



Public Notice Details

Planning Application Details

Application No	DA2500051
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Property Details

Property Location	4 Jethro Street Bagdad
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Application Information

Application Type	Discretionary Development Application
Development Category	New Dwelling
Advertising Commencement Date	17/4/25
Advertising Closing Period	7/5/25
<small>If the Council Offices are closed during normal office hours within the above period, the period for making representations is extended.</small>	

Enquiries regarding this Application can be made via to Southern Midlands Council on (03) 6254 5050 or by emailing planningenquires@southernmidlands.tas.gov.au. Please quote the development application number when making your enquiry.

Representations on this application may be made to the General Manager in writing either by

Post: PO Box 21, Oatlands Tas 7120
Email: mail@southernmidlands.tas.gov.au
Fax: 03 6254 5014

All representations must include the authors full name, contact number and postal address and be received by the advertising closing date.



APPLICATION FOR PLANNING PERMIT

DEVELOPMENT / USE

Use this form to apply for a permit in accordance with section 57 and 58 of the *Land Use Planning and Approvals Act 1993*

Proposed
use/development:
(Provide details of
proposed works and use).

New residential dwelling

Location of
Development:
(If the development
includes more than one
site, or is over another
property include address
of both Properties).

4 Jethro Street, Bagdad TAS 7030

Certificate of Title/s
Volume Number/Lot
Number:

187502/6

Land Owners Name:

A&P Macleod Super Pty Ltd

Full Name/s or Full Business/Company Name

Applicant's Name:

Dom Rieper - Cunic Homes

Full Name/s or Full Business/ Company Name (ABN if registered business or company name)

Contact details:

Postal address for correspondence: C/- 209 Elizabeth Street, Hobart TAS 7000*Telephone or Mobile:* 03 6231 8181*Email address:* dom@cunic.com.au, parindi@cunic.com.au*(Please note it is your responsibility to provide your correct email address and to check your email for communications from the Council.)*

Details

Tax Invoice for
application fees to be
in the name of:
(if different from
applicant)

*Full Name/s or Full Business or Company Name and ABN if registered business or company name**Print email address**ABN*

What is the estimated value of all the new work proposed

\$ 255,000



For Commercial Planning Permit Applications Only

Signage:

Is any signage proposed?

Yes

No

If yes, attach details: size, location and art work

Business Details:

Existing hours of operation

Hours	am	to	pm
Weekdays			
Sat			
Sun			

Proposed hours of new operation

Hours	am	to	pm
Weekdays			
Sat			
Sun			

Number of existing employees:

Number of proposed new employees:

Traffic Movements:

Number of commercial vehicles serving the site at present

Approximate number of commercial vehicles servicing the site in the future

Number of Car Parking Spaces:

How many car spaces are currently provided

How many new car spaces are proposed

Please tick ✓ answer

Is the development to be staged:

Yes

☐

No

☐

Please attach any additional information that may be required by Part 6.1 *Application Requirements* of the Tasmanian Planning Scheme – Southern Midlands.

Signed Declaration

I/we as owner of the land or person with consent of the owner hereby declare that:

1. I/we have read the Certificate of Title and Schedule of Easements for the land and I/we are satisfied that this application is not prevented by any restrictions, easements or covenants.
2. I/we provide permission by or on behalf of the applicant for Council officers to enter the site to assess the application.
3. The information given in this application is true and accurate. I/we understand that the information and materials provided with this application may be made available to the public. I/we understand that the Council may make such copies of the information and materials as, in its opinion, are necessary to facilitate a thorough consideration of the application.
4. I/we have secured the necessary permission from the copyright owner to communicate and reproduce the plans submitted with the application for assessment. I/we indemnify the Southern Midlands Council for any claim or action taken against it regarding a breach of copyright in respect of any of the information or material provided.
5. I/we declare that, in accordance with Section 52(1) of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their consent is attached and the application form signed by the Minister of the Crown responsible and/or the General Manager of the Council.

Applicant Signature
(If not the Title Owner)

Applicant Name (please print)

Dom Rieper

Date

4/04/2025

Land Owner(s) Signature

Land Owners Name (please print)

Date

PROPOSED NEW RESIDENCE

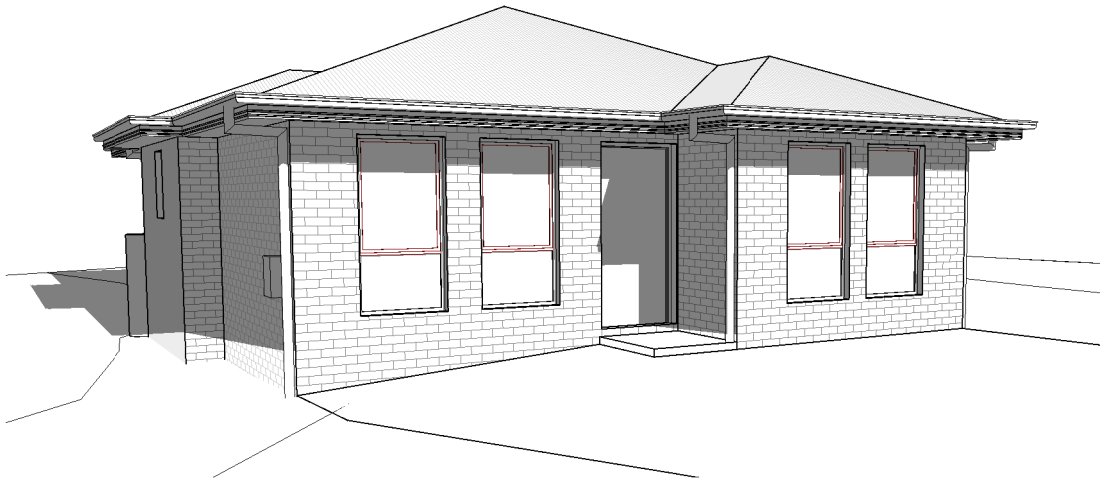
4 JETHRO STREET

BAGDAD

P. CINGEL & L.HOLBROOK
PD25090

H868

PLANNING



BUILDING DRAWINGS

<u>No</u>	<u>DRAWING</u>
01	SITE PLAN
02	SITE DRAINAGE PLAN
03	CUT/FILL VOLUME
04	LOCALITY PLAN
05	FLOOR PLAN
06	DOOR AND WINDOW SCHEDULES
07	ELEVATIONS
08	ELEVATIONS
09	ROOF PLAN
10	FLOOR FINISHES PLAN
11	ELECTRICAL/REFLECTED CEILING PLAN
12	PERSPECTIVES

GENERAL PROJECT INFORMATION

TITLE REFERENCE: 6/187502
SITE AREA: 682 m2
DESIGN WIND SPEED: TBC
SOIL CLASSIFICATION: TBC
CLIMATE ZONE: 7
ALPINE AREA: NO
CORROSIVE ENVIRONMENT: N/A
BAL RATING: TBC
OTHER KNOWN HAZARDS: NONE KNOWN

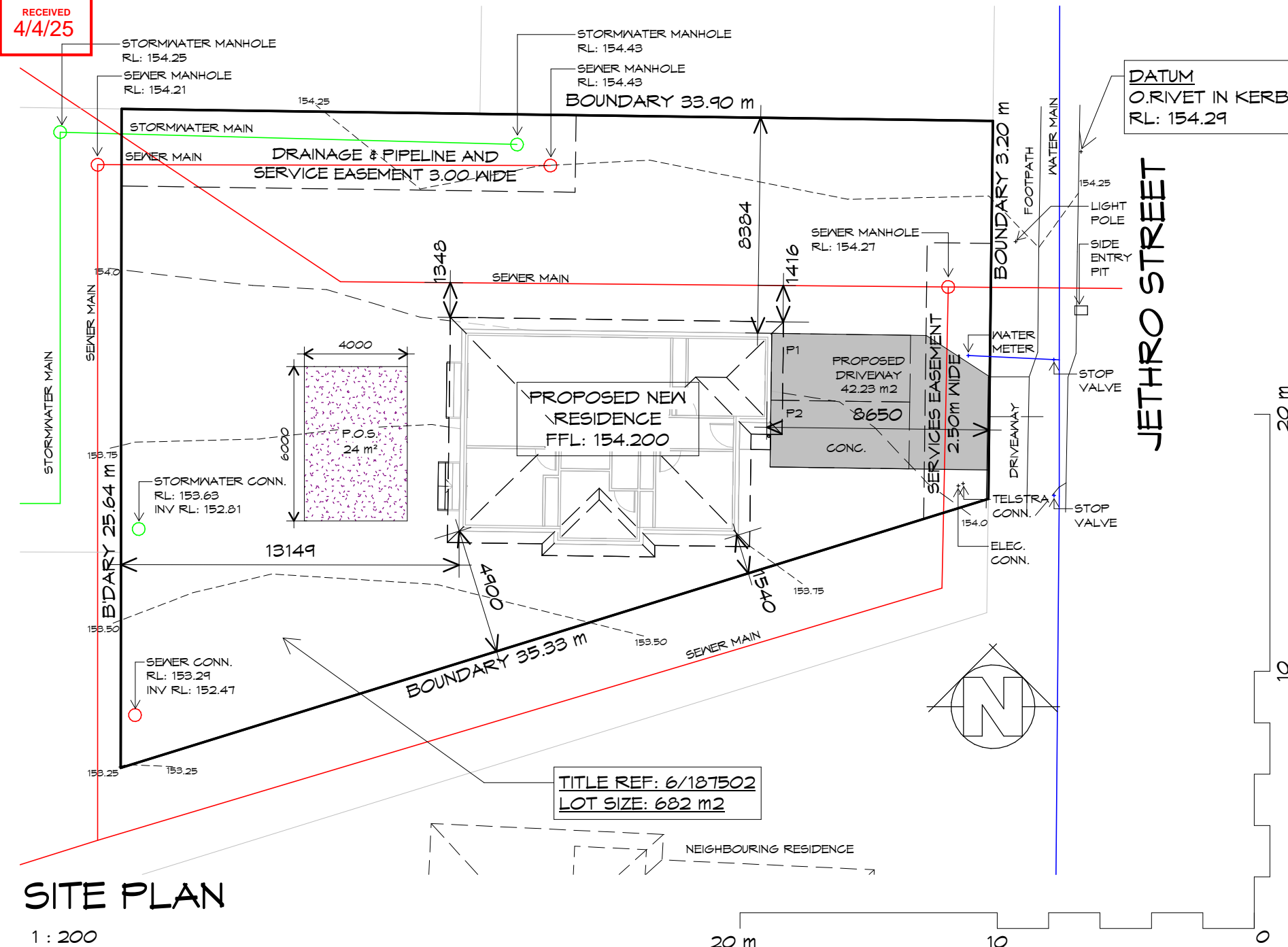
FLOOR AREA 91.10 m2 (9.81 SQUARES)



