



Public Notice Details

Planning Application Details

Application No	DA2500049
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Property Details

Property Location	627 Interlaken Road Oatlands
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Application Information

Application Type	Discretionary Development Application
Development Category	Water treatment plant including demolition, Lot consolidation, Boundary adjustment and associated works.
Advertising Commencement Date	1/5/25
Advertising Closing Period	15/5/25
<small>If the Council Offices are closed during normal office hours within the above period, the period for making representations is extended.</small>	

Enquiries regarding this Application can be made via to Southern Midlands Council on (03) 6254 5050 or by emailing planningenquires@southernmidlands.tas.gov.au. Please quote the development application number when making your enquiry.

Representations on this application may be made to the General Manager in writing either by

Post: PO Box 21, Oatlands Tas 7120
Email: mail@southernmidlands.tas.gov.au
Fax: 03 6254 5014

All representations must include the authors full name, contact number and postal address and be received by the advertising closing date.



APPLICATION FOR PLANNING PERMIT

DEVELOPMENT / USE

Use this form to apply for a permit in accordance with section 57 and 58 of the *Land Use Planning and Approvals Act 1993*

Proposed use/development:
(Provide details of proposed works and use).

Water Treatment Plant including Demolition, Lot Consolidation, Boundary Adjustment and associated works.

Location of Development:
(If the development includes more than one site, or is over another property include address of both Properties).

Lot 1 Interlaken Road, (175672/1 and 149586/1), Lots 1 and 2 on Plan 4829 shown as 'Road unknown', and 627 Interlaken Road Oatlands Tas 7120 (CT 175673/1).

Certificate of Title/s Volume Number/Lot Number:

As Above

Land Owners Name:

Tasmanian Water & Sewerage Corporation, Tasmanian Irrigation, and Mr B and Mrs L Fish

Full Name/s or Full Business/Company Name

Applicant's Name:

MC Planners for JMG obo Tasmanian Water & Sewerage Corporation Pty Ltd

Full Name/s or Full Business/ Company Name (ABN if registered business or company name)

Contact details:

Postal address for correspondence: 2/129 Bathurst Street, Hobart 7000

Telephone or Mobile: 6288 7248

Email address: Planning@mcplanners.com.au

(Please note it is your responsibility to provide your correct email address and to check your email for communications from the Council.)

Details

Tax Invoice for application fees to be in the name of:
(if different from applicant)

CPB UGL JV

Full Name/s or Full Business or Company Name and ABN if registered business or company name

Print email address

cdo.payment.claims@taswater.com.au

ABN

64 835 508 433

What is the estimated value of all the new work proposed

\$ 12,000,000



For Commercial Planning Permit Applications Only

Signage:

Is any signage proposed?

Yes

☐

No

☒

If yes, attach details: size, location and art work

Business Details:

Existing hours of operation

Hours	am	to	pm
Weekdays			
Sat			
Sun			

Proposed hours of new operation

Hours	am	to	pm
Weekdays			
Sat			
Sun			

Number of existing employees:

Number of proposed new employees:

Traffic Movements:

Number of commercial vehicles serving the site at present		Approximate number of commercial vehicles servicing the site in the future	
Number of Car Parking Spaces:	How many car spaces are currently provided	How many new car spaces are proposed	

Is the development to be staged:

Please tick ✓ answer

☐ Yes

☐
☐ No

☐

Please attach any additional information that may be required by Part 6.1 *Application Requirements* of the Tasmanian Planning Scheme – Southern Midlands.

Signed Declaration

I/we as owner of the land or person with consent of the owner hereby declare that:

1. I/we have read the Certificate of Title and Schedule of Easements for the land and I/we are satisfied that this application is not prevented by any restrictions, easements or covenants.
2. I/we provide permission by or on behalf of the applicant for Council officers to enter the site to assess the application.
3. The information given in this application is true and accurate. I/we understand that the information and materials provided with this application may be made available to the public. I/we understand that the Council may make such copies of the information and materials as, in its opinion, are necessary to facilitate a thorough consideration of the application.
4. I/we have secured the necessary permission from the copyright owner to communicate and reproduce the plans submitted with the application for assessment. I/we indemnify the Southern Midlands Council for any claim or action taken against it regarding a breach of copyright in respect of any of the information or material provided.
5. I/we declare that, in accordance with Section 52(1) of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their consent is attached and the application form signed by the Minister of the Crown responsible and/or the General Manager of the Council.

Applicant Signature
(If not the Title Owner)

Applicant Name (please print)

Peter Coney (MC Planners) obo JMG for TasWater

Date

07 April 2025

Land Owner(s) Signature

Land Owners Name (please print)

Date



Land Owner(s) Signature

Land Owners Name (please print)

Date

PRIVACY STATEMENT

The Southern Midlands Council abides by the Personal Information Protection Act 2004 and views the protection of your privacy as an integral part of its commitment towards complete accountability and integrity in all its activities and programs.

Collection of Personal Information: The personal information being collected from you for the purposes of the Personal Information Protection Act, 2004 and will be used solely by Council in accordance with its Privacy Policy. Council is collecting this information from you in order to process your application.

Disclosure of Personal Information: Council will take all necessary measures to prevent unauthorised access to or disclosure of your personal information. External organisations to whom this personal information will be disclosed as required under the Building Act 2000. This information will not be disclosed to any other external agencies unless required or authorised by law.

Correction of Personal Information: If you wish to alter any personal information you have supplied to Council please telephone the Southern Midlands Council on (03) 62545050. Please contact the Council's Privacy Officer on (03) 6254 5000 if you have any other enquires concerning Council's privacy procedures.



Information & Checklist Sheet

DEVELOPMENT / USE

Use this check list for submitting your application for a planning permit –Please do not attach the check list with your application

Submitting your application ✓

1. All plans and information required per Part 6.1 Application Requirements of the Tasmanian Planning Scheme i.e.: site plan showing all existing buildings, proposed buildings, elevation plans etc. ☐
2. Copy of the current Certificate of Title, Schedule of Easements and Title Plan (Available from Service Tasmania Offices) ☐
3. Any reports, certificates or written statements to accompany the Application (if applicable) required by the relevant zone or code. ☐
4. Prescribed fees payable to Council ☐

Information

If you provide an email address in this form then the Southern Midlands Council ("the Council") will treat the provision of the email address as consent to the Council, pursuant to Section 6 of the Electronic Transactions Act 2000, to using that email address for the purposes of assessing the Application under the Land Use Planning and Approvals Act 1993 ("the Act").

If you provide an email address, the Council will not provide hard copy documentation unless specifically requested.

It is your responsibility to provide the Council with the correct email address and to check your email for communications from the Council.

If you do not wish for the Council to use your email address as the method of contact and for the giving of information, please tick ✓ the box ☐

Heritage Tasmania

If the Property is listed on the Tasmanian Heritage Register then the Application will be referred to Heritage Tasmania unless an Exemption Certificate has been provided with this Application. (Phone 1300 850 332 (local call cost) or email enquires@heritage.tas.gov.au)

TasWater

Depending on the works proposed Council may be required to refer the Application to TasWater for assessment (Phone 136992)

IMPORTANT: There is no connection between Planning approval and Building & Plumbing approvals.

Owners are to ensure that the work is either Low-Risk Building Work, Notifiable Building Work or Permit work in accordance with the Directors Determination – Categories of Building & Demolition Work v 1.4 dated 12 March 2021 prior to any building works being carried out on the land.

https://www.cbos.tas.gov.au/data/assets/pdf_file/0014/405014/Directors-determination-categories-of-building-and-demolition-work-2021.pdf



MC Planners Ref: 23082

07 April 2025

General Manager

Southern Midlands Council

Via email - mail@southernmidlands.tas.gov.au

Attention: Louisa Brown

Dear Louisa

CONSENT LETTER - DEVELOPMENT APPLICATION - WATER TREATMENT PLANT, INTERLAKEN ROAD, OATLANDS

MC Planners has been engaged by JMG obo TasWater to make a permit application for a Water Treatment Plant at Lot 1 Interlaken Road, Oatlands. The proposal includes access works within Interlaken Road.

Accordingly, we write to seek your written consent for the making of the application, and ask that you sign the application form submitted, in accordance with section 52(1B) of the *Land Use Planning and Approvals Act 1993*.

Should you require any further information, please contact our office.

Yours faithfully

MC PLANNERS PTY LTD

A handwritten signature in black ink, appearing to read 'P. Coney'.

Peter Coney

SENIOR PLANNER



Planning Report

Water Treatment Plant
Interlaken Road, Oatlands

For TasWater Pty Ltd
April 2025



Water Treatment Plant, Interlaken Road, Oatlands.



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- Appendix B - Proposal Plans
- Appendix C - Notification/Consent Letters

VERSION CONTROL					
Version	Description	Author		Reviewer	
1.0	Draft Planning Report	PC	20/01/2025	MC	07/04/25





Summary

Use:	Utilities
Development:	Water treatment plant
Location:	Lot 1 and 627 Interlaken Road, private road lot (P 4289 LO), and Interlaken Road, Oatlands
Certificate of Title:	Volume 175672 Folio 1, Volume 149586 Folio 1, Volume 175673 Folio 1, and P 4829 LO,
Property ID:	9057394, 9057394, 9057393
Planning Authority:	Southern Midlands Council
Planning Policy:	Tasmanian Planning Scheme - Southern Midlands
GM/Crown Consent:	Yes, Council consent is required for works within the road reserve (Interlaken Road). Crown consent is not required based on advice from Tas Irrigation.
Applicant:	MC Planners for JMG obo TasWater Pty Ltd
Date of Assessment:	April 2025
Assessor:	Peter Coney

The development application relies on the Performance Criteria of the following provisions of the *Tasmanian Planning Scheme - Central Highlands*

- 21.3.1 Discretionary Uses P1 & P2
- 26.4.1 Building Height P1
- 26.4.2 Setbacks P1

Whilst relying on the Performance Criteria of these clauses, the development meets the objectives and purpose of the Agriculture Zone and Utilities Zone, and complies with the *Tasmanian Planning Scheme - Southern Midlands*

Introduction

MC Planners have been engaged by JMG Engineers on behalf of TasWater to prepare a development application for a Water Treatment Plant at Interlaken Road, Oatlands.

