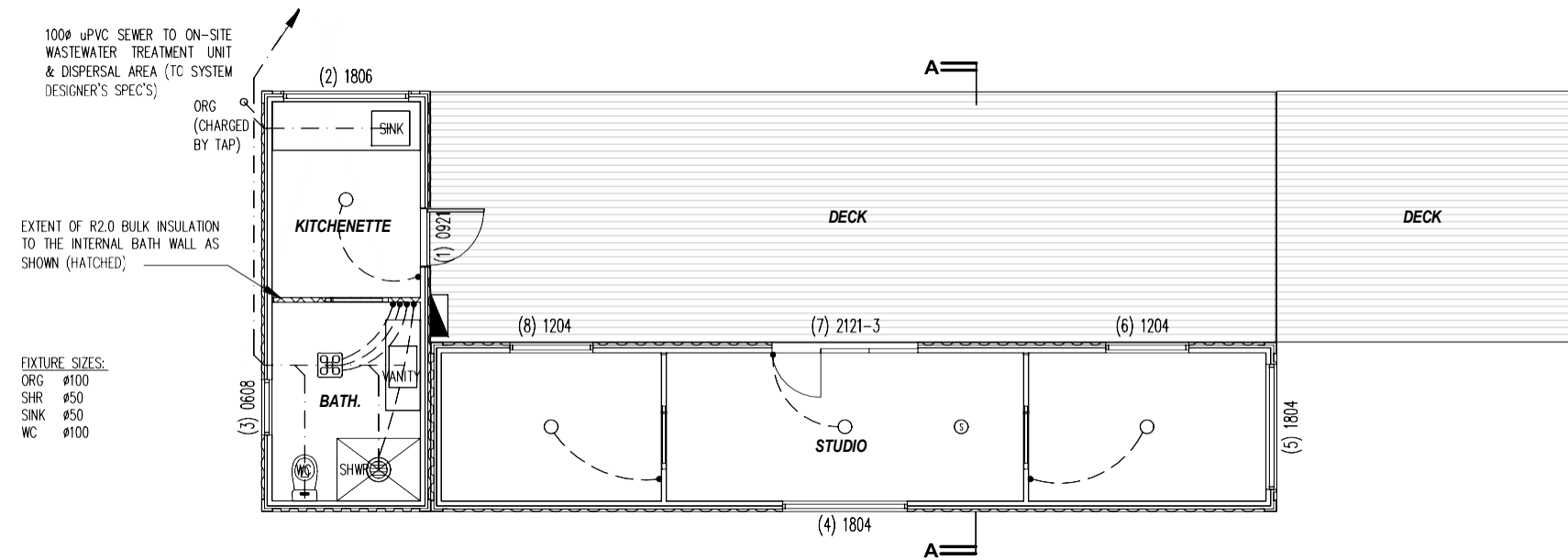


1 CONTAINER SITE PLAN
scale: 1:200

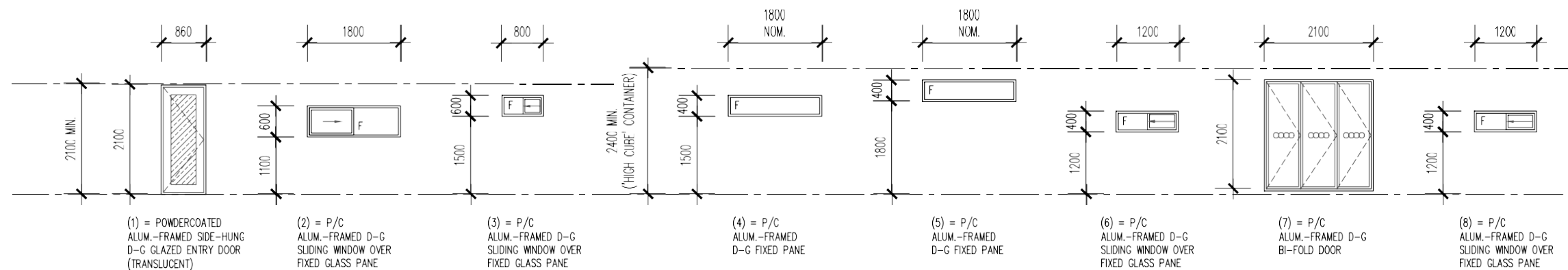


2 CONTAINER STUDIO + AMENITY BLOCK
scale: 1:100

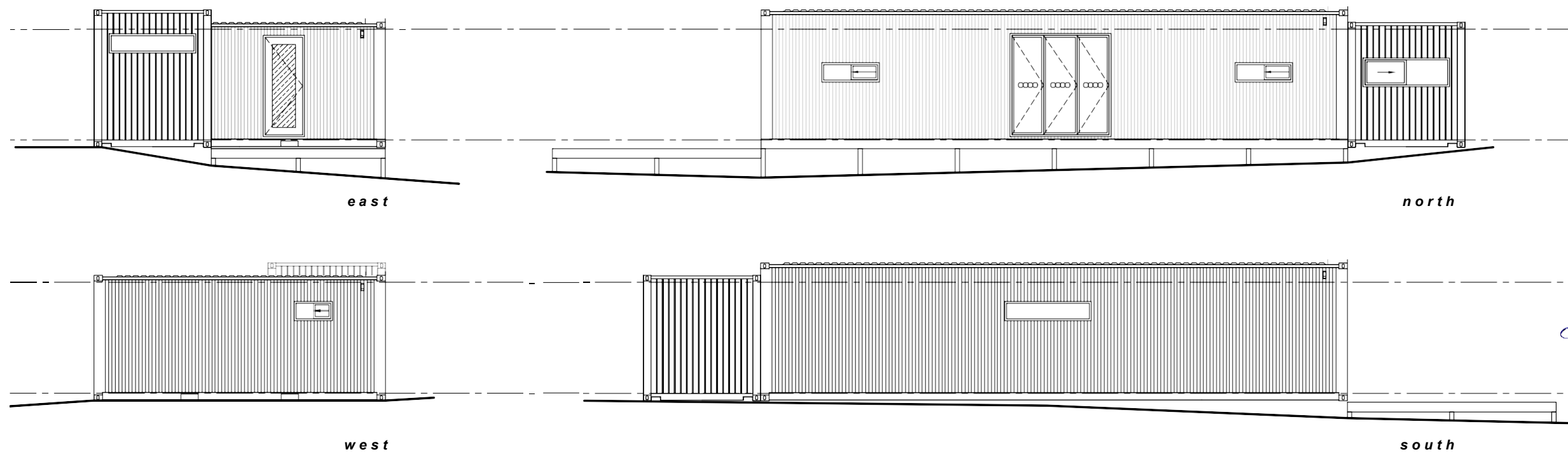




REFLECTED CEILING PLAN (STUDIO)
SCALE 1 : 100



GLAZING SCHEDULE (STUDIO)
SCALE 1 : 100



ELEVATIONS (STUDIO)
SCALE 1 : 100

KEY:

- IC-RATED RECESSED SEALED LED DOWNLIGHT WITH 90mm CEILING PENETRATION (WEATHERPROOFED EXTERNALLY)
- CEILING-MOUNTED SMOKE ALARM (HARDWIRED WITH BATTERY BACKUP) TO AS 3786 & BCA PART 3.7.2 (MULTIPLE ALARMS TO BE INTERCONNECTED)
- CEILING-MOUNTED EXHAUST FAN
- *TASTIC 2 OR 4 GLOBE HEAT LAMP / LIGHT
- METER BOX

NATURAL LIGHT & VENTILATION :

NATURAL LIGHT IN COMPLIANCE WITH NCC/BCA, PART 3.8.4 :
10.2m² (GLAZING) / 44.5m² (FLOOR AREA) = .22; 22% PROVIDED (MIN. 10% REQUIRED)
VENTILATION IN COMPLIANCE WITH NCC/BCA, PART 3.8.5 :
7.5m² OPENABLE GLAZING / 44.5m² (FLOOR AREA) = .16; 16% PROVIDED (MIN. 5% REQ'D)