10 Goodman Court , Invermay Launceston 7248
p(l) +03 6332 3790
Shop 9, 105-111 Main Road, Moonah Hobart 7009
p(h)+03 6228 4575
info@ primedesignntas.com.au primedesignntas.com.au
Accredited Building Practitioner: Frank Geskus -No CC246A

APRIL 2025

SMC - KEMPTON
RECEIVED
4/4/25



SITE PLAN

1 : 200

CONTOUR INTERVAL: 0.25m
BEARING DATUM: MGA
VERTICAL DATUM: AHD

SEWER AND WATER SERVICES

- ALL WORKS IN ACCORDANCE WITH WATER SUPPLY CODE OF AUSTRALIA AND TASWATER SUPPLEMENTS
- WORKS TO BE DONE BY TASWATER AT DEVELOPERS COST

SETBACKS

REFER TO DIMENSIONS AND ELEVATIONS FOR FURTHER
DETAILS.

GARAGE IS LOCATED WITHIN 12m OF THE PRIMARY FRONTAGE. OPENING WIDTH IS XX.Xm

SITE COVERAGE

BUILDING FOOTPRINT 91.10 m² /SITE AREA 682 m² = 0.13
TOTAL SITE COVERAGE 13%

PRIVATE OPEN SPACE

24m² MINIMUM,
WITH A MINIMUM DIMENSION OF 4m
GRADIENT NO STEEPER THAN 1:10

DRIVEWAY GRADIENT

MAXIMUM GRADIENT 1:4 (25%)
TO AS 2890

CAR PARKING GRADIENT

PARALLEL TO PARKING ANGLE 1:20 (5%)
CROSSFALL 1:16 (6.25%)



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info@primedesigntas.com.au primedesigntas.com.au

GENERAL NOTES

- CHECK & VERIFY ALL DIMENSIONS & LEVELS ON SITE
- WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED
- ALL WORK TO BE STRICTLY IN ACCORDANCE WITH NCC 2022, ALL S.A.A.. CODES & LOCAL AUTHORITY BY-LAWS
- ALL DIMENSIONS INDICATED ARE FRAME TO FRAME AND DO NOT ALLOW FOR WALL LININGS
- CONFIRM ALL FLOOR AREAS
- ALL PLUMBING WORKS TO BE STRICTLY IN ACCORDANCE WITH A.S. 3500, NCC 2022 & APPROVED BY COUNCIL INSPECTOR
- BUILDER/PLUMBER TO ENSURE ADEQUATE FALL TO SITE CONNECTION POINTS IN ACCORDANCE WITH A.S. 3500 FOR STORMWATER AND SEWER BEFORE CONSTRUCTION COMMENCES
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ENGINEER'S STRUCTURAL DRAWINGS
- ALL WINDOWS AND GLAZING TO COMPLY WITH A.S. 1288 & A.S. 2047
- ALL SET OUT OF BUILDINGS & STRUCTURES TO BE CARRIED OUT BY A REGISTERED LAND SURVEYOR AND CHECKED PRIOR TO CONSTRUCTION
- IF CONSTRUCTION OF THE DESIGN IN THIS SET OF DRAWINGS DIFFER FROM THE DESIGN AND DETAIL IN THESE AND ANY ASSOCIATED DOCUMENTS BUILDER AND OWNER ARE TO NOTIFY DESIGNER
- BUILDER'S RESPONSIBILITY TO COMPLY WITH ALL PLANNING CONDITIONS
- BUILDER TO HAVE STAMPED BUILDING APPROVAL DRAWINGS AND PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION
- DRAWINGS ARE REQUIRED TO BE VIEWED OR PRINTED IN COLOUR.

SURVEYOR NOTER - DATE: 28/02/2025

THIS PLAN AND ASSOCIATED DIGITAL MODEL IS PREPARED FOR CUNIC HOMES FROM A COMBINATION OF FIELD SURVEY AND EXISTING RECORDS FOR THE PURPOSE OF DESIGNING NEW CONSTRUCTIONS ON THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.

THE TITLE BOUNDARIES AS SHOWN ON THIS PLAN WERE NOT MARKED AT THE TIME OF THE SURVEY AND HAVE BEEN DETERMINED BY PLAN DIMENSIONS ONLY AND NOT BY FIELD SURVEY. NO MEASUREMENTS OR OFFSETS ARE TO BE DERIVED BETWEEN THE FEATURES ON THIS PLAN AND THE BOUNDARY LAYER. THE RELATIONSHIP BETWEEN THE FEATURES IN THIS MODEL AND THE BOUNDARY LAYERS CANNOT BE USED FOR ANY SET OUT PURPOSES OR TO CONFIRM THE POSITION OF THE TITLE BOUNDARIES ON SITE.

SERVICES SHOWN HAVE BEEN LOCATED WHERE VISIBLE BY FIELD SURVEY. SERVICES DENOTED AS BEING "PER DBYD ONLY" ARE APPROXIMATE AND FOR ILLUSTRATIVE PURPOSES ONLY. PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE, THE RELEVANT AUTHORITY SHOULD BE CONTACTED FOR POSSIBLE LOCATION OF FURTHER UNDERGROUND SERVICES AND DETAILED LOCATIONS OF ALL SERVICES.

IF SUBSEQUENT DESIGN IS INTENDED FOR CONSTRUCTION SETOUT, FUTURE SURVEYING SETOUT COSTS ARE INCREASED IF THE DIGITAL DATA PROVIDED IS ROTATED, SCALED OR MOVED.

THIS NOTE FORMS AN INTEGRAL PART OF THE PLAN/DATA. ANY
REPRODUCTION OF THIS PLAN/MODEL WITHOUT THIS NOTE ATTACHED WILL
RENDER THE INFORMATION SHOWN INVALID.

Project:
PROPOSED NEW RESIDENCE
4 JETHRO STREET
BAGDAD

Drawing:
SITE PLAN

Client name:
P. CINGEL & L.HOLBROOK

Date: 02/04/2025 Scale: 1 : 200

Drafted by: L.B.L. Approved by: D.D.H.

Project/Drawing no:	Revision:
PD25090 -01	01

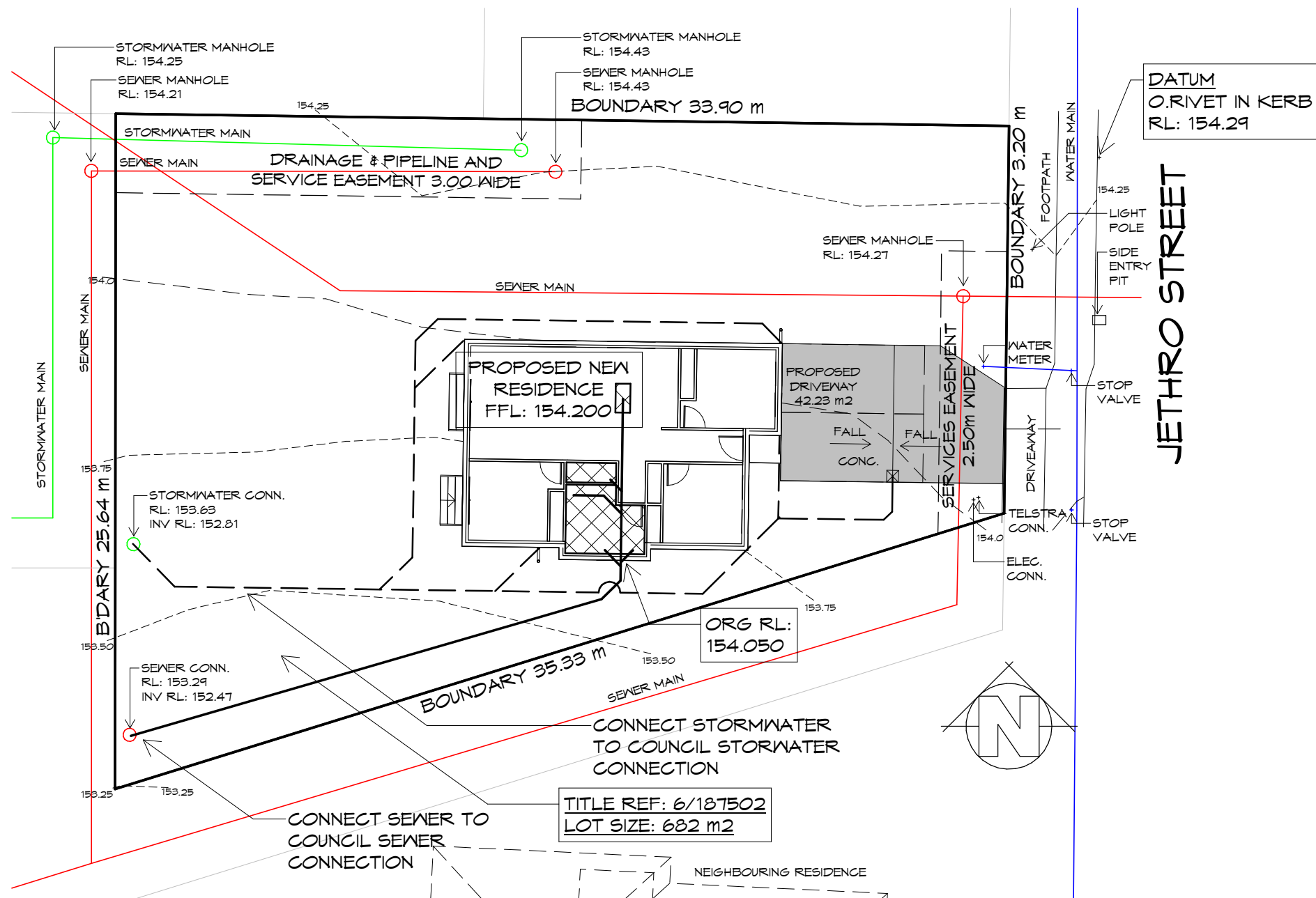
Accredited building practitioner: Frank Gekus -No CC246A