The report details the proposed development, and provides an assessment against the provisions of the *Tasmanian Planning Scheme - Southern Midlands* ('the Planning Scheme').

The proposal has been considered against the 'Agriculture Zone' [21.0], and 'Utilities Zone' [26.0].

Development on the site is subject to several Codes, which it is required to be assessed against:

- Parking and Sustainable Transport Code [C2.0];
- Road and Railway Assets Code [C3.0] and;
- Bushfire-Prone Areas Hazard Code [13.0]

Site Location and Context

The subject site is located at Interlaken Road, being land comprised of two parcels known as 'Lot 1' (PID 9057394, CT175672/1) and (PID 9057394, CT149586/1). The site also includes a parcel, which is set out as a general law title transferred to the then Rivers and Water Supply Commission, now understood to be in the ownership of Tasmania Irrigation. This 'private road lot' does not have a CT reference or PID though is shown with a reference P 4289 LO.

The proposed water treatment plant is located within an existing facility, surrounded by unimproved pasture.

The site sits atop a moderately sloped hill, and is prominent within the landscape.

Title information is provided in Appendix A to this report.

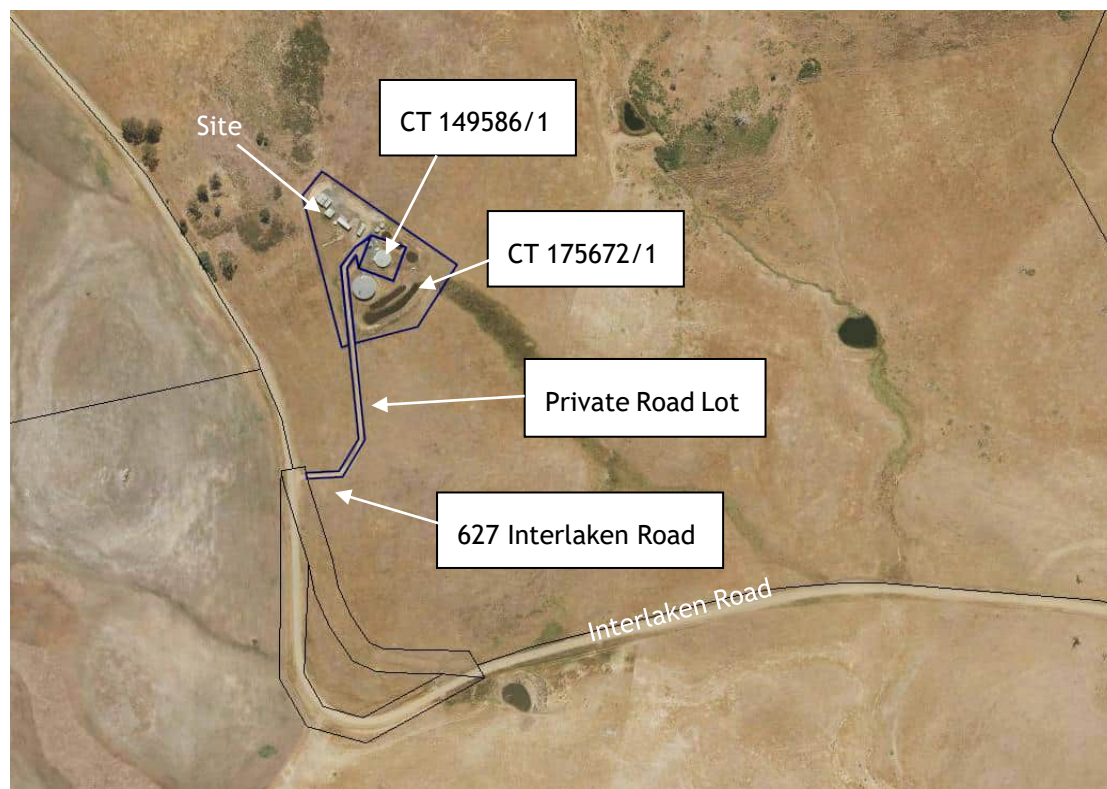


Figure 1. Subject Site (in dark blue (source: LISTmap, Accessed 20/01/2025)).



Proposed Use and Development

The proposed development is for an expanded water treatment plant, as well as structures associated with the water treatment process. The expansion will be housed across a number of new buildings as listed below. In facilitating the new works a number of structures are to be demolished as shown on the Building Removal/Retainment plan. The proposal also includes the consolidation of all lots which form the site into a single lot, inclusive of a portion of 627 Interlaken Road which is to be included by way of a boundary adjustment.

New buildings proposed are as follows:

- Main Process Building: 7,210mm x 14,850mm with a maximum wall height from existing ground level of 10,450mm, to an apex height of 10,900mm. The building has a gable roof and will be sited on a section of fill required to create a level building area.
- Chemical Storage Building: 4,500mm x 15,000mm with a maximum wall height from existing ground level of 4,000mm. The building has a skillion roof, and is adjacent to the Main Process Building, though sited below existing ground level, as facilitated by an extensive cut; and
- Switch room and Blower Compressor Room (Electrical Building): 8,000mm x 12,400mm with a maximum height of 2,700mm. the building has a gable roof and will be sited on a section of fill required to create a level building area.
- Demountable building (relocated): 12m x 3.6m, maximum height of 2.8m.

The proposal also includes a new bunded chemical delivery area, Calcite and Granular Activated Carbon (GAC) contactors to be sited on pads, clarifiers and waste balance tanks.

The total additional floor area is 316m².

The development is shown in the proposal plans at Appendix B.

Policy Assessment

The development site is located on land zoned 'Agriculture', and 'Utilities' (refer to Figure 2). The proposed use of the site is for a water treatment, which is within the Utilities Use Class.

The site is subject to the Bushfire Hazard Areas Overlay over the entire property.

The nature of the proposal and the location of the site requires that the proposal be considered against the following Scheme elements:

- Agriculture Zone [21.0];
- Utilities Zone [26.0];
- Parking and Sustainable Transport Code [2.0];
- Road and Railway Assets Code [3.0] and;
- Bushfire-Prone Areas Code [13.0].

Pipework to be installed outside of CT 136445/1 meets the criteria of the prescribed works not to be regarded as development under the *Land use Planning and Approvals Act 1993*, as provided under the *Water and Sewerage Industry Regulations Regulation 11* 'Prescribed works'.



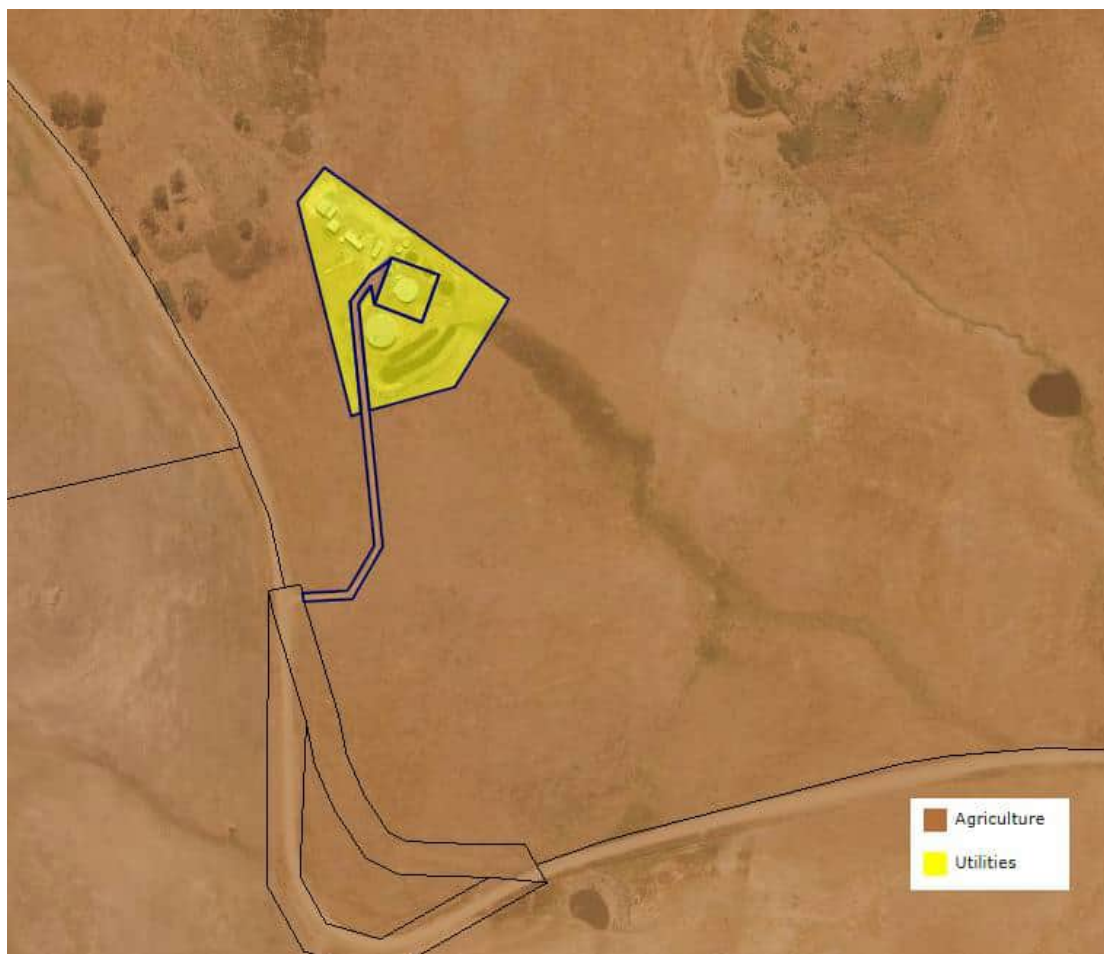


Figure 2. Land use zones (source: LIST map - accessed on 20.01.25).