BAL-12.5 NOTE:
ALL WORK TO COMPLY WITH AS 3959:2018 REQUIREMENTS FOR BAL-12.5

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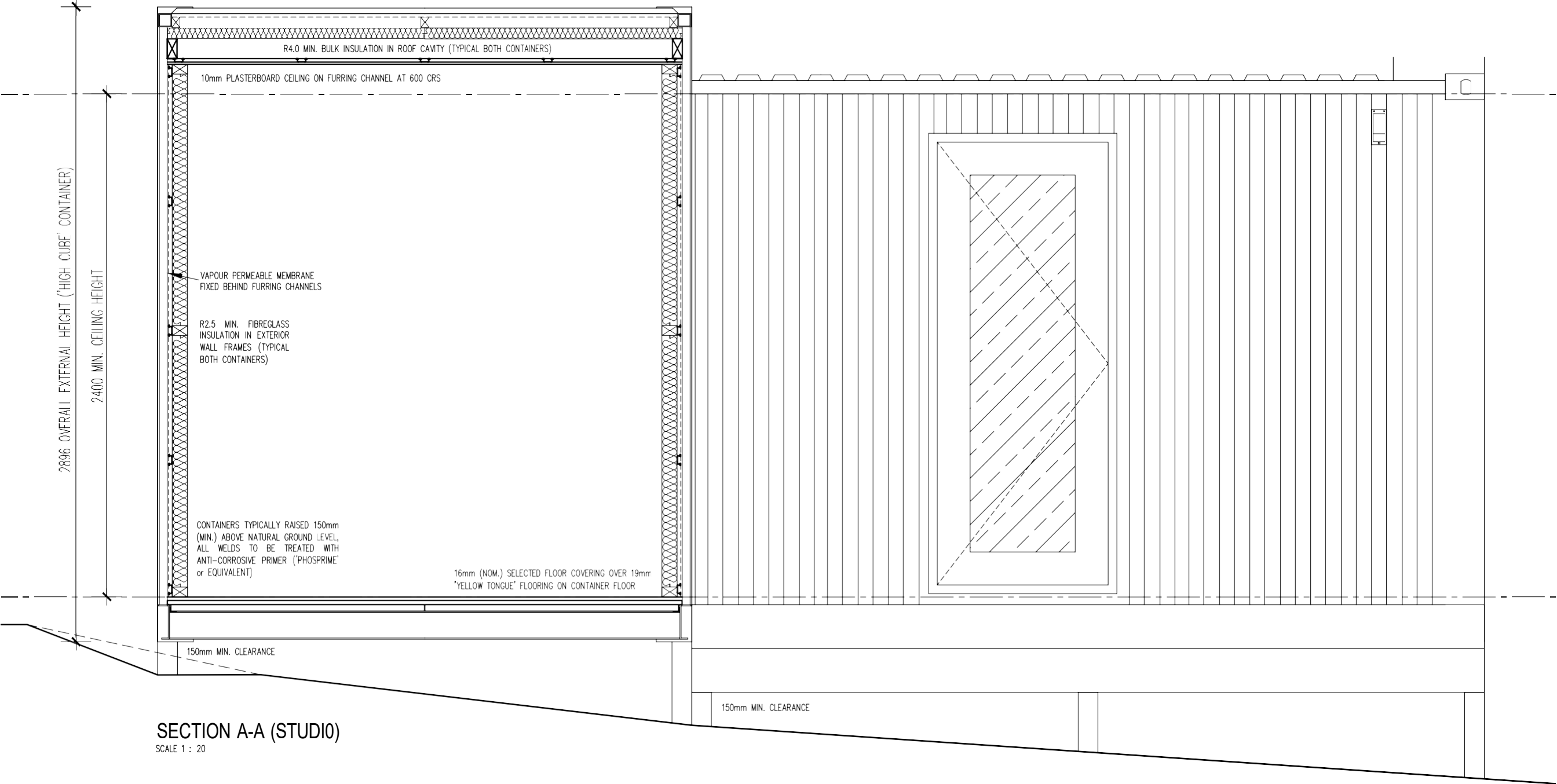
PROPOSED NEW DWELLING & AS CONSTRUCTED STUDIO at 1185 NATIVE CORNERS RD. CAMPANIA for McROSS & SASAKI

Date :	23/12/2022	Job No. :	H2368
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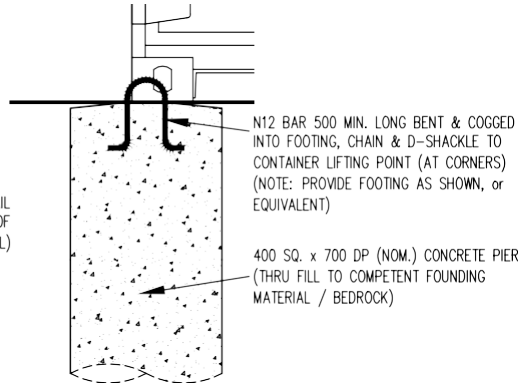
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CONTAINER DIMENSIONS :
40' EXTERNAL DIMENSIONS = 12.192m LONG x 2.896m HIGH
20' EXTERNAL DIMENSIONS = 6.096m LONG x 2.896m HIGH