BUILDING DESIGNER
ASSOCIATION OF AUSTRALIA

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



LEGEND

- NET AREAS
- SEWER LINE
- STORMWATER LINE

PLUMBING NOTES:
ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL AUTHORITIES.
ALL WORK IS TO COMPLY WITH THE REQUIREMENTS OF AS 3500.2021 & THE TASMANIAN PLUMBING CODE. AND MUST BE CARRIED OUT BY A LICENCED TRADESMAN ONLY.

SITE DRAINAGE
1 : 200

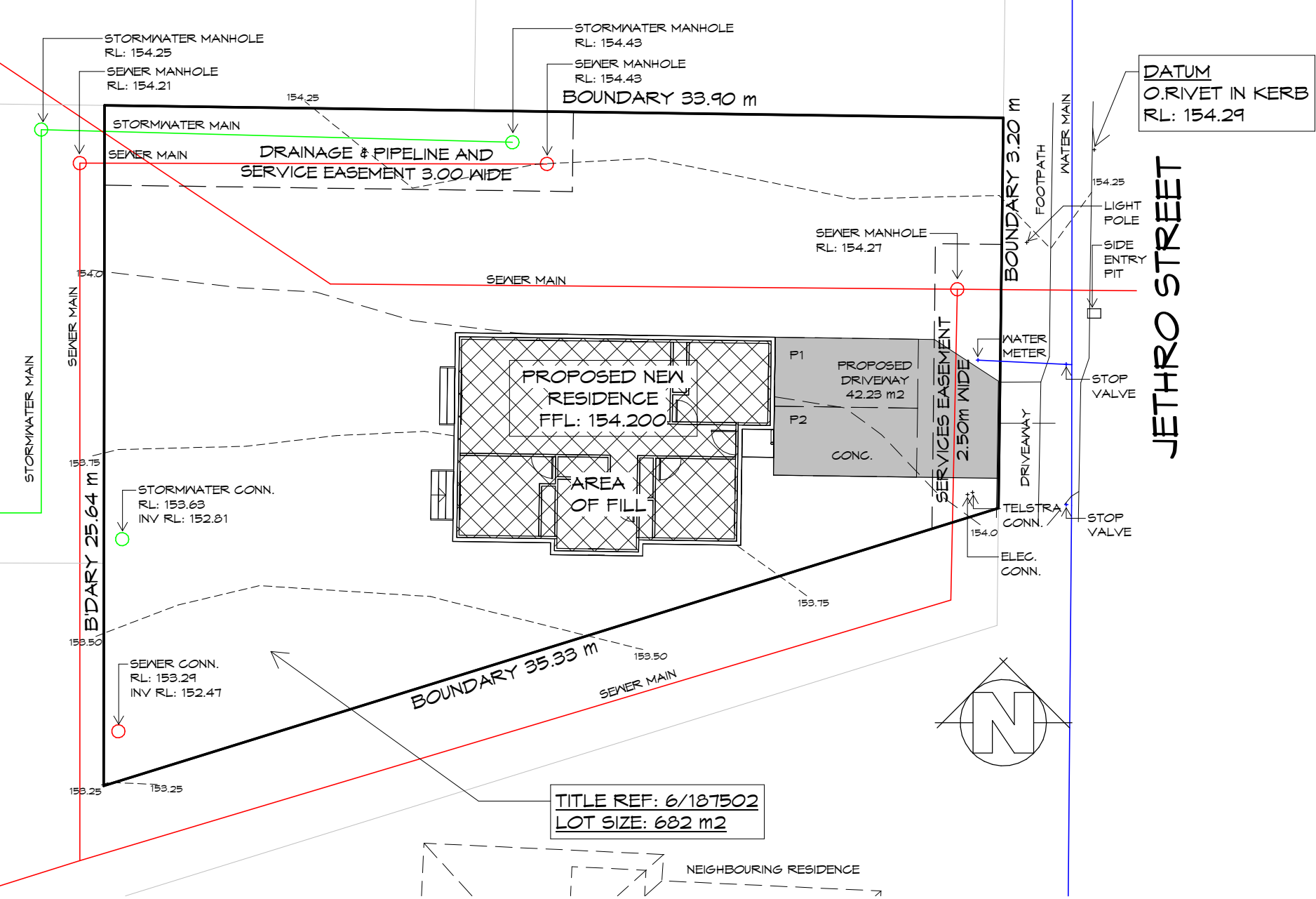


Prime Design
10 Goodman Court, Invermay Tasmania 7248,
p(l)+ 03 6332 3790
Shop 9, 105-111 Main Road, Moonah Hobart 7009
p(h)+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au

Project: PROPOSED NEW RESIDENCE 4 JETHRO STREET BAGDAD		Drawing: SITE DRAINAGE PLAN	
Client name: P. CINGEL & L.HOLBROOK		Date: 02/04/2025	Scale: As indicated
Drafted by: L.B.L.	Approved by: D.D.H.	Project/Drawing no: PD25090 -02	Revision: 01
Accredited building practitioner: Frank Geskus -No CC246A			

PLANNING

20 m NOTE: DO NOT SCALE OFF DRAWINGS



CUT/FILL VOLUME			
CUT	m3	FILL	m3
0.63		24.62	

NOTE:
THE CUT & FILL VOLUMES CALCULATED BY REVIT
ARE APPROXIMATE, GENERALLY PROVIDING
RESULTS WITH +/- 1% TO 2% ACCURACY

CUT/FILL VOLUME
1 : 200

PLANNING

20 m NOTE: DO NOT SCALE OFF DRAWINGS

10

0



10 Goodman Court, Invermay Tasmania 7248,
p(l)+ 03 6332 3790
Shop 9, 105-111 Main Road, Moonah Hobart 7009
p(h)+ 03 6228 4575
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Project:
PROPOSED NEW RESIDENCE
4 JETHRO STREET
BAGDAD

Client name:
P. CINGEL & L.HOLBROOK

Drafted by:
L.B.L.

Approved by:
D.D.H.



Drawing:
CUT/FILL VOLUME

Date:
02/04/2025

Scale:
1 : 200

Project/Drawing no:
PD25090 -03

Revision:
01

Accredited building practitioner: Frank Geskus -No CC246A



LOCALITY PLAN

1 : 2000



10 Goodman Court, Invermay Tasmania 7248,
p(l)+ 03 6332 3790
Shop 9, 105-111 Main Road, Moonah Hobart 7009
p(h)+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au

Project:
**PROPOSED NEW RESIDENCE
4 JETHRO STREET
BAGDAD**

Client name:
P. CINGEL & L.HOLBROOK

Drafted by:
L.B.L.

Approved by:
D.D.H.