Tasmanian Planning Scheme

General Provisions

7.3 Adjustment of a boundary

The proposal includes the adjustment of the boundary shared between the unnamed road lot, and 627 Interlaken Road, Oatlands. The purpose of this adjustment is to encapsulate a widened access to the site.

Clause 7.3.1 sets out criteria for an adjustment of a boundary which if met, is permitted. For these, it is considered that the adjustment meets these criteria as follows:

- The adjustment does not create an additional lot per (a);
- is only a minor change to the shape to widen the minimum required to encompass the widened access per (b);
- will not reduce any setbacks per (c);
- Will not reduce the frontage per (d);
- Is a minor variance of lots within the Agriculture Zone for which there is no lot size provided at the Acceptable Solution (e); and
- No lot boundary which aligns to a zone boundary is proposed to be changed.

As the proposal meets the above listed criteria it is considered to be a permitted adjustment of a boundary.

Agriculture [21.0]

The site includes land which is zoned *Agriculture* in the *Tasmanian Planning Scheme - Southern Midlands*. For the use and development within this area, the provisions of the Agriculture Zone are relevant.

21.2 Use Table

The proposed use of the land is Utilities. As the proposed development is not for minor utilities, the use is categorised as Discretionary.

21.3 Use Standards

21.3.1 Discretionary uses

<p>A1</p> <p><i>No Acceptable Solution.</i></p>	<p>P1</p> <p><i>A use listed as Discretionary, excluding Residential or Resource Development, must be required to locate on the site, for operational or security reasons or the need to contain or minimise impacts arising from the operation such as noise, dust, hours of operation or traffic movements, having regard to:</i></p> <p><i>(a) access to a specific naturally occurring resource on the site or on land in the vicinity of the site;</i></p> <p><i>(b) access to infrastructure only available on the site or on land in the vicinity of the site;</i></p> <p><i>(c) access to a product or material related to an agricultural use;</i></p> <p><i>(d) service or support for an agricultural use on the site or on land in the vicinity of the site;</i></p> <p><i>(e) the diversification or value adding of an agricultural use on the site or in the vicinity of the site; and</i></p> <p><i>(f) provision of essential Emergency Services or Utilities.</i></p>
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As there is no Acceptable Solution (A1) as such P1 must be addressed.

The site has been chosen for operational reasons, being an existing TasWater facility. Though there are no naturally occurring resources on the site per (a), the location is of relevance for (b).

The proposed use does not require access to a product or material located on the site, or in the vicinity under (c), nor does it service or support an agricultural use per (d) and (e).

The proposal is for a strategically important Utilities use per (f).

Having regard for the relevant criteria, and noting the importance of siting the utility in proximity to the existing facility, it is considered appropriate to undertake the use on agricultural land.

The proposal is therefore considered to comply with the Performance Criteria (P1).

<p>A2</p> <p><i>No Acceptable Solution.</i></p>	<p>P2</p> <p><i>A use listed as Discretionary, excluding Residential, must minimise the conversion of agricultural land to non-agricultural use, having regard to:</i></p> <p><i>(a) the area of land being converted to non-agricultural use;</i></p> <p><i>(b) whether the use precludes the land from being returned to an agricultural use;</i></p> <p><i>(c) whether the use confines or restrains existing or potential agricultural use on the site or adjoining sites.</i></p>
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As there is no Acceptable Solution (A2) as such P2 must be addressed.

Though within the Agriculture Zone, the land is not considered agricultural land as defined within the scheme, because it is not in agricultural use. Owed to its location, size and shape this land is entirely restricted from being used for an agricultural use.

Acknowledging the land is not presently agricultural land, there is no conversion relevant per (a);

Though development of Utilities infrastructure may preclude the return of the land to an agricultural use, the area is already incapable of being used for agriculture in that it already provides access to a utilities facility (b).

The proposed use of the development is Utilities, which will not restrain or confine the use of adjoining sites. This is because water treatment does not introduce a sensitive use with potential to be impacted by agricultural uses (c).

The proposal is considered to comply with the Performance Criteria (P2).

<p>A3</p> <p><i>No Acceptable Solution.</i></p>	<p>P3</p> <p><i>A use listed as Discretionary, excluding Residential, located on prime agricultural land must:</i></p> <p><i>(a) be for Extractive Industry, Resource Development or Utilities, provided that:</i></p> <p><i>(i) the area of land converted to the use is minimised;</i></p> <p><i>(ii) adverse impacts on the surrounding agricultural use are minimised; and</i></p> <p><i>(iii) the site is reasonably required for operational efficiency; or</i></p> <p><i>(b) be for a use that demonstrates a significant benefit to the region, having regard to the social, environmental and economic costs and benefits of the proposed use.</i></p>
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The site is on Class 4 land, which is not defined as prime agricultural land. A3/P3 are therefore not applicable.



<p>A4</p> <p><i>No Acceptable Solution.</i></p>	<p>P4</p> <p><i>A Residential use listed as Discretionary must:</i></p> <p><i>(a) be required as part of an agricultural use, having regard to:</i></p> <ul style="list-style-type: none"> <i>(i) the scale of the agricultural use;</i> <i>(ii) the complexity of the agricultural use;</i> <i>(iii) the operational requirements of the agricultural use;</i> <i>(iv) the requirement for the occupier of the dwelling to attend to the agricultural use; and</i> <i>(v) proximity of the dwelling to the agricultural use; or</i> <p><i>(b) be located on a site that:</i></p> <ul style="list-style-type: none"> <i>(i) is not capable of supporting an agricultural use;</i> <i>(ii) is not capable of being included with other agricultural land (regardless of ownership) for agricultural use; and</i> <i>(iii) does not confine or restrain agricultural use on adjoining properties.</i>
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The proposal does not include a residential use. A4/P4 are therefore not applicable.

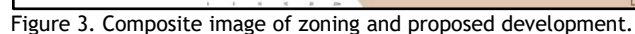
21.4 Development Standards for Building and Works

21.4.1 Building height

<p>A1</p> <p><i>Building height must be not more than 12m.</i></p>	<p>P1</p> <p>***</p>
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The Electrical Building is the only building to be sited within the Agriculture Zone. At its maximum this building is 2.7m. This building height therefore does not exceed 12m and so complies with the Acceptable Solution.

All other development is for works (i.e. delivery areas, Calcite and GAC contactor pads) , as shown in Figure 3.



<p>A1</p> <p><i>Buildings must have a setback from all boundaries of:</i></p> <p><i>(a) not less than 5m; or</i></p> <p><i>(b) if the setback of an existing building is within 5m, not less than the existing building.</i></p>	<p>P1</p> <p><i>Buildings must be sited to provide adequate vehicle access and not cause an unreasonable impact on existing use on adjoining properties, having regard to:</i></p> <p><i>(a) the bulk and form of the building;</i></p> <p><i>(b) the nature of existing use on the adjoining properties;</i></p> <p><i>(c) separation from existing use on the adjoining properties; and</i></p> <p><i>(d) any buffers created by natural or other features.</i></p>
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<p>A2</p> <p><i>Buildings for a sensitive use must have a setback from all boundaries of:</i></p> <p><i>(a) not less than 200m; or</i></p> <p><i>(b) if the setback of an existing building for a sensitive use on the site is within 200m of that boundary, not less than the existing building.</i></p>	<p>P2</p> <p><i>Buildings for a sensitive use must be sited so as not to conflict or interfere with an agricultural use, having regard to:</i></p> <p><i>(a) the size, shape and topography of the site;</i></p> <p><i>(b) the prevailing setbacks of any existing buildings for sensitive uses on adjoining properties;</i></p> <p><i>(c) the location of existing buildings on the site;</i></p> <p><i>(d) the existing and potential use of adjoining properties;</i></p> <p><i>(e) any proposed attenuation measures; and</i></p>
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	(f) any buffers created by natural or other features.
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The proposal is not for a sensitive use, therefore A2/P2 is not applicable.

21.4.3 Access for new dwellings

As the proposed development does not involve a new dwelling, clause 21.4.3 is not applicable.

21.5 Development Standards for Subdivision

The proposed development does not involve subdivision, though includes consolidation which is a type of development. There are standards related to lot consolidation within the subdivision standards of the Scheme.

21.5.1 Lot Design

<p>A1 Each lot, or a lot proposed in a plan of subdivision, must:</p> <ul style="list-style-type: none"> (a) be required for public use by the Crown, a council or a State authority; (b) be required for the provision of Utilities or irrigation infrastructure; or (c) be for the consolidation of a lot with another lot provided both lots are within the same zone. 	<p>P1 ***</p>
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The proposed consolidated lot is required for the provision of Utilities, thereby compliant with A1 (b).