SECTION A-A (STUDIO)
SCALE 1 : 20



CONTAINER FOOTING DETAIL
SCALE 1 : 20

Andrew Wall

INSULATION NOTE:
ENERGY EFFICIENCY PROVISIONS TO BE IN ACC. WITH
NCC/BCA, PART 3.12 & ENERGY ASSESSOR'S REPORT
INSULATION AS SPECIFIED TYPICAL BOTH CONTAINERS

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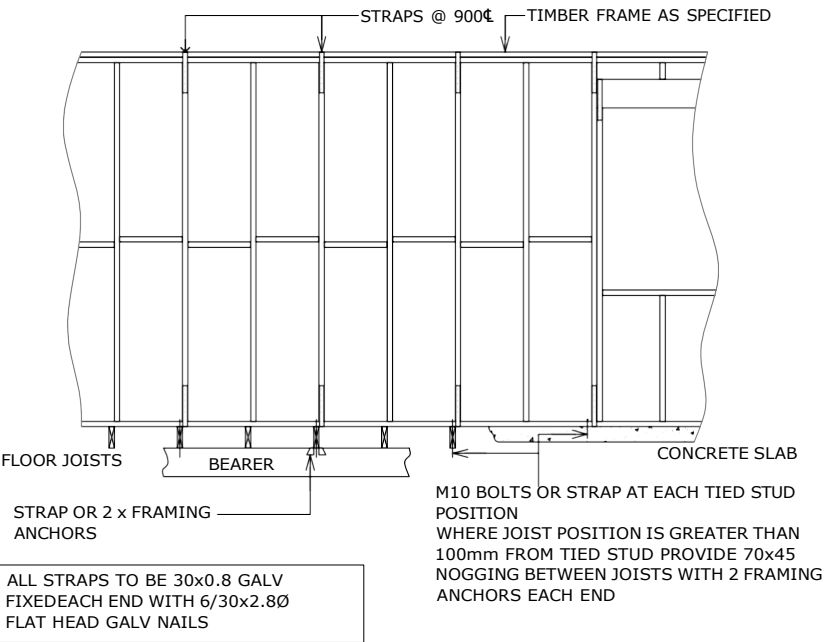
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The Sandstone Building phone (03) 6146 0334
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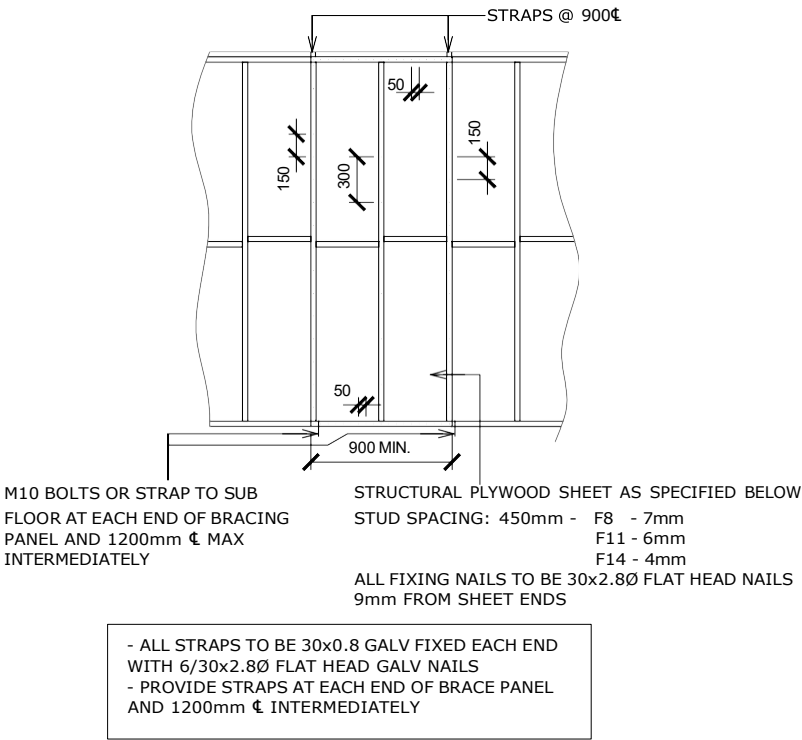
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Drawn :	MB	Issue :	CLC