Drawing:
LOCALITY PLAN

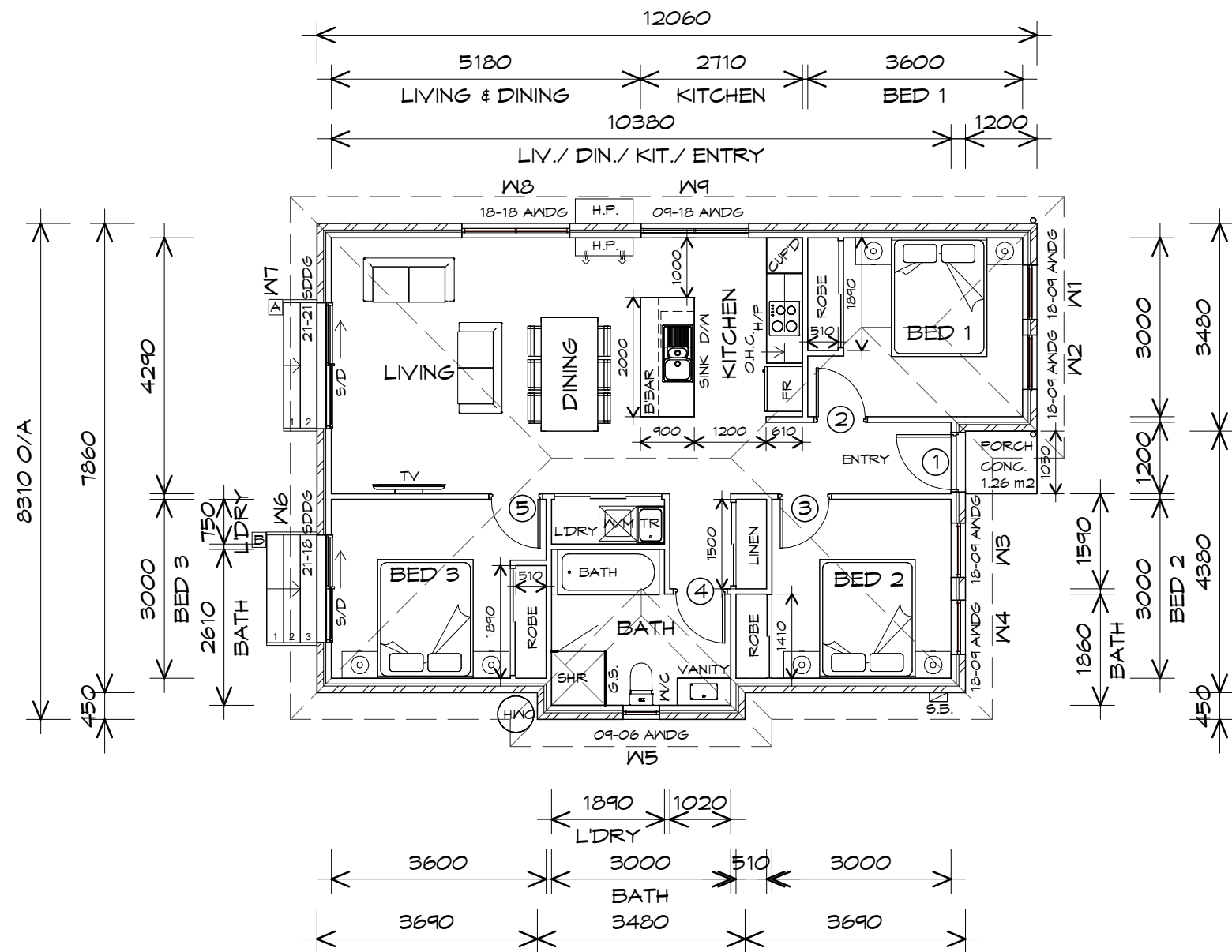
Date: **02/04/2025** Scale: **1 : 2000**

Project/Drawing no: **PD25090 -04** Revision: **01**

Accredited building practitioner: Frank Geskus -No CC246A

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



FLOOR PLAN

1 : 100

FLOOR AREA 91.10 m2 (9.81 SQUARES)

NOTE:
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF
BUILDING AND GARAGE, UNLESS OTHERWISE STATED.
DECKS AND OUTDOOR AREAS ARE CALCULATED
SEPARATELY.



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Project:
PROPOSED NEW RESIDENCE
4 JETHRO STREET
BAGDAD

Client name:
P. CINGEL & L.HOLBROOK

Drafted by:
L.B.L.

Approved by:
D.D.H.



Drawing:
FLOOR PLAN

Date:
02/04/2025

Scale:
1 : 100

Project/Drawing no:
PD25090 -05

Revision:
01

Accredited building practitioner: Frank Geskus -No CC246A

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL SOLID DOOR	
2	820	INTERNAL TIMBER DOOR	
3	820	INTERNAL TIMBER DOOR	
4	820	INTERNAL TIMBER DOOR	
5	820	INTERNAL TIMBER DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	910	AWNING WINDOW	
W2	1800	910	AWNING WINDOW	
W3	1800	910	AWNING WINDOW	
W4	1800	910	AWNING WINDOW	
W5	900	610	AWNING WINDOW	OPAQUE
W6	2100	1800	SLIDING DOOR	
W7	2100	2110	SLIDING DOOR	
W8	1800	1810	AWNING WINDOW	
W9	900	1810	AWNING WINDOW	

ALUMINIUM WINDOWS **DOUBLE GLAZING** COMPLETE WITH FLY SCREENS
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE
PRIOR TO ORDERING



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Project:

PROPOSED NEW RESIDENCE
4 JETHRO STREET
BAGDAD

Client name:

P. CINGEL & L.HOLBROOK

Drafted by:

L.B.L.

Approved by:

D.D.H.



Drawing:

DOOR AND WINDOW
SCHEDULES

Date:

02/04/2025

Scale:

Project/Drawing no:

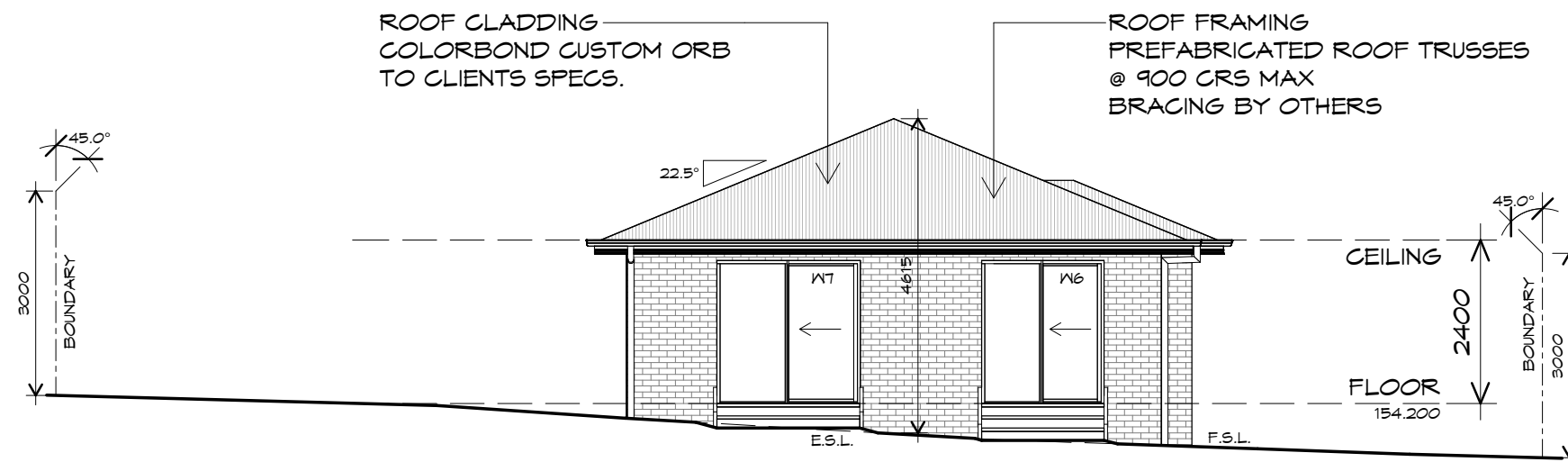
PD25090 -06

Revision:

01

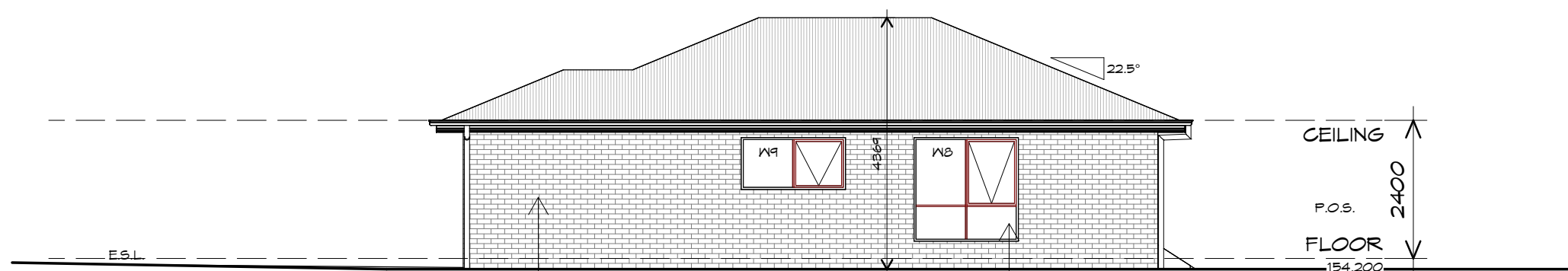
Accredited building practitioner:

Frank Geskus -No CC246A



WESTERN ELEVATION

1 : 100



NORTHERN ELEVATION

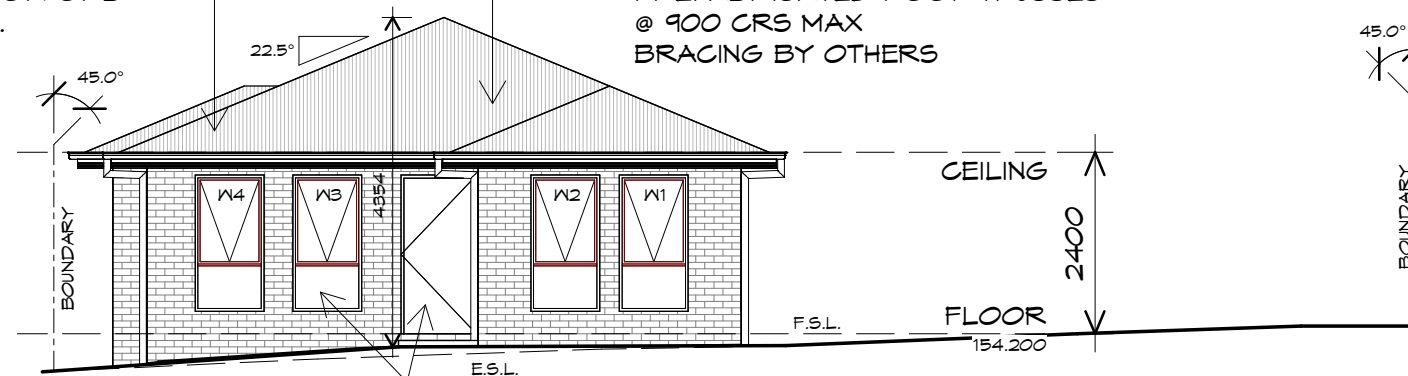
1 : 100

BRICKWORK
SELECTED FIRED CLAY
FACE BRICKS.
RAKED JOINTS, STRETCHER BOND
REFER ENGINEER FOR
ARTICULATION JOINTS
ALL MASONRY TO COMPLY
WITH ABCB HOUSING PROVISIONS PART 5

DOORS AND WINDOWS TO BE
SEALED IN ACCORDANCE WITH
ABCB HOUSING PROVISIONS PART 13.4

ROOF CLADDING
COLORBOND CUSTOM ORB
TO CLIENTS SPECS.

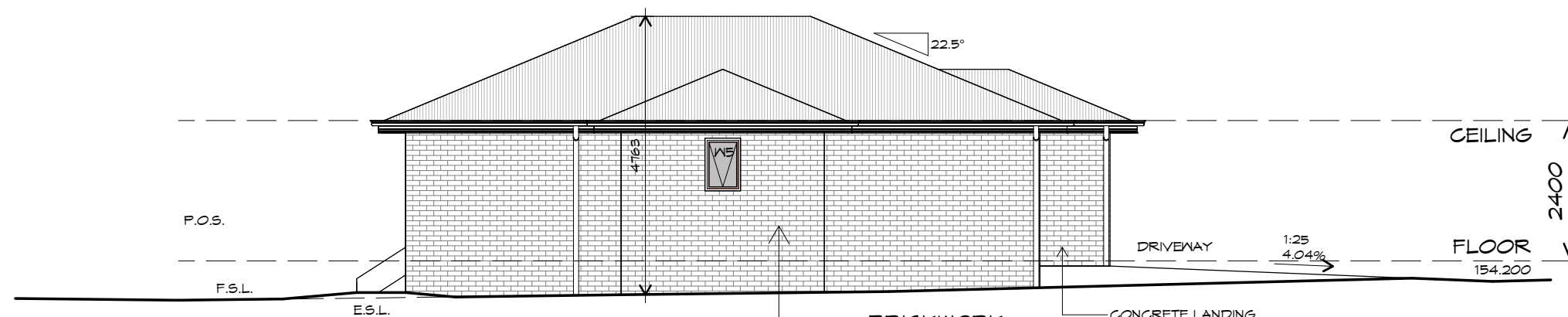
ROOF FRAMING
PREFABRICATED ROOF TRUSSES
@ 900 CRS MAX
BRACING BY OTHERS



DOORS AND WINDOWS TO BE
SEALED IN ACCORDANCE WITH
ABCB HOUSING PROVISIONS PART 13.4

EASTERN ELEVATION

1 : 100



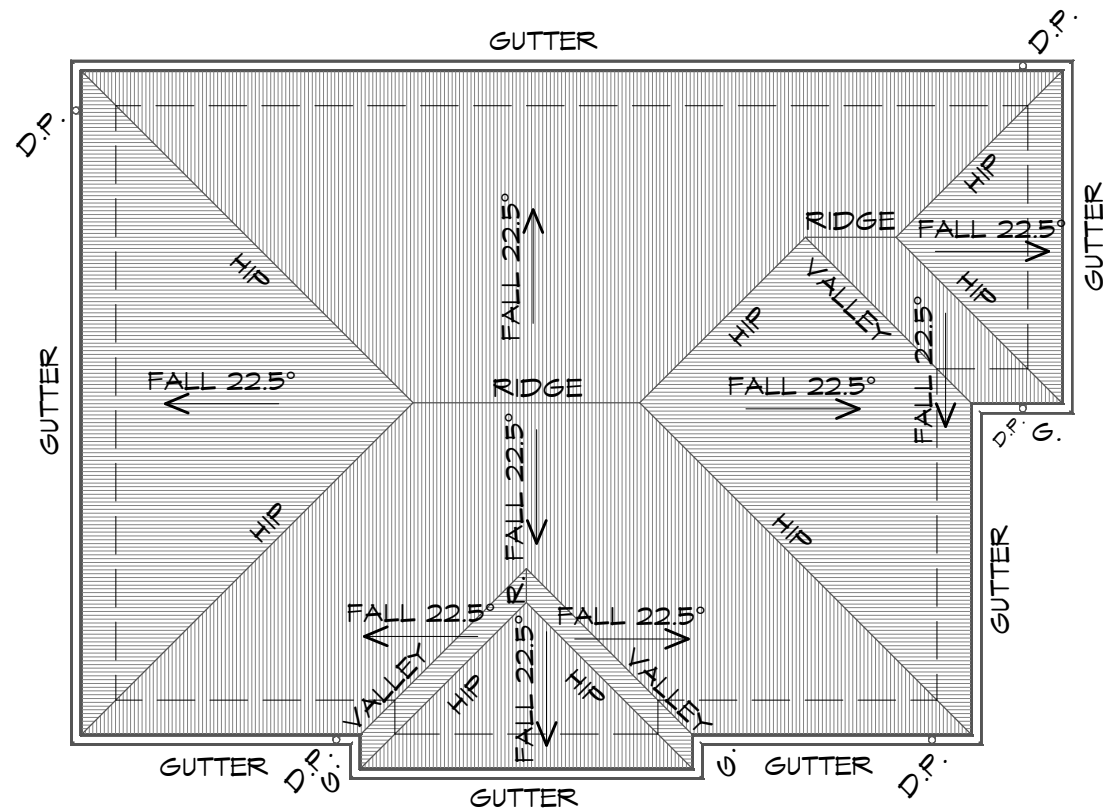
SOUTHERN ELEVATION

1 : 100

BRICKWORK
SELECTED FIRED CLAY
FACE BRICKS.
RAKED JOINTS, STRETCHER BOND
REFER ENGINEER FOR
ARTICULATION JOINTS
ALL MASONRY TO COMPLY
WITH ABCB HOUSING PROVISIONS PART 5

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



ROOF PLAN

1 : 100

ADDITIONAL ROOF LOAD

NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

ROOF PLUMBING NOTES:

GUTTER INSTALLATION

TO BE IN ACCORDANCE WITH
ABCB HOUSING PROVISIONS PART 7.4.4
WITH FALL NO LESS THAN
1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA
EAVES GUTTER TO BE FIXED
@ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:

A) MORE THAN 12.5° DEGREES - MUST
HAVE A WIDTH OF NOT LESS THAN
400mm AND ROOF OVERHANG OF NOT
LESS THAN 150mm EACH SIDE OF VALLEY
GUTTER.

B) LESS THAN 12.5° DEGREES, MUST BE
DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION
OF FLOW, RIVET & SEAL WITH AN
APPROVED SILICONE SEALANT.

DOWNSPIPE POSITIONS SHOWN ON THIS
PLAN ARE NOMINAL ONLY.

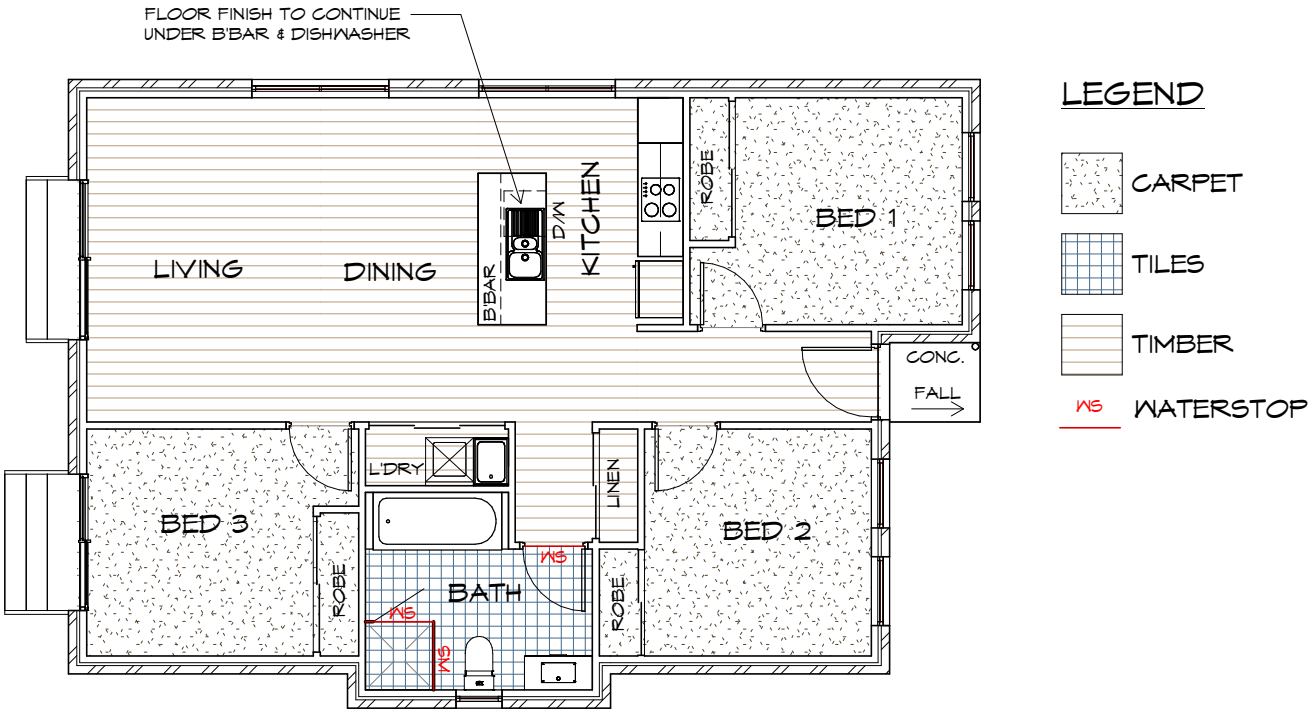
EXACT LOCATION & NUMBER OF D.P.'S
REQUIRED ARE TO BE IN ACCORDANCE
WITH ABCB HOUSING PROVISIONS PART 7.4.5
REQUIREMENTS.