<p>A2 Each lot, or a lot proposed in a plan of subdivision, must be provided with a vehicular access from the boundary of the lot to a road in accordance with the requirements of the road authority.</p>	<p>P2 ***</p>
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The proposed consolidated lot will have access to Interlaken Road. This access is existing though will require some works to be undertaken as part of the development of the Water Treatment Plant. The proposal therefore complies with A2.

Utilities Zone

26.2 Use Table

26.3 Use Standards

The proposal is for a Utilities use, which is permitted within the zone. As a permitted Utilities use, the Use Standards of the Utilities Zone do not apply.

26.4 Development Standards for Buildings and Works

26.4.1 Building height

<p>A1 <i>Building height must be not more than:</i> (a) 10m; or (b) 15m if for a structure, such as a tower, pole or similar.</p>	<p>P1 <i>Building height must:</i> (a) be necessary for the operation of the use and not cause unreasonable impact on adjoining properties, having regard to: (i) the bulk and form of the building; (ii) separation from existing buildings on adjoining properties; and (iii) any buffers created by natural or other features; and (b) not unreasonably impact on the visual character of the area, having regard to: (i) the topography of the site; (ii) any existing vegetation; and (iii) visibility from adjoining roads and public open space.</p>
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The proposed Main Processing Building will have a maximum height of 10.9m which exceeds the Acceptable Solution. The Proposal is therefore reliant on the Performance Criteria.

The proposed building height is a requirement of the operation, in that the building will house tanks and other plant for the purpose of water treatment. This equipment requires sufficient headroom for its operation and maintenance (a). Specifically, the bulk and form is utilitarian, though this does not cause any unreasonable impact to the adjoining property when considering the degree of amenity to be drawn from that property, which functions as grazing land.

With regard for the visual character of the area, the site is surrounded by unimproved pasture. The nearest dwellings are over 460m (490 Interlaken Road) and 1.2km (284 Interlaken Road) away. The site is imperceptible from 490 Interlaken Road, and is at a significant distance from 284 Interlaken Road that the impact is considered negligible. The site is also over 80m from a public road.



Figure 4. Site as viewable from east on approach (approx 1.8km away).



Figure 5. Site as viewable from frontage.

From the east, the site is prominent from multiple vantage points along Interlaken Road. The features of the site increase in discernability and prominence as the viewer travels toward the site, and its prominence increases fairly uniformly owed to the rising topography, and being a relatively isolated collection of structures in the landscape. The site is imperceptible on approach from the north west.

The visual qualities of the surrounding area are generally that it is sparsely developed, characterised by grass over hills and isolated trees. Though visible, the visual character of the area is not unreasonably impacted by reason of the additional building, which is clearly for a utilities purpose within an existing facility. The inclusion of further development within this compound will not contribute to an unreasonable impact on the visual qualities of the area already inclusive of a utilities compound (b).

The proposal is considered to comply.

<p>A2 <i>Building height, excluding a structure such as a tower, pole or similar:</i> <i>(a) within 10m of an adjoining property in a General Residential Zone, Low Density Residential Zone or Rural Living Zone, must be not more than 8.5m; or</i> <i>(b) within 10m of an adjoining property in an Inner Residential Zone, must be not more than 9.5m</i></p>	<p>P2 <i>Building height, within 10m of an adjoining property in a General Residential Zone, Inner Residential Zone, Low Density Residential Zone or Rural Living Zone, excluding a structure such as a tower, pole or similar, must not cause an unreasonable loss of residential amenity, having regard to:</i> <i>(a) compatibility with buildings on established properties in the adjoining zone;</i> <i>(b) overshadowing and reduction in sunlight to habitable rooms and private open space of dwellings;</i> <i>(c) overlooking and reduction of privacy to adjoining properties; and</i> <i>(d) visual impacts caused by the apparent scale, bulk or proportions of the building when viewed from the adjoining property.</i></p>
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The site adjoins the Agriculture Zone therefore A2/P2 are not applicable.

26.4.2 Setbacks

<p>A1 <i>Buildings, excluding a structure such as a tower, pole or similar, must have a setback from all boundaries of not less than:</i> <i>(a) 5m; or</i> <i>(b) an existing building on the lot.</i></p>	<p>P1 <i>Buildings, excluding a structure such as a tower, pole or similar, must be sited to not cause an unreasonable loss of amenity to adjoining properties, having regard to:</i> <i>(a) the topography of the site;</i> <i>(b) the size, shape and orientation of the site;</i> <i>(c) the setback of existing buildings on the site and on adjoining properties;</i> <i>(d) the bulk and form of proposed buildings;</i> <i>(e) overlooking and reduction of privacy of dwellings on adjoining properties;</i> <i>(f) overshadowing and reduction in sunlight to habitable rooms and private open space of dwellings on adjoining properties; and</i> <i>(g) any existing screening or the ability to implement screening.</i></p>
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The proposed Main Processing Building has a setback of approximately 4.5m. As such the proposal is reliant on the Performance Criteria.

The proposal is surrounded by agricultural land on a single property known as Kensington, at 627 Interlaken Road. There are no dwellings on the adjoining lot, or any lot with the same property identification number. The nearest dwelling is a separate property at 490 Interlaken Road, some 470m away.

The size and shape of the lot, as well as existing buildings necessitates the siting of the proposal (a) and (b). For (c), existing buildings all exceed 5m in setback, and the adjoining property does not have any buildings.

For (d) the bulk and form is utilitarian as required by the nature of the facility to house plant and equipment related to water treatment.

The degree of the impact on the amenity of the Kensington property is considered low when its use as pasture, and the proposal having no capacity for overlooking or overshadowing of a dwelling or private open space (e) and (f).

There is no screening proposed which is consistent with the existing facility (g).

The proposal is considered to comply.



<p>A2 Air extraction, refrigeration systems, compressors or generators must be separated a distance of not less than 10m from a General Residential Zone, Inner Residential Zone, Low Density Residential Zone and Rural Living Zone¹</p>	<p>P2 Air conditioning, air extraction, pumping, heating or refrigeration systems, compressors or generators within 10m of a General Residential Zone, Inner Residential Zone, Low Density Residential Zone or Rural Living Zone must be designed, located, baffled or insulated so as to not cause an unreasonable loss of residential amenity to the adjoining residential zones, having regard to: (a) the characteristics and frequency of emissions generated; (b) the nature of the proposed use; (c) the topography of the site and location of adjoining sensitive uses; and (d) any proposed or existing mitigation measures.</p>
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The proposal adjoins the Agriculture Zone, therefore A2/P2 is not an applicable standard.

26.4.3 Fencing

No fencing is proposed as part of this development.

26.4.4 Outdoor storage areas

<p>A1 Outdoor storage areas, excluding any goods for sale, must not be visible from any road or public open space adjoining the site.</p>	<p>P1 Outdoor storage areas, excluding any goods for sale, must be located, treated or screened to not cause an unreasonable loss of visual amenity.</p>
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No outdoor storage areas are proposed, therefore A1/P1 is not an applicable standard.

26.5 Development Standards for Subdivision

26.5.1 Subdivision

<p>A1 Each lot, or lot proposed in a plan of subdivision, must: (a) be required for public use by the Crown, a council or a State authority; (b) be required for the provision of Utilities; or (c) be for the consolidation of a lot with another lot provided both lots are within the same zone.</p>	<p>P1 Each lot, or lot proposed in a plan of subdivision, must have sufficient useable area and dimensions suitable for its intended use, having regard to: (a) the relevant requirements for development of buildings on the lot; (b) location of existing buildings on the lot; (c) likely location of buildings on the lot; and (d) accessibility for vehicles.</p>
<p>A2 Each lot, or lot proposed in a plan of subdivision, must have a frontage, or legal connection to a road by a right of carriageway, of not less than 3.6m.</p>	<p>P2 Each lot, or lot proposed in a plan of subdivision, must be provided with a frontage or legal connection to a road by a right of carriageway, that is sufficient for the intended use, having regard to: (a) the number of other lots which have the land subject to the right of carriageway as their sole or principal means of access; (b) the topography of the site; (c) the functionality and useability of the frontage; (d) the anticipated nature of vehicles likely to access the site;</p>

	<p>(e) the ability to manoeuvre vehicles on the site;</p> <p>(f) the ability for emergency services to access the site; and</p> <p>(g) the pattern of development existing on established properties in the area.</p>
<p>A3</p> <p>Each lot, or a lot proposed in a plan of subdivision, must be provided with a vehicular access from the boundary of the lot to a road in accordance with the requirements of the road authority.</p>	<p>P3</p> <p>Each lot, or a lot proposed in a plan of subdivision, must be provided with reasonable vehicular access to a boundary of a lot or building area on the lot, if any, having regard to:</p> <p>(a) the topography of the site;</p> <p>(b) the distance between the lot or building area and the carriageway;</p> <p>(c) the nature of the road and the traffic; and</p> <p>(d) the pattern of development existing on established properties in the area.</p>

The proposal is for a lot consolidation, as required for a Utilities use. As such, the proposal complies with A1(c). Further, the lot has access to a road via an access strip, and this is approximately 5m wide, thus complaint with both A2 and A3.

The proposal complies with each of the Acceptable Solutions of the applicable subdivision standards of the Utilities Zone.