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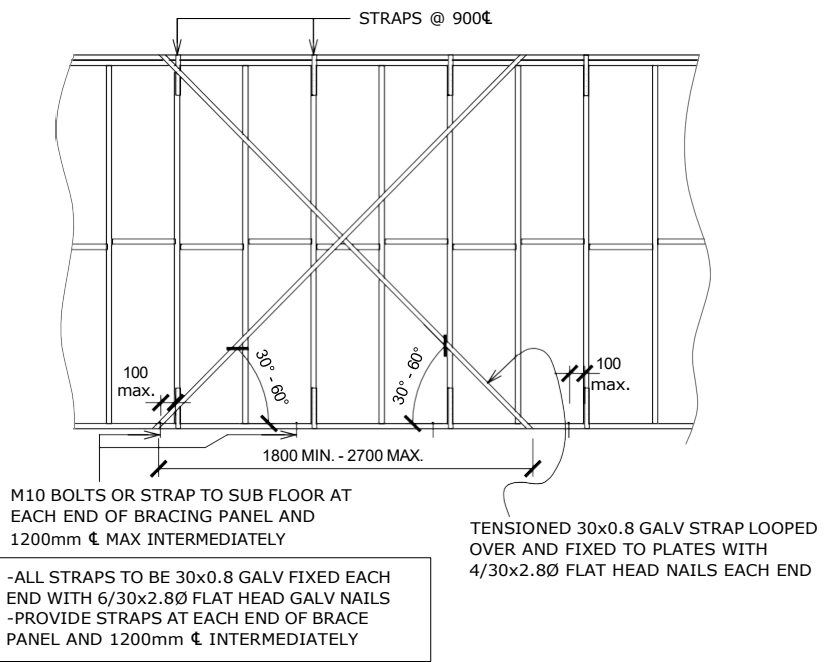
WALL TIE-DOWN



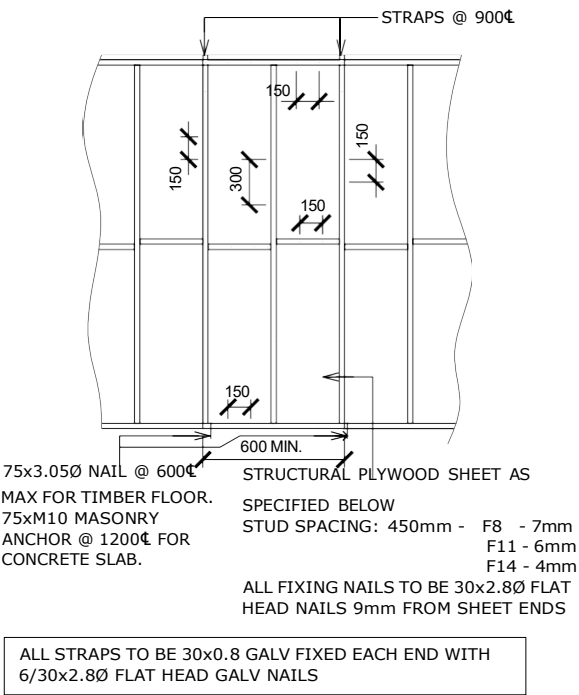
BRACE TYPE (h) METHOD B
(6.0kN/m)



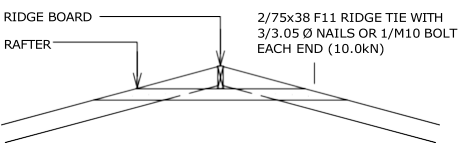
BRACE TYPE (d) (3.0kN/m)