SPACING BETWEEN DOWNSPIPES MUST NOT
BE MORE THAN 12m & LOCATED AS CLOSE AS
POSSIBLE TO VALLEY GUTTERS

METAL ROOF

METAL SHEETING ROOF TO BE INSTALLED IN
ACCORDANCE WITH ABCB HOUSING PROVISIONS PART
7.2. REFER TO TABLE 7.2.2a FOR ACCEPTABLE
CORROSION PROTECTION FOR SHEET ROOFING,
REFER TO TABLE 7.2.2b-7.2.2e FOR ACCEPTABILITY
OF CONTACT BETWEEN DIFFERENT ROOFING
MATERIALS. FOR FIXING, SHEET LAYING SEQUENCE,
FASTENER FREQUENCY FOR TRANSVERSE FLASHINGS
AND CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING
DETAILS REFER TO ABCB HOUSING PROVISIONS PART
7.2.5- 7.2.7. ROOF PENETRATION FLASHING DETAILS.
REFER TO TO ABCB HOUSING PROVISIONS PART
7.2.5- 7.2.7. ROOF SHEETING MUST OVERHANG MIN
35mm AS PER ABCB HOUSING PROVISIONS PART 7.2.8

PLANNING
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FLOOR FINISHES PLAN

1 : 100

IMPORTANT:
PLEASE REFER TO ENERGY ASSESSMENT REPORT FOR FULL DETAILS.
ENERGY ASSESSMENT IS BASED ON FLOOR TYPES AS NOTED IN THE REPORT.

IF AN ALTERNATIVE FLOORING IS CHOSEN OR ANY OTHER ASPECT OF THE BUILDING IS MODIFIED, A NEW ENERGY ASSESSMENT WILL BE REQUIRED.

REFER TO ELECTRICAL PLAN AND REFLECTED CEILING PLAN FOR CEILING PENETRATIONS.



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Project:
PROPOSED NEW RESIDENCE
4 JETHRO STREET
BAGDAD

Client name:
P. CINGEL & L.HOLBROOK

Drafted by:
L.B.L.

Approved by:
D.D.H.



Drawing:
FLOOR FINISHES PLAN

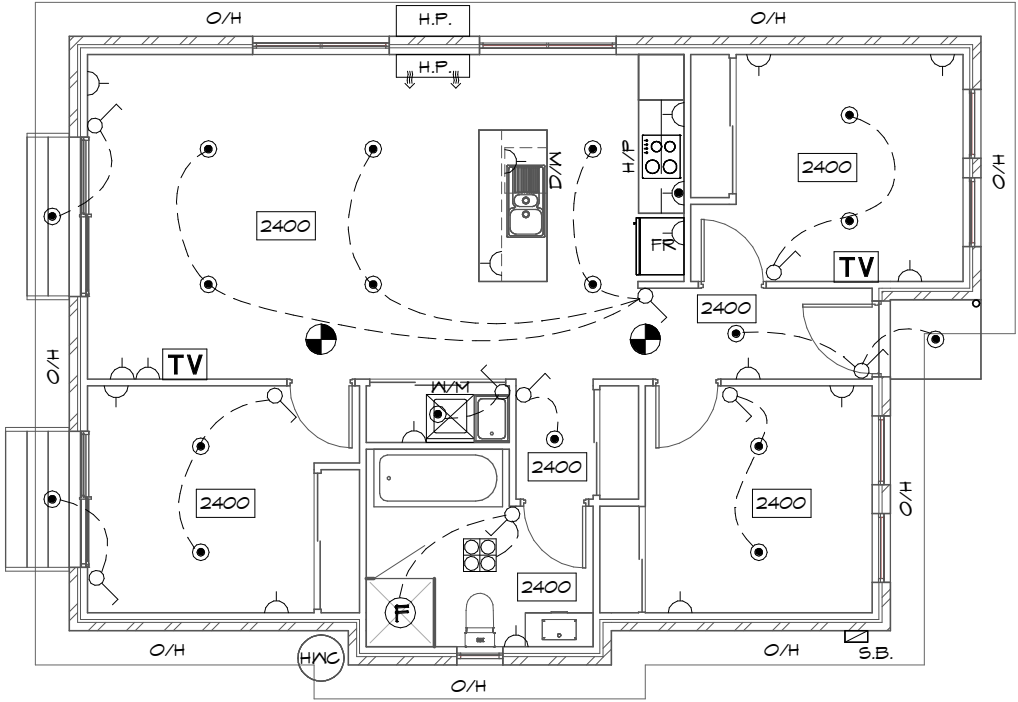
Date:
02/04/2025

Scale:
1 : 100

Project/Drawing no:
PD25090 -10

Revision:
01

Accredited building practitioner: Frank Geskus -No CC246A



ELECTRICAL/REFLECTED CEILING PLAN

1 : 100

ELECTRICAL INDEX

LIGHTING

- Ⓢ WEATHER PROOF CEILING LIGHT
- Ⓢ FOUR LIGHT, 3 IN 1 BATHROOM LIGHT
C/W DAMPER, EXHAUST TO OUTSIDE*
- L.E.D. - SEALED DOWN LIGHT *
- Ⓢ WEATHERPROOF WALL LIGHT

*INSTALL AS PER MANUFACTURERS
SPECIFICATION

OTHER

- Ⓢ 240V SMOKE ALARM
- Ⓢ SWITCH BOX
- Ⓢ EXHAUST FAN, VENT TO
OUTSIDE AIR, PROVIDE
POWER

SWITCH TYPE

- Ⓢ ONE-WAY SWITCH

WALL OUTLETS

- Ⓢ GENERAL PURPOSE OUTLET (DOUBLE)
- Ⓢ HOTPLATE SAFETY CUT-OFF
- Ⓢ T.V. OUTLET

NOTE:
POWER POINT TO BE 300mm AWAY
FROM EDGE OF WATER SOURCE

CEILING

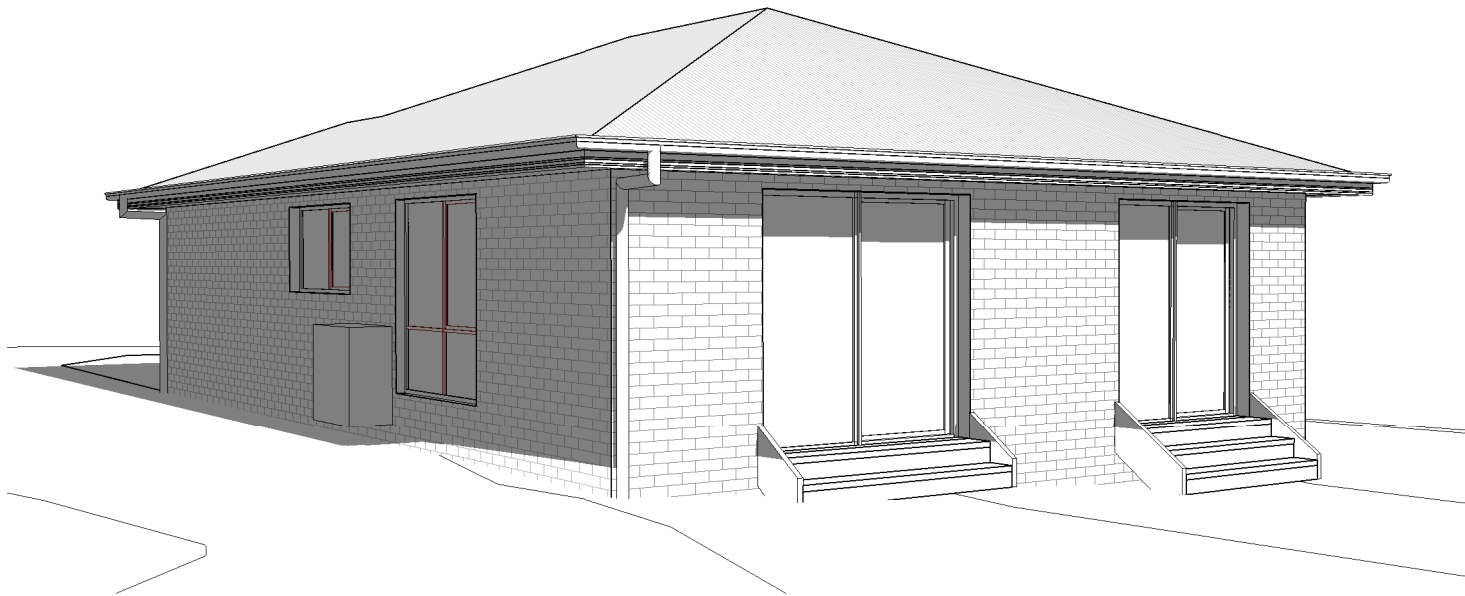
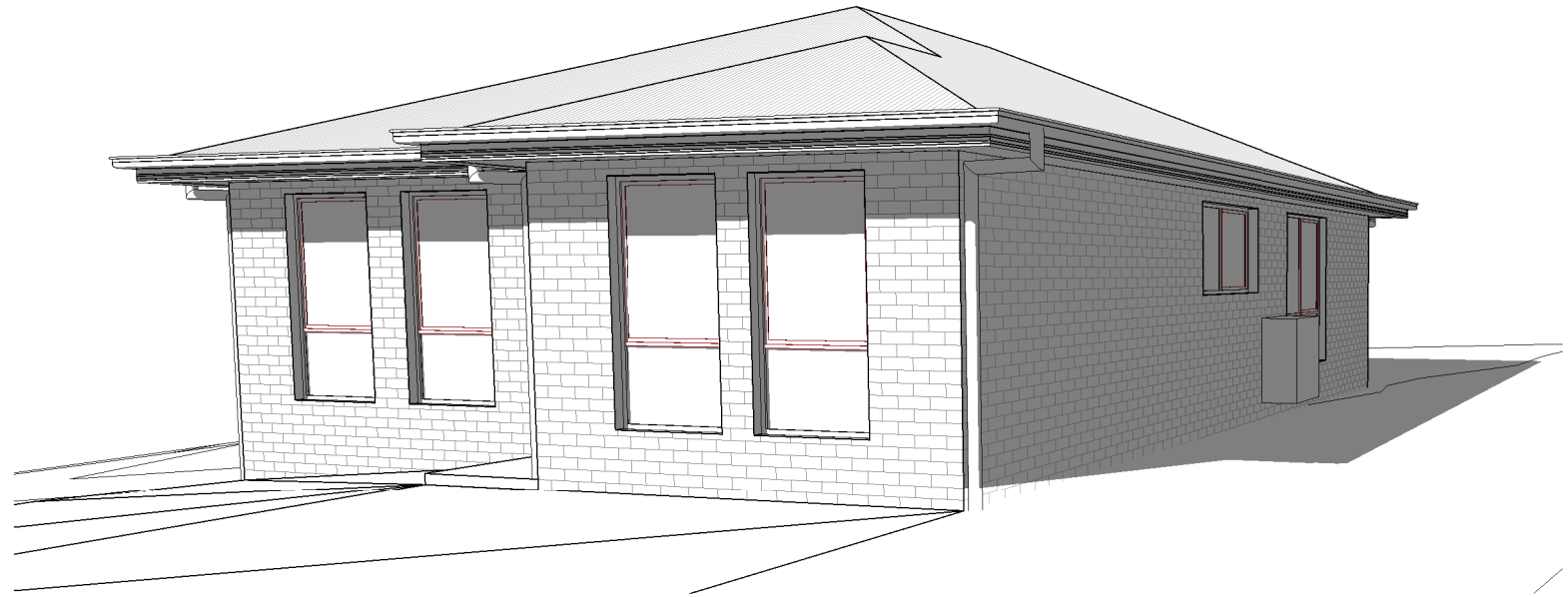
- xxxx DENOTES CEILING HEIGHT

HEATING

- H.P. Ⓢ HEAT PUMP
- H.P. Ⓢ HEAT PUMP, OUTDOOR UNIT

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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BAGDAD

Client name:
P. CINGEL & L.HOLBROOK

Drafted by:
L.B.L.

Approved by:
D.D.H.



Drawing:
PERSPECTIVES

Date: 02/04/2025
Scale:

Project/Drawing no:
PD25090 -12

Revision:
01

Accredited building practitioner: Frank Geskus -No CC246A

SEARCH OF TORRENS TITLE

VOLUME 187502	FOLIO 6
EDITION 1	DATE OF ISSUE 15-Oct-2024

SEARCH DATE : 26-Feb-2025

SEARCH TIME : 02.16 PM

DESCRIPTION OF LAND

Parish of STRANGFORD Land District of MONMOUTH
Lot 6 on Sealed Plan 187502
Derivation : Part of 60A-1R-34P Gtd. to C.A. Galletly & Anor.
Prior CT 35320/1

SCHEDULE 1


N109298 TRANSFER to A & P MACLEOD SUPER PTY LTD Registered
12-Jan-2023 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
SP187502 EASEMENTS in Schedule of Easements
SP187502 FENCING PROVISION in Schedule of Easements
E386647 AGREEMENT pursuant to Section 78 of the Land Use
Planning and Approvals Act 1993 Registered
15-Oct-2024 at noon

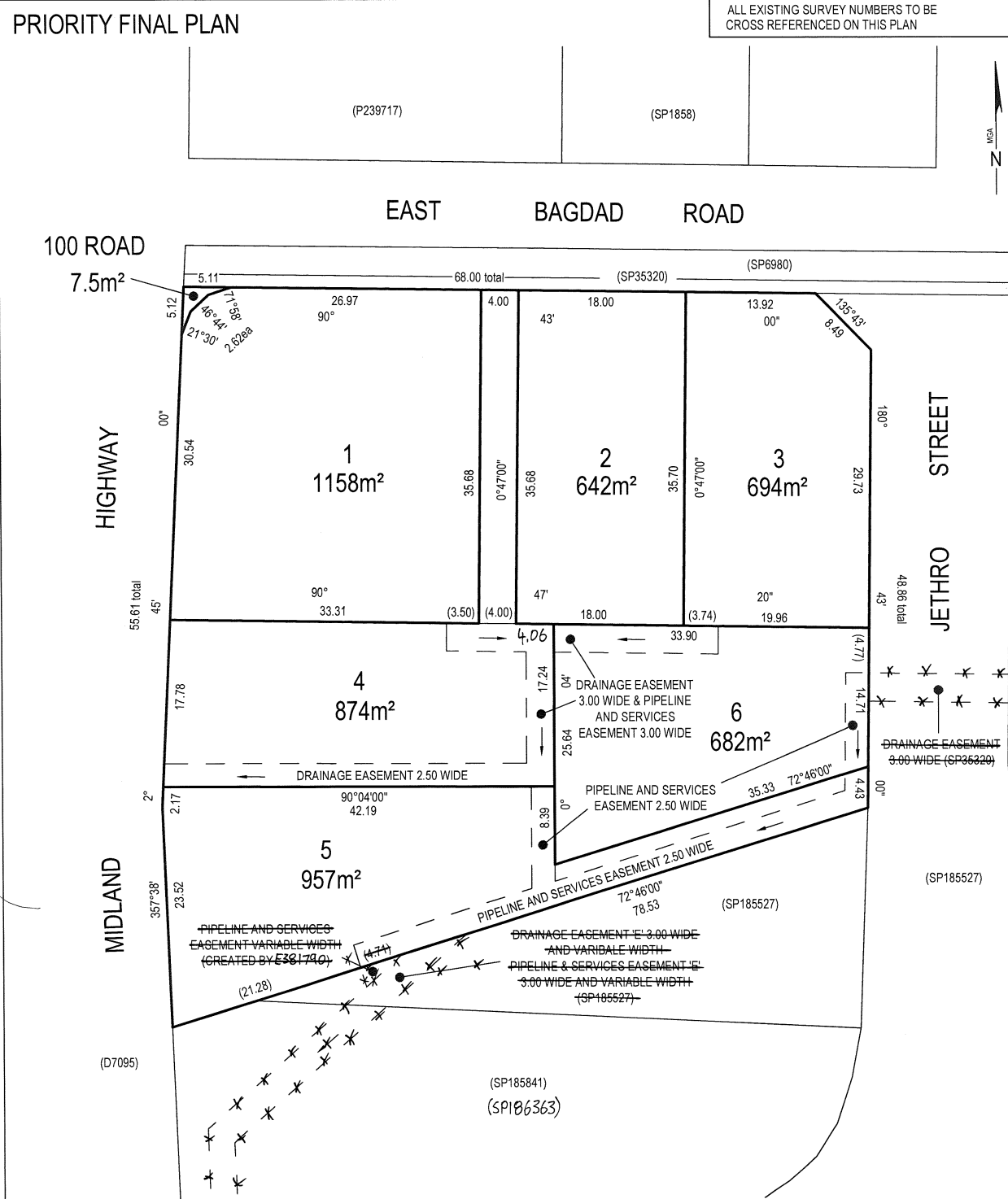
UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

OWNER: A & P MACLEOD SUPER PTY LTD	PLAN OF SURVEY	REGISTERED NUMBER SP187502
FOLIO REFERENCE: 35320/1	BY SURVEYOR: TIMOTHY W. COX of LEARY, COX & CRIPPS SURVEYORS Unit G04 40 Mole Street, HOBART TAS 7000 P 03 6118 2030 E admin@lccsurvey.com	
GRANTEE: PART OF 60 1-34 GTD TO C.A. GALLETTY & ANR.	LOCATION: LAND DISTRICT OF MONMOUTH PARISH OF STRANGFORD	APPROVED EFFECTIVE FROM 15 OCT 2024  Recorder of Titles
	SCALE 1:400 LENGTHS IN METRES	