26.5.2 Services

<p>A1</p> <p>Each lot, or lot proposed in a plan of subdivision, excluding those for public open space, a riparian or littoral reserve or Utilities, must have a connection to a reticulated sewerage system.</p>	<p>P1</p> <p>***</p>
<p>A2</p> <p>Each lot, or lot proposed in a plan of subdivision, excluding those for public open space, a riparian or littoral reserve or Utilities, must be capable of connecting to a public stormwater system.</p>	<p>P2</p> <p>***</p>

The proposal is for Utilities, and so services connections are not required.

Parking and Sustainable Transport Code [C2.0]

No use or development is exempt from assessment against this code (C2.1.1).

C2.5.1 Car Parking numbers

<p>A1</p> <p>The number of on-site car parking spaces must be no less than the number specified in Table C2.1, less the number of car parking spaces that cannot be provided due to the site including container refund scheme space, excluding if:</p> <p>(a) the site is subject to a parking plan for the area adopted by council, in which case parking provision (spaces or cash-in-lieu) must be in accordance with that plan;</p>	<p>P1.1</p> <p>***</p>
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(b) the site is contained within a parking precinct plan and subject to Clause C2.7;

(c) the site is subject to Clause C2.5.5; or (d) it relates to an intensification of an existing use or development or a change of use where:

(i) the number of on-site car parking spaces for the existing use or development specified in Table C2.1 is greater than the number of car parking spaces specified in Table C2.1 for the proposed use or development, in which case no additional on-site car parking is required; or

(ii) the number of on-site car parking spaces for the existing use or development specified in Table C2.1 is less than the number of car parking spaces specified in Table C2.1 for the proposed use or development, in which case on-site car parking must be calculated as follows:
 $N = A + (C - B)$
 N = Number of on-site car parking spaces required
 A = Number of existing on site car parking spaces
 B = Number of on-site car parking spaces required for the existing use or development specified in Table C2.1
 C = Number of on-site car parking spaces required for the proposed use or development specified in Table C2.1.

Under Table C2.1 Parking Space Requirements there is no requirement for car parking spaces for a Utilities use. Therefore the proposal complies with the Acceptable Solution.

C2.5.2 Bicycle parking numbers

Under Table C2.1 Parking Space Requirements, there is no requirement for bicycle parking spaces for a Utilities use. As such, clause C2.5.2 is not applicable.

C2.5.3 Motorcycle parking numbers

Clause C2.5.3 does not apply to a use within the Utilities Use Class.

C2.5.4 Loading bays

As a Utilities use, C2.5.4 is not an applicable standard per clause C2.2.3.

C2.5.5 Number of car parking spaces within the General Residential Zone and Inner Residential Zone

As the proposed development is not located within the General Residential Zone or the Inner Residential Zone, clause C2.5.5 is not applicable.

C2.6.1 Construction of parking areas

<p>A1</p> <p>All parking, access ways, manoeuvring and circulation spaces must:</p>	<p>P1</p> <p>***</p>
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<p>(a) be constructed with a durable all weather pavement;</p> <p>(b) be drained to the public stormwater system, or contain stormwater on the site; and</p> <p>(c) excluding all uses in the Rural Zone, Agriculture Zone, Landscape Conservation Zone, Environmental Management Zone, Recreation Zone and Open Space Zone, be surfaced by a spray seal, asphalt, concrete, pavers or equivalent material to restrict abrasion from traffic and minimise entry of water to the pavement.</p>	
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The proposal includes alterations to the vehicle access within Interlaken Road only. This access upgrade is to be constructed of a durable finish per (a), and stormwater generated by these surfaces is to be managed by the drainage within the road. As the access serves a use within the Agriculture Zone, a spray seal is not proposed per (c).

The proposal complies with the Acceptable Solution.

C2.6.2 Design and layout of parking areas

<p>A1.1</p> <p><i>Parking, access ways, manoeuvring and circulation spaces must either:</i></p> <p>(a) comply with the following:</p> <p>(i) have a gradient in accordance with Australian Standard AS 2890 - Parking facilities, Parts 1-6;</p> <p>(ii) provide for vehicles to enter and exit the site in a forward direction where providing for more than 4 parking spaces;</p> <p>(iii) have an access width not less than the requirements in Table C2.2;</p> <p>(iv) have car parking space dimensions which satisfy the requirements in Table C2.3;</p> <p>(v) have a combined access and manoeuvring width adjacent to parking spaces not less than the requirements in Table C2.3 where there are 3 or more car parking spaces;</p> <p>(vi) have a vertical clearance of not less than 2.1m above the parking surface level; and</p> <p>(vii) excluding a single dwelling, be delineated by line marking or other clear physical means; or</p> <p>(b) comply with Australian Standard AS 2890- Parking facilities, Parts 1-6.</p> <p>A1.2</p> <p><i>Parking spaces provided for use by persons with a disability must satisfy the following:</i></p> <p>(a) be located as close as practicable to the main entry point to the building;</p> <p>(b) be incorporated into the overall car park design; and</p>	<p>P1</p> <p><i>All parking, access ways, manoeuvring and circulation spaces must be designed and readily identifiable to provide convenient, safe and efficient parking, having regard to:</i></p> <p>(a) the characteristics of the site;</p> <p>(b) the proposed slope, dimensions and layout;</p> <p>(c) useability in all weather conditions;</p> <p>(d) vehicle and pedestrian traffic safety;</p> <p>(e) the nature and use of the development;</p> <p>(f) the expected number and type of vehicles;</p> <p>(g) the likely use of the parking areas by persons with a disability;</p> <p>(h) the nature of traffic in the surrounding area;</p> <p>(i) the proposed means of parking delineation; and</p> <p>(j) the provisions of Australian Standard AS 2890.1:2004 - Parking facilities, Part 1: Off-street car parking and AS 2890.2 -2002 Parking facilities, Part 2: Off-street commercial vehicle facilities.</p>
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(c) be designed and constructed in accordance with Australian/New Zealand Standard AS/NZS 2890.6:2009 Parking facilities, Off-street parking for people with disabilities. 1

Car parking and access ways will not exceed 12.5% for the access way, and are relatively flat internally (i). There is sufficient space for onsite turning for ordinary vehicles, and the design of accessways will allow for continuous movements for service vehicles (ii). Access widths are proposed at 5m, which exceeds the requirements of Table C2.3, inclusive of sufficient passing width within the site (iii).

Car parks are provided at 90° from the internal access. These spaces have a width of 3m and length of 5.5m, thereby requiring a combined access and manoeuvring width of 5.2m per the Table C2.1. The proposal provides for approximately 8.3m which complies (v).

For (vi) the carparks are open and vertical clearance is not relevant.

The proposal complies with the Acceptable Solution.

C2.6.3 Number of accesses for vehicles

<p>A1</p> <p><i>The number of accesses provided for each frontage must:</i></p> <p><i>(a) be no more than 1; or</i></p> <p><i>(b) no more than the existing number of accesses, whichever is the greater.</i></p>	<p>P1</p> <p><i>The number of accesses for each frontage must be minimised, having regard to:</i></p> <p><i>(a) any loss of on-street parking; and</i></p> <p><i>(b) pedestrian safety and amenity;</i></p> <p><i>(c) traffic safety;</i></p> <p><i>(d) residential amenity on adjoining land; and</i></p> <p><i>(e) the impact on the streetscape.</i></p>
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The proposal is for a single vehicle cross over at each frontage, thereby compliant with A1.

<p>A2</p> <p><i>Within the Central Business Zone or in a pedestrian priority street no new access is provided unless an existing access is removed.</i></p>	<p>P2</p> <p><i>Within the Central Business Zone or in a pedestrian priority street, any new accesses must:</i></p> <p><i>(a) not have an adverse impact on:</i></p> <p><i>(i) pedestrian safety and amenity; or</i></p> <p><i>(ii) traffic safety; and</i></p> <p><i>(b) be compatible with the streetscape.</i></p>
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The site is not within the Central Business Zone, or a pedestrian priority street, therefore A2/P2 is not applicable.

C2.6.4 Lighting of parking areas within the General Business Zone and Central Business Zone

The subject site is not located within either the General Business Zone or the Central Business Zone, as such, clause 2.6.4 is not applicable.

C2.6.5 Pedestrian access

<p>A1.1</p> <p><i>Uses that require 10 or more car parking spaces must:</i></p> <p><i>(a) have a 1m wide footpath that is separated from the access ways or parking aisles, excluding where crossing access ways or parking aisles, by:</i></p> <p><i>(i) a horizontal distance of 2.5m between the edge of the footpath and the access way or parking aisle; or</i></p> <p><i>(ii) protective devices such as bollards, guard rails or planters between the footpath and the access way or parking aisle; and</i></p> <p><i>(b) be signed and line marked at points where pedestrians cross access ways or parking aisles.</i></p> <p>A1.2</p> <p><i>In parking areas containing accessible car parking spaces for use by persons with a disability, a footpath having a width not less than 1.5m and a gradient not steeper than 1 in 14 is required from those spaces to the main entry point to the building.</i></p>	<p>P1</p> <p>***</p>
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The proposal does not require or provide for more than 10 car parking spaces therefore C2.6.5 is not an applicable standard.

C2.6.6 Loading bays

No loading bays are proposed with this application, therefore, sub-clauses under C2.5.4 are not applicable. Notwithstanding the absence of a loading bay, commercial vehicles are able to enter and exit the site in a forward direction.

C2.6.7 Bicycle parking and storage facilities within the General Business Zone and Central Business Zone

The subject site is not located within either the General Business Zone or the Central Business Zone, as such, clause 2.6.4 is not applicable.