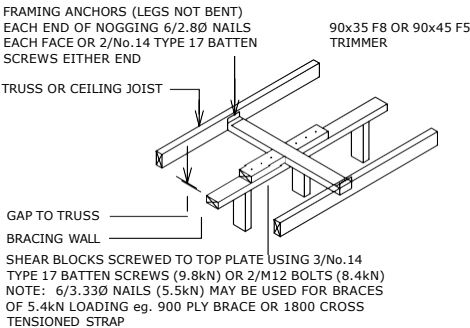
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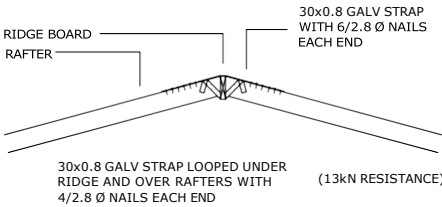
RAFTERS TO RIDGE BOARD
& HIP RAFTERS



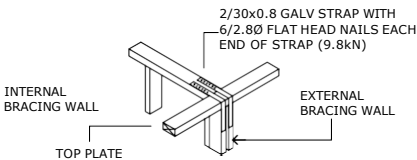
BRACING WALL TO TRUSS



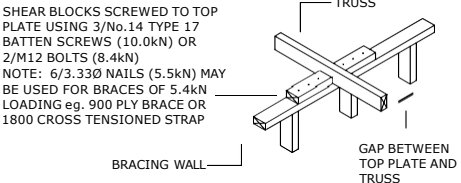
RAFTERS TO RIDGE BOARD
& HIP RAFTERS



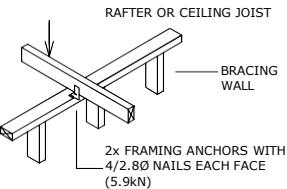
INTERNAL BRACING WALL
EXTERNAL WALL



BRACING WALL TO TRUSS



BRACING WALL TO RAFTER
OR CEILING JOIST



Handwritten signature



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AS CONSTRUCTED STUDIO
at 1185 NATIVE CORNERS RD.
CAMPANIA
for McROSS & SASAKI**

Date : 23/12/2022

Job No. : H2368

Scale : Shown at A3

Sheet : 16 of 16

Drawn : MB

Issue : CLC

Timber framing

All timber framing & tie downs to comply with AS1684.2 (Residential timber-framed construction).
MGP10 pine unless noted otherwise.

External walls

90x35mm timber studs at 450mm crs;
2/90x35mm timber top plates;
90x45mm timber bottom plates.

Internal walls

90x35mm timber studs at 450mm crs;
2/90x35mm timber top plates;
90x35mm timber bottom plates.

Wall ties, fixing straps, and tie down systems shall comply with AS1684.2

MASONRY NOTE:

PROVIDE VERTICAL ARTICULATION JOINTS IN ACCORDANCE WITH NCC/BCA VOL 2 PART 3.3.5.13 & AS 4773 REQUIREMENTS

ROOF FRAMING NOTE:

ROOF TRUSSES (INCLUDING BRACING) TO BE PROPRIETARY FACTORY-MADE PRODUCT IN ACCORDANCE WITH NCC/BCA, PART 3.4 & MANUFACTURER'S SPECIFICATIONS (TRUSSES AT 900mm NOM. CRS)

N3 TIE DOWN DETAILS All fixing to comply with AS1684.2 Section 9	
MEMBER	FIXING REQUIREMENT
BOTTOM PLATE TO SLAB	1 X 75mm masonry nail @ 1200crs + 1M10 masonry anchor 120Lg @ 1200crs
BEARERS TO STEEL/TIMBER POSTS	2M12 bolts through bearer to post (halved timber post)
JOISTS TO BEARER / PLATE	2 No. 14 type 17 screws
TOP/BOTTOM PLATE TO STUDS	2/75mm nails through plate or skewed through stud to plate. + 30 X 0.8mm G. I. strap, with 3/Ø2.8mm flat head connector nails each end, looped around plate @ 1200crs and openings.
BEAMS/LINTELS TO TOP PLATE	30 X 0.8mm G. I. strap, with 3/Ø2.8mm flat head connector nails each end of beam and min 1800crs.
RAFTERS TO TOP PLATE	30 X 0.8mm G. I. strap, with 4/30xØ2.8mm flat head connector nails each end of strap. + 2/75mm skewed nails.
ROOF PURLINS TO RAFTERS	No. 14 type 17 batten screws 100mm long