PRIORITY FINAL PLAN

ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN



100 ROAD

7.5m²

5.11

68.00 total

(SP35320)

(SP6980)

26.97

4.00

18.00

13.92

0°

135°43'

8.49

180°

29.73

48.86 total

43°

JETHRO STREET

1

1158m²

35.68

0°47'00"

35.68

2

642m²

35.70

0°47'00"

3

694m²

19.96

20"

(3.74)

18.00

47"

(4.00)

(3.50)

33.31

90°

30.54

00°

55.61 total

45°

HIGHWAY

4

874m²

17.78

2.17

90°04'00"

42.19

DRAINAGE EASEMENT 2.50 WIDE

4.06

17.24

0.4"

DRAINAGE EASEMENT 3.00 WIDE & PIPELINE AND SERVICES EASEMENT 3.00 WIDE

25.64

8.39

0

PIPELINE AND SERVICES EASEMENT 2.50 WIDE

6

682m²

35.33

72°46'00"

4.43

00°

(4.77)

14.71

DRAINAGE EASEMENT 9.00 WIDE (SP35320)

5

957m²

23.52

357°38'

2°

MIDLAND

PIPELINE AND SERVICES EASEMENT VARIABLE WIDTH (CREATED BY SP187502)

(17.28)

72°46'00"

78.53

(SP185527)


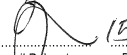
DRAINAGE EASEMENT 3.00 WIDE AND VARIABLE WIDTH

PIPELINE & SERVICES EASEMENT 3.00 WIDE AND VARIABLE WIDTH (SP185527)

(SP185841)

(SP186363)

(D7095)

 Registered Land Surveyor	26/3/2024 Date
 Council Delegate	15/8/24 Date

<p>SCHEDULE OF EASEMENTS</p> <p>NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.</p>	<p>Registered Number</p> <p>SP187502</p>
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PAGE 1 OF 3 PAGES

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

Lot 4 is subject to a right of drainage in gross (in favour of Southern Midlands Council) over the land marked DRAINAGE EASEMENT 2.50 WIDE and DRAINAGE EASEMENT 3.00 WIDE passing through that lot on the plan

Lot 4 is subject to a pipeline and services easement in gross as defined herein (in favour of the TasWater) over the land marked PIPELINE AND SERVICES EASEMENT 3.00 WIDE ("the Easement Land") passing through that lot on the plan

Lot 5 is subject to a pipeline and services easement in gross as defined herein (in favour of the TasWater) over the land marked PIPELINE AND SERVICES EASEMENT 2.50 WIDE ("the Easement Land") passing through that lot on the plan

Lot 6 is subject to a right of drainage in gross (in favour of Southern Midlands Council) over the land marked DRAINAGE EASEMENT 3.00 WIDE passing through that lot on the plan

Lot 6 is subject to a pipeline and services easement in gross as defined herein (in favour of the TasWater) over the land marked PIPELINE AND SERVICES EASEMENT 2.50 WIDE and PIPELINE AND SERVICES EASEMENT 3.00 WIDE ("the Easement Land") passing through that lot on the plan

FENCING PROVISION

In respect to the lots on the plan the vendor (A & P Macleod Super Pty Ltd) shall not be required to fence

(USE ANNEXURE PAGES FOR CONTINUATION)

<p>SUBDIVIDER: A & P MACLEOD SUPER PTY LTD</p> <p>FOLIO REF: 35320-1</p> <p>SOLICITOR: CLAXTON LEGAL & CONVEYANCING</p>	<p>PLAN SEALED BY: SOUTHERN MIDLANDS COUNCIL</p> <p>DATE: 15/8/24</p> <p>DA 23 0002 REF NO.</p> <p>..... Council Delegate</p>
<p>NOTE: The Council Delegate must sign the Certificate for the purposes of identification.</p>	

<p align="center">ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p align="center">PAGE 2 OF 3 PAGES</p>	<p align="center">Registered Number</p> <p align="center">SP187502</p>
<p>SUBDIVIDER: A & p MACLEOD SUPER PTY LTD FOLIO REFERENCE: 35320-1</p>	

INTERPRETATION

"TasWater" means Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653) its successors and assigns

"Pipeline and Services Easement" means-

FIRSTLY, the full and free right and liberty for TasWater and its employees, contractors, agents and all other persons duly authorised by it, at all times to:


- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure;
- (4) run and pass sewage, water and electricity through and along the Infrastructure;
- (5) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (a) without doing unnecessary damage to the Easement Land; and
 - (b) leaving the Easement Land in a clean and tidy condition;
- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land; and
- (7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot

SECONDLY, the benefit of a covenant in gross for TasWater with the registered proprietor of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described

"Infrastructure" means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;

Director: 

Director: 

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

<p align="center">ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p align="center">PAGE 3 OF 3 PAGES</p>	<p align="center">Registered Number</p> <p align="center">SP187502</p>
<p>SUBDIVIDER: A & p MACLEOD SUPER PTY LTD FOLIO REFERENCE: 35320-1</p>	

- (c) inspection and access pits;
- (d) electricity assets and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure;
- (f) anything reasonably required to support, protect or cover any other Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

Executed by A & P MACLEOD PTY LTD (ACN 630 012 118) being
the registered proprietor of Folio 35320-1 pursuant to
section 127(1) Corporations Act 2001 (C'th) by-

Director *signature:*
Phoebe Joan MacLeod

Director *signature:*
Alastair Loudoun Macleod

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

4 April 2025

Att: Planning Department
Southern Midlands Council

Dear Sir/Madam,

4 Jethro Street, Bagdad
New residential dwelling development

Please find enclosed application for development for a single residential dwelling development at 4 Jethro Street, Bagdad. In support of this application the following documents are provided:

- Title documents
- DA plans

12.0 Village Zone

12.2 Use Table

A single residential dwelling is a no permit required, permitted or discretionary use. Our assessment of the development, as below, assess this proposed development as a “discretionary” application.

12.4 Development Standards for Buildings and Works

12.4.1 Residential density and servicing for multiple dwellings

A1 NA

12.4.2 Building height

A1 The proposed dwelling height is < 8500mm, as demonstrated on elevations and complies.

12.4.3 Setback

A1 The proposed dwelling setback > 4500mm from the frontage and complies.

A2 The proposed dwelling has a side setback of <3000mm to the southern boundary and therefore does not comply with A2 so has been assessed against P2, as below.

P2 (a) The dwelling has been pushed towards the southern boundary encroaching into the 3000mm side setback due to the constraints of the block and the location of the sewer main which sits to the north of the dwelling.

(b) The irregular shape of the block, and the requirement by the clients for backyard space to facilitate a future shed means the dwelling had to be situated as far forward in the allotment, taking into account the pinch point created by the triangular shape of the block.

(c) The dwelling has been designed to be constructed on a slab and will sit low on the block and fits easily within the building envelope and will therefore not cause any unreasonable loss of amenity to the neighbouring property.

(d) The southern boundary of the allotment is adjacent an access strip to Lot 5 and will therefore have no impact on private open space or habitable rooms of the neighbouring property.

(e) All surrounding dwellings appear to have a side setback of <3000mm.

The proposal meets P2.

A3 NA

12.4.4 Site Coverage

A1 The proposed dwelling has the site coverage of 13% and complies.

12.4.5 Fencing

A1 No front fencing is proposed as part of this application. A1 does not apply.

12.4.6 Privacy for all dwellings

A1 No outdoor storage areas are proposed as part of this development application.

C2.0 Parking and Access Code

C2.5 Use Standards

C2.5.1 Car parking numbers

A1 The proposed development is for a 3-bedroom dwelling with single garage and in accordance with Table C2.1, 2 car parking spaces are required. The proposed development provides for two car parking spaces and complies with A1.

C2.5.2 Bicycle parking numbers

A1 NA

C2.5.3 Motorcycle parking numbers

A1 NA

C2.5.4 Loading Bays

A1 NA

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4/4/25

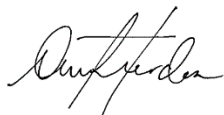
- C2.5.5 Number of car parking spaces within the General Residential Zone and Inner Residential Zone
A1 NA

C2.6 Development Standards for Buildings and Works

- C2.6.1 Construction of parking areas
A1(a) & (c) The parking and driveway for the proposed dwelling will be constructed from concrete and complies with A1(a) & (c).
A1(b) The driveway is designed to be drained to the Council stormwater system and complies with A1(b).
- C2.6.2 Design and layout of parking areas
A1.1 The driveway and parking areas have been designed to comply with *AS2890- Parking facilities Parts 1-6* and complies.
A1.2 NA
- C2.6.3 Number of accesses for vehicles
A1 One access has been designed for this proposal and complies with A1.
A2 NA
- C2.6.4 Lighting of parking areas within the General Business Zone and Central Business Zone
A1 NA
- C2.6.5 Pedestrian access
A1.1 NA
- C2.6.6 Loading bays
A1 NA
A2 NA
- C2.6.7 Bicycle parking and storage facilities within the General Business Zone and Central Business Zone
A1 NA
A2 NA
- C2.6.8 Siting of parking and turning areas
A1 NA

Please contact me via email should you require any additional information to assist Council's assessment of the application

Yours faithfully
Cunic Homes



Domonee van Heerden
Planning & Building Manager