C2.6.8 Siting of parking and turning areas

The site is within the Agriculture Zone and so C2.6.8 is not an applicable standard.

C2.7 Parking Precinct Plan

There is no parking precinct plan on the subject site, as such clause 2.7 and sub clauses are not applicable to the proposal.



Road and Railway Assets Code [C3.0]

There are no exemptions from Road and Railway Assets Code, therefore provisions under C3.0 need to be considered.

C3.5.1 Traffic generation at a vehicle crossing, level crossing or new junction

<p>A1.1 <i>For a category 1 road or a limited access road, vehicular traffic to and from the site will not require:</i></p> <p>(a) a new junction; (b) a new vehicle crossing; or (c) a new level crossing.</p> <p>A1.2 <i>For a road, excluding a category 1 road or a limited access road, written consent for a new junction, vehicle crossing, or level crossing to serve the use and development has been issued by the road authority.</i></p> <p>A1.3 <i>For the rail network, written consent for a new private level crossing to serve the use and development has been issued by the rail authority.</i></p> <p>A1.4 <i>Vehicular traffic to and from the site, using an existing vehicle crossing or private level crossing, will not increase by more than:</i></p> <p>(a) the amounts in Table C3.1; or (b) allowed by a licence issued under Part IVA of the Roads and Jetties Act 1935 in respect to a limited access road.</p> <p>A1.5 <i>Vehicular traffic must be able to enter and leave a major road in a forward direction.</i></p>	<p>P1 <i>Vehicular traffic to and from the site must minimise any adverse effects on the safety of a junction, vehicle crossing or level crossing or safety or efficiency of the road or rail network, having regard to:</i></p> <p>(a) any increase in traffic caused by the use; (b) the nature of the traffic generated by the use; (c) the nature of the road; (d) the speed limit and traffic flow of the road; (e) any alternative access to a road; (f) the need for the use; (g) any traffic impact assessment; and (h) any advice received from the rail or road authority.</p>
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The proposal is reliant on an existing access to Interlaken Road. The number of vehicle movements is not considered to increase beyond those provided for in the Table C3.1. the proposal therefore complies with A1.4.



Bushfire-Prone Areas Code [13.0]

The site is subject to a bushfire-prone area overlay. As the proposal is not for subdivision, nor for a vulnerable or hazardous use, the Bushfire-prone areas code does not apply. On whether the site will be for a hazardous use, it has been confirmed with TasWater that the chemicals stored on site are not of a manifest quantity as considered against Schedule 11 of the *Work Health and Safety Regulations 2022*.

Importantly, though lot consolidation is proposed, lot consolidation is not subdivision as defined within the Scheme or the *Local Government (Building and Miscellaneous Provisions) Act 1993*.

Conclusion

This report has been prepared in support of a Planning Application for the development of a Water Treatment Plant at Interlaken Road, Interlaken.

The application is to be lodged with Central Highlands Council for assessment.

The proposal has been considered against the development standards of Agriculture Zone, Parking and Sustainable Transport Code and the Road and Railway Assets Code. The proposal generates the following discretions under the *Tasmanian Planning Scheme -Central Highlands*:

- 21.3.1 Discretionary Uses P1 & P2
- 26.4.1 Building Height P1
- 26.4.2 Setbacks P1

The proposal has been assessed against all relevant scheme criteria and is found to either comply with the Acceptable Solutions or satisfy the relevant Performance Criteria.

The application is considered to be acceptable with respect to the Planning Scheme requirements and therefore ought to be supported by the Planning Authority.



APPENDIX A

Title Information



SEARCH OF TORRENS TITLE

VOLUME 175672	FOLIO 1
EDITION 1	DATE OF ISSUE 09-May-2019

SEARCH DATE : 06-Jan-2025

SEARCH TIME : 04.31 PM

DESCRIPTION OF LAND

Parish of DULVERTON Land District of SOMERSET
 Lot 1 on Plan 175672
 Derivation : Part of 700 Acres Granted to Thomas Anstey
 Prior CT 105544/1

SCHEDULE 1


M680349 TRANSFER to TASMANIAN WATER & SEWERAGE CORPORATION
 PTY LTD Registered 09-May-2019 at noon

SCHEDULE 2

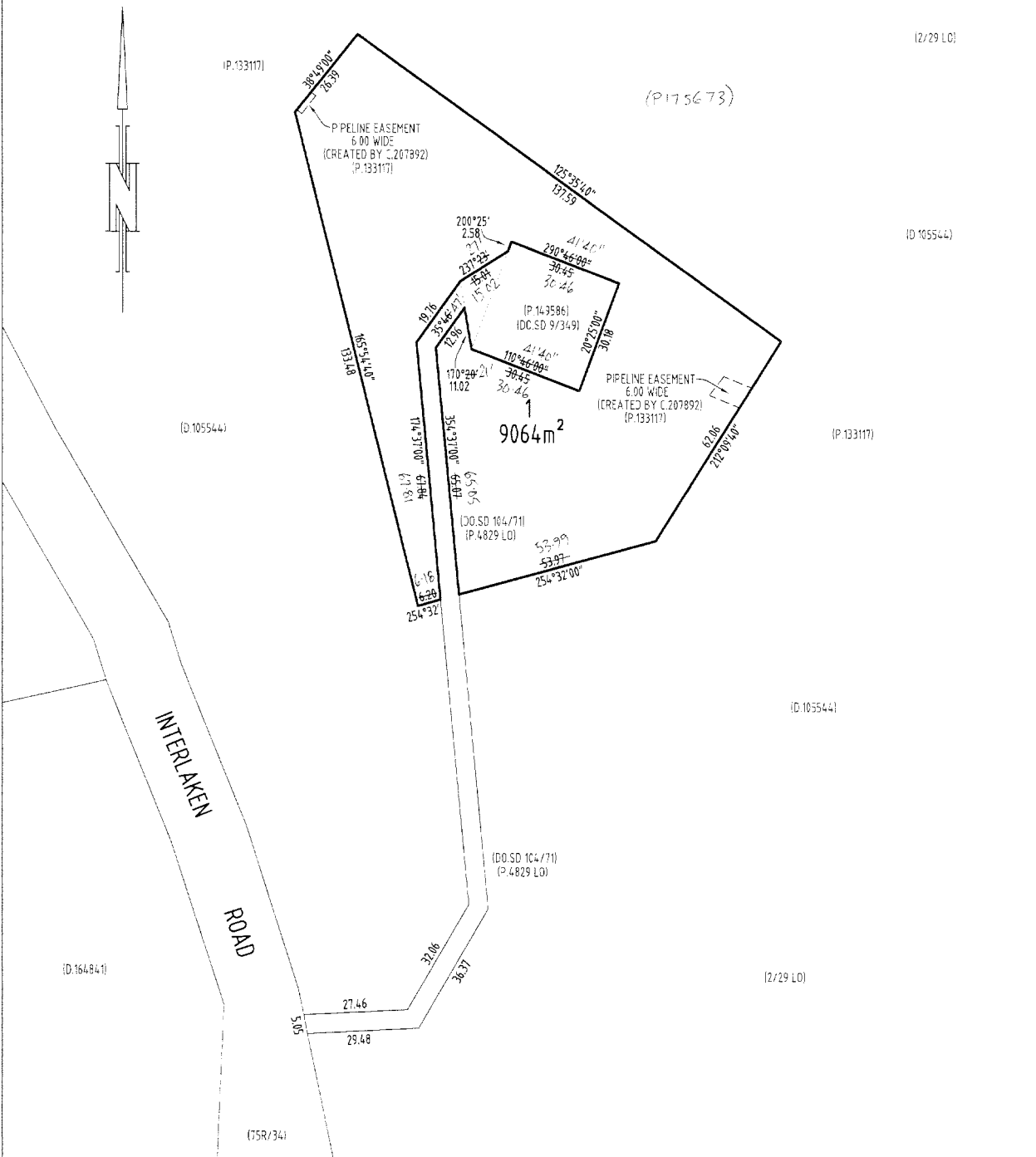
Reservations and conditions in the Crown Grant if any
 C207892 BURDENING EASEMENT: Pipeline Easement in favour of
 the Southern Midlands Council over the land marked
 Pipeline Easement 6.00 wide on Plan 175672
 Registered 25-Feb-2000 at noon

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

OWNER: BRIAN JOHN FISH & LYNETTE FISH FOLIO REFERENCE: CT.105544-1 GRANTEE: PART OF LOT 700 ACRES GRANTED TO THOMAS ANSTEY		<h3>PLAN OF SURVEY</h3> BY SURVEYOR TIMOTHY LEIGH GOWLLAND ROGERSON AND BIRCH SURVEYORS UNIT 1 - 2 KENNEDY DRIVE, CAMBRIDGE PARK PH 6248-5898 MOB. 0419-594-966 <h3>LAND DISTRICT OF SOMERSET PARISH OF DULVERTON</h3> SCALE 1: 1000 LENGTHS IN METRES		REGISTERED NUMBER <h2 style="text-align: center;">P175672</h2> APPROVED EFFECTIVE FROM 3 MAY 2019  DEPUTY.. Recorder of Titles	
MAPSHEET MUNICIPAL CODE No. 125 (5231)	LAST UPI No. 2084471	LAST PLAN No. D.105544	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN		

(SP.104328) LOT 1 IS COMPILED FROM CT 145586-1, Conv. 52/5913 & THIS SURVEY



SEARCH OF TORRENS TITLE

VOLUME 149586	FOLIO 1
EDITION 3	DATE OF ISSUE 10-Dec-2013

SEARCH DATE : 06-Jan-2025

SEARCH TIME : 04.31 PM

DESCRIPTION OF LAND

Parish of DULVERTON Land District of DEVON

Lot 1 on Plan 149586

Derivation : Part of 700 Acres Granted to Thomas Anstey

Derived from A23299

SCHEDULE 1

D103996 TASMANIAN WATER AND SEWERAGE CORPORATION PTY LIMITED
Registered 10-Dec-2013 at noon

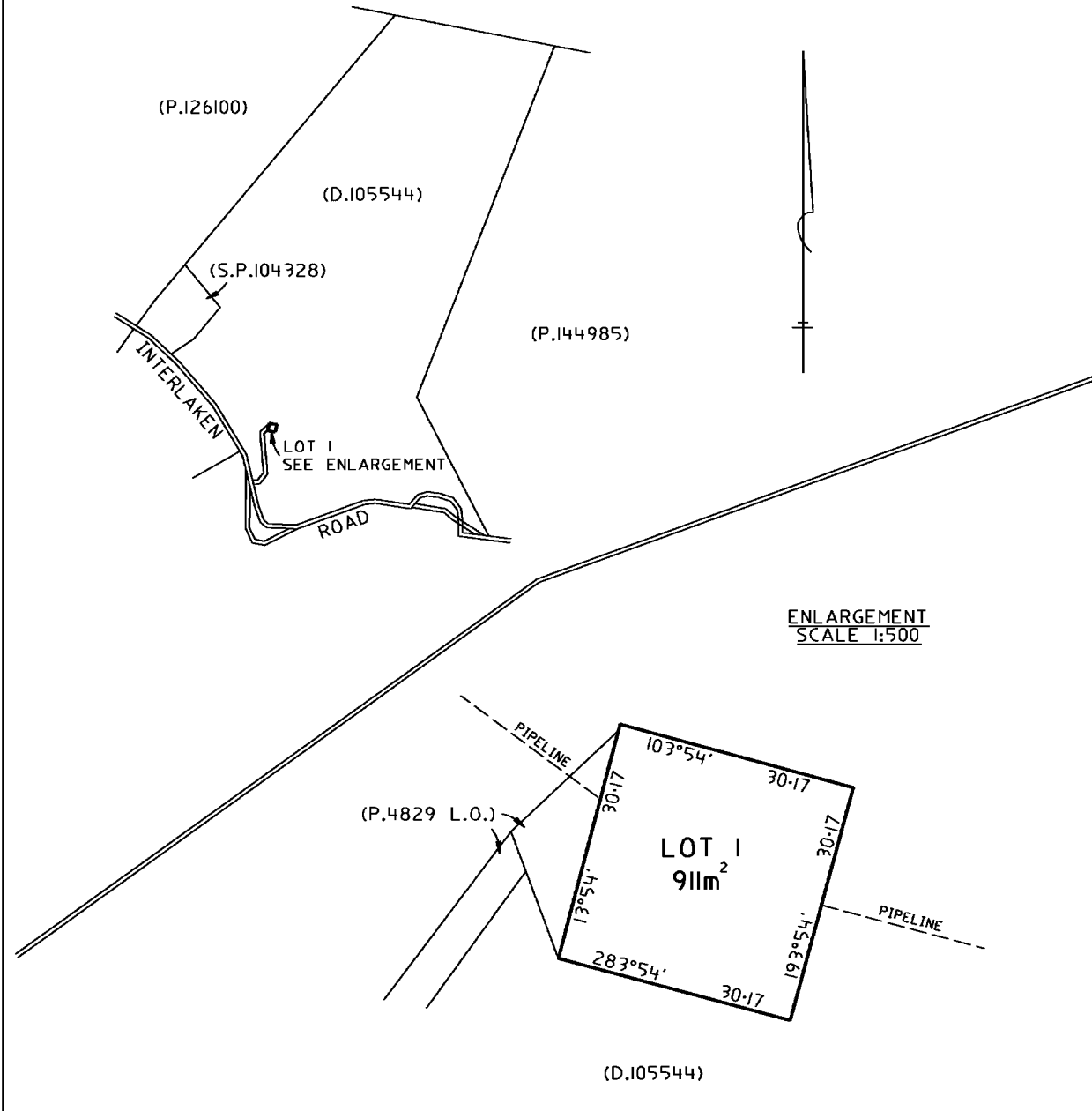
SCHEDULE 2

Reservations and conditions in the Crown Grant if any

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

OWNER LAND TITLES ACT 1980 FOLIO REFERENCE A.23299 GRANTEE PART OF 700 ACRES GRANTED TO THOMAS ANSTEY		<h3 style="text-align: center;">PLAN OF TITLE</h3> LOCATION SOMERSET - DULVERTON FIRST SURVEY PLAN No. 9/349 D.O. COMPILED BY L.D.R.B. SCALE 1: 15000 LENGTHS IN METRES		Registered Number <h2 style="text-align: center;">P.149586</h2> APPROVED 16 JAN 2007 <i>Alice Kawa</i> Recorder of Titles	
MAPSHEET MUNICIPAL CODE No. 125 (5231)	LAST UPI No 2501592	LAST PLAN No.	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN		



ENLARGEMENT
SCALE 1:500

AC

4829

PLAN DOCUMENT

A.M.G. Co-ordinates - Zone 55

[illegible]

010627

DOCUMENT

SURVEYORS CERTIFICATE

I, Peter David Binny

of Hobart

hereby certify that this survey, accompanying survey notes
and plan:-

1. Complies with relevant legislation affecting surveys, and
2. Is based upon the best evidence that the nature of the case admits

P. Benning
Registered Surveyor

Date 16.8.76

ENTERED BY SURVEYOR

Instruction No. 1752

Date of Instruction 26-4-1976

Survey Completed 18-6-1976

Accuracy of Closure 1:24000 & 1:13000

Positional Accuracy

OFFICE EXAMINATION

Examined for :-

Computations M.D.H. 5 7 1976

Regulations 20/7/76

Boundaries acp 20/7/76

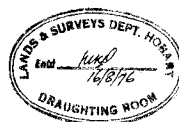
Survey Co-ordination 14/5/76

Survey Approved for Registration

Hane
Examiner of Surveys
11.8.76.

Charted 6.8.76 R.H.

Microfilmed



Final Copies and Reports to R.E. 16/8/76

PLAN OF SURVEY

Situate in the

LAND DISTRICT OF SOMERSET
PARISH OF DULVERTON

Municipality of Oatlands

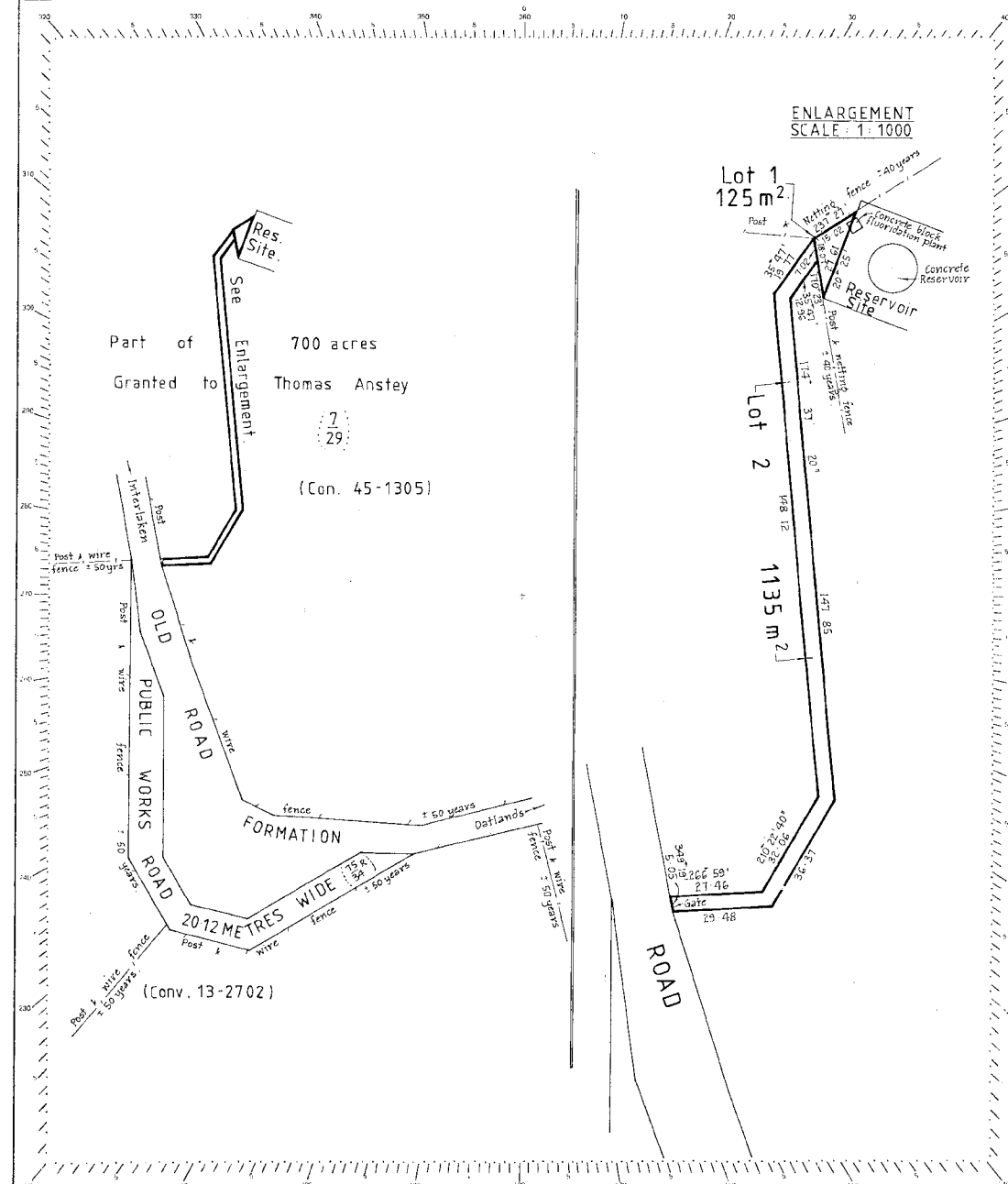
Registered Number	
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4 8 2 9

Registered Surveyor P. D. Binny

Scale 1 : 2000

Map Ref Lake Sorell 1:100 000-8313



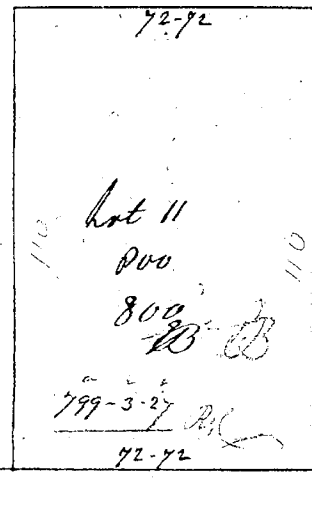
P. Benney
Registered Surveyor
16. 7. 1976.

N.B: Originals attached to file.

Somerset

Lot 11 Tho. Anstey 800. Dulverton Parish

Bounded on the East side by a North line 110 chains commencing at the North East angle Grant to James Mackerssey On the North side a West line of 72 chains 72 links On the West side by a South line of 110 chains to Jas. Mac Grant and on the South side by Mackerssey



Lot 11

Mackerssey

Thomas Anstey Pier

Lot 10

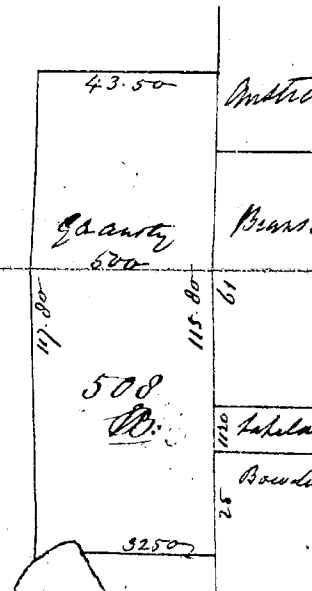
1528

1335

Scale - 40 - chains to an inch

Lot 10. Tho. Anstey 1258. Dulverton Parish

Bounded on the South by Grants to James Mackerssey on Anstey On the West side by a North line of 131 chains from the North West of E. Ansties Grant On the North side by an East line of 132 chains to the boundary of Lot 11 and on the East side by Lot 11 and a Grant to James Mackerssey



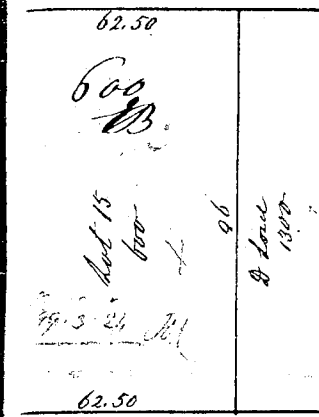
Gen. Alex. Anstey 500. Dulverton Parish

Bounded on the East side by 25 chains along the West boundary of the Bradens Grant, by the boundary of Grants to Lakeland and Bradens and by 18 chains 60 links along the West boundary of E. Ansties Grant On the North side by a line of 43 chains 50 links On the West side South line of 117 chains 80 links to the Dulverton Rivulet, and on the South side by a West line from Bradens Grant to the Rivulet in part of the Rivulet -

057948

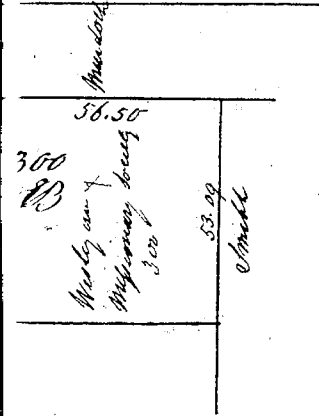
Somerset
Lot 15 David Lord 600 acres Catlands Parish 29

Bounded on the South side by a West line of 62 chains 50 links commencing at the South West angle of his 1300 acre Grant, On the West side by a North line of 96 chains, on the North side by an East line of 62 chains 50 links to the North East angle of his Grant, and on the East side by the West boundary of his 1300 acre Grant



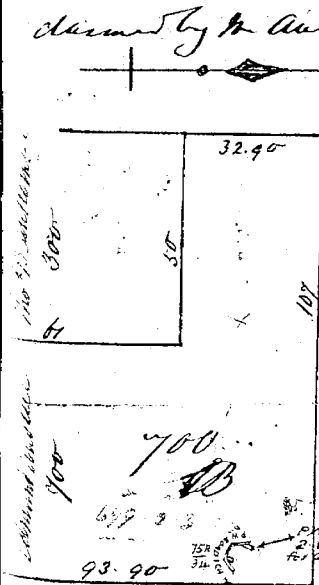
Wesleyan Missionary Society 300

Bounded on the North side by 53 chains 9 links along the South boundary of a grant to David Lord, On the East side by a South line of 56 chains 50 links from the South East angle of Lord's grant to the North East angle of Smith's Grant On the South side by 53 chains 9 links along the North boundary of Smith's Grant And on the West side by a North line to David Lord's Grant

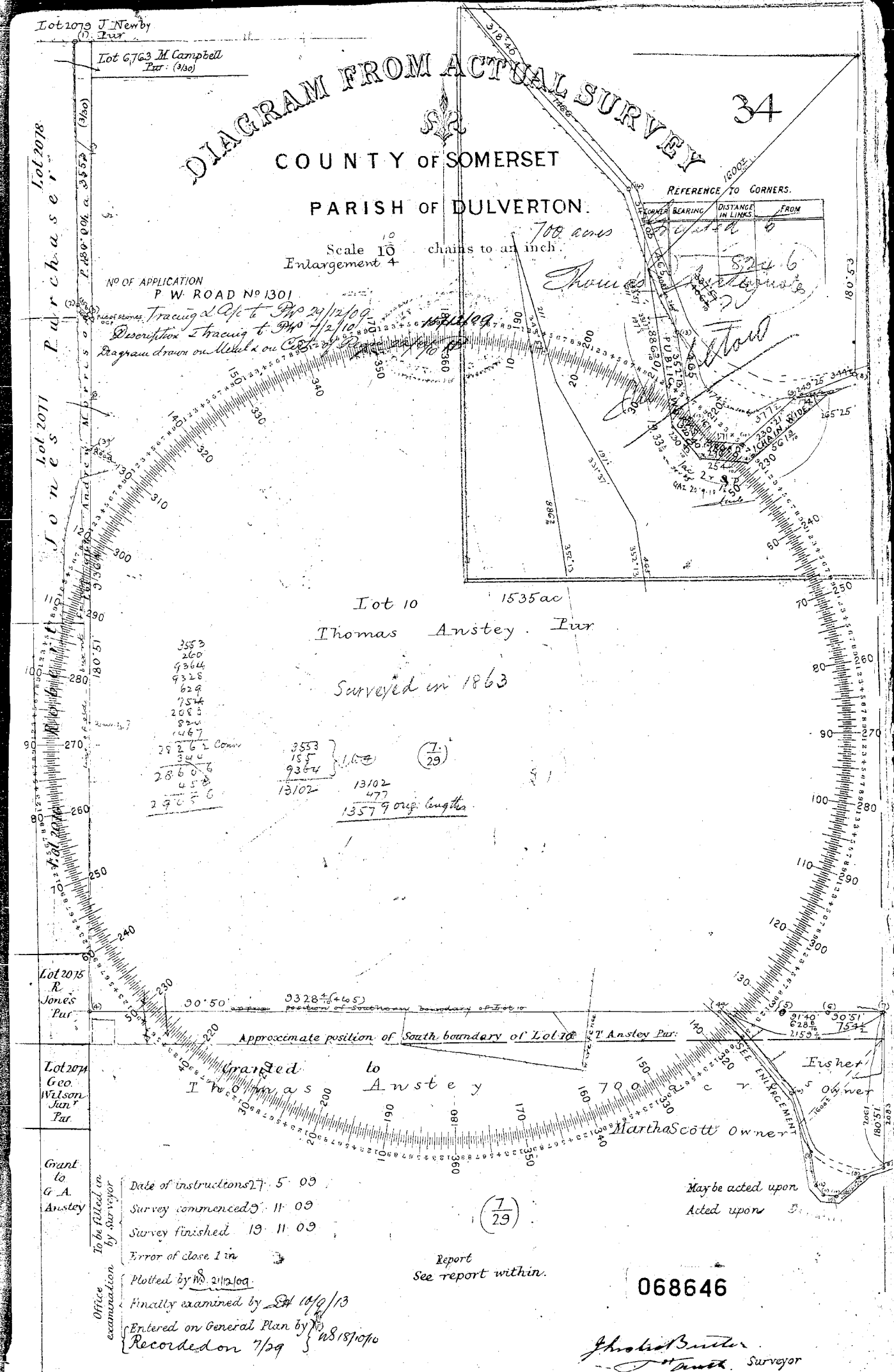