NAIL DIAMETER unless specified otherwise		
NAIL TYP	HARDWOOD FRAMING	SOFTWOOD FRAMING
Machine Driven	3.05mm	3.33mm
Hand Driven	3.15mm	3.75mm

SEARCH OF TORRENS TITLE

VOLUME 152494	FOLIO 1
EDITION 8	DATE OF ISSUE 31-May-2021

SEARCH DATE : 23-Jun-2021

SEARCH TIME : 12.30 PM

DESCRIPTION OF LAND

Parish of YARLINGTON Land District of MONMOUTH
Lot 1 on Sealed Plan 152494
Derivation : Part of Lot 1094 488a 0r 33ps Gtd to James John
Butler
Prior CT 101732/1

SCHEDULE 1

E260994 TRANSFER to JUSTIN ROBERT MCROSS and CHIEKO SASAKI
Registered 31-May-2021 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
SP152494 EASEMENTS in Schedule of Easements
SP152494 FENCING COVENANT in Schedule of Easements
SP152494 WATER SUPPLY RESTRICTION
SP152494 SEWERAGE AND/OR DRAINAGE RESTRICTION
E34270 BURDENING WAYLEAVE EASEMENT with the benefit of a
restriction as to user of land in favour of Tasmanian
Networks Pty Ltd over the land marked Wayleave
Easement 12.00 wide on Sealed Plan 152494
Registered 22-Nov-2016 at noon
E260995 MORTGAGE to National Australia Bank Limited
Registered 31-May-2021 at 12.01 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

OWNER ROBIN JOHN GREEN FOLIO REFERENCE C.T.101732/1 & C.T.101732/2 GRANTEE PART OF LOT 1094 (488A-OR- ²³ 34Ps) GTD TO JAMES JOHN BUTLER AND WHOLE OF LOT 1275 (64A-2R-34Ps) GTD TO STEVEN COMMONS.	PLAN OF SURVEY BY SURVEYOR ANDREW STEPHEN BIRCH ROGERSON & BIRCH SURVEYORS UNIT 1B 120 CAMBRIDGE ROAD ROSNY PARK PH 6244-6256 FAX 6244-6221 MOB. 0418-120-796 LOCATION LAND DISTRICT OF MONMOUTH PARISH OF YARLINGTON SCALE 1:10000 LENGTHS IN METRES	REGISTERED NUMBER SP152494 APPROVED EFFECTIVE FROM 23 OCT 2007 <i>Alice Kawa</i> Recorder of Titles
MAPSHEET MUNICIPAL CODE No. 125 (5228)	LAST UPI No. 1202551 2802877	LAST PLAN No. D.101732
ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN		

WAYLEAVE EASEMENT
12.00 WIDE
(CREATED BY E34270)

(D.32879)
(D.30967)

(P.11999)
(P.11879)

1406.06

RIGHT OF WAY (PRIVATE) 20.00 WIDE

(D.13506)
(105/52 DO)

(D.30966)

873.07

NATIVE CORNERS ROAD

(106/62 DO)
(D.26230)
(SP.15745)

573.33

21.52

905.64

(D.21702)

114°37'40"
616.02

191°33'40"
194.73

142.22

443.00

191°33'10"
34.199

645.75

10°31'40"
780.33

4.18.43

(PRIVATE) RIGHT OF WAY "A"

10°34'00"
54.62

60°27'00"
177.95

SEE ENLARGEMENT

(D.101732)
(P.136 LO)

113.5ha
NOT INCLUDING HATCHED
PORTIONS OR
RESERVED ROADS

RESERVED ROAD
10.06 WIDE

100.5ha
NOT INCLUDING
RESERVED ROAD

(106/76 DO)

10°31'40"
780.33

10.06

(PRIVATE) RIGHT OF WAY "A"

LOT 1 IS COMPILED FROM C.T.101732/1 & THIS SURVEY
 LOT 2 IS COMPILED FROM C.T.101732/2 & THIS SURVEY

N

ENLARGEMENT
SCALE 1:5000

1
113.53ha
(PRIVATE) RIGHT OF WAY "B"

108°13'
3.44

112°33'20"
102.29

123°35'20"
68.87

60°27'00"
177.95

(PRIVATE) RIGHT OF WAY "A"

RESERVED ROAD
10.06 WIDE

2
100.46ha

[Signature]
 COUNCIL DELEGATE

19-9-07
 DATE

SCHEDULE OF EASEMENTS

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

<p>SCHEDULE OF EASEMENTS</p> <p>NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.</p>	<p>Registered Number</p> <p>SP 152494</p>
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PAGE 1 OF 2 PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

(appurtenant to Lot 2)

1. Lot 1 is subject to a Right of Carriageway over the RIGHT OF WAY (PRIVATE) 6.00m wide shown passing through Lot 1 of the Plan.
2. Lot 2 is together with a Right of Carriageway over the Right of Way marked 'Right of Way (Private) 6.00m Wide' shown passing through Lot 1 of the Plan.
3. Lot 1 is together with a Benefiting Easement: Right of Carriageway over Right of Way 20.00 wide through Lot 1 on diagram No. 26230. (Conveyance 57/6048).
4. Lot 1 is subject to a Burdening Easement: Right to pass and repass (appurtenant to Lot 27150 being portion of the land in Folio of the Register 3137/72) over Right of Way 20.00 wide through Lot 1 on Diagram No. 101732. (Grant 53/9241) and shown on the plan (Private)
5. Lot 1 is subject to a Burdening Easement: Right to pass and repass (appurtenant to the lands comprised in Conveyance 50/8853 and Folios of the Register 3028/70, 3582/77, and 3628/70 and 2467/98) over Rights of Way 20.00 wide and through Lot 1 on Diagram No. 101732. (Grant 53/9256) (Private) and shown passing through such lot
6. Lot 1 is subject to a Burdening Easement: Right to pass and repass (appurtenant to Lots 24327 & 10507 portions of the land in Folio of the Register 3137/72) over Right of Way (Private) 20.00 wide through Lot 1 on Diagram No 101732. (Grant 53/9892) shown passing through such lot
7. Lot 2 is subject to a Burdening Easement: Right to pass and repass (appurtenant to the lands comprised in Conveyance 50/8853, and Folios of Register 3028/70, 3582/77, & 3628/70 and 2467/98) over Rights of Way A & B on Diagram 101732. (Grant 58/7690) shown passing through such lot (Private)
8. Lot 2 is together with a Benefiting Easement: Right of Carriageway over Right of Way 20.00 wide on Diagram 26230 (Conveyance 57/6048).

(USE ANNEXURE PAGES FOR CONTINUATION)

<p>SUBDIVIDER: ROBIN JOHN GREEN</p> <p>FOLIO REF: 101732/1 & 2</p> <p>SOLICITOR & REFERENCE: BUTLER McINTYRE & BUTLER</p> <p>PER: SIMON WILDING</p>	<p>PLAN SEALED BY: Southern midlands</p> <p>DATE: 19-9-22</p> <p>513713 REF NO.</p> <p>Council Delegate</p>
<p>NOTE: The Council Delegate must sign the Certificate for the purposes of identification.</p>	

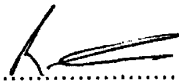
ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 2 PAGES	Registered Number SP 152494
SUBDIVIDER: FOLIO REFERENCE:	

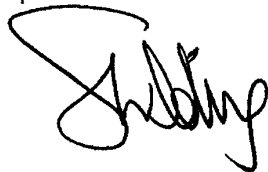
9. Lot 2 is subject to a Burdening Easement: Right to pass and repass (appurtenant to the land comprised in Conveyance 50/8853 and Folios of the Register ~~3028/70~~, 3582/77, & 3628/70 and ~~2407/98~~) over the Right of Way, A through Lot 2 on Diagram No. 101732 (Grant ~~53/9256~~) and 2467/98 (Private) shown passing through such lot

Fencing Covenant

The owner of each lot on the plan covenants with the Vendor, Robin John Green, that the Vendor shall not be required to fence.

Executed by Robin John Green the
registered proprietor of Certificate of
Title Volume 101732 Folios 1 & 2
in the presence of:


.....



SIMON WILDING
LEGAL PRACTITIONER
BUTLER MCINTYRE & BUTLER
20 MURRAY ST, HOBART
Tel: (03) 6222 9444

Lot 1 on the plan is subject to a right to pass and repass (appurtenant to the lands comprised in Conveyance 50/8853 and Folios of the Register ~~3028/70~~, 3582/77, and 3628/70 and ~~2407/98~~) over the Right of Way (Private) 'B' shown passing through such lot 2467/98

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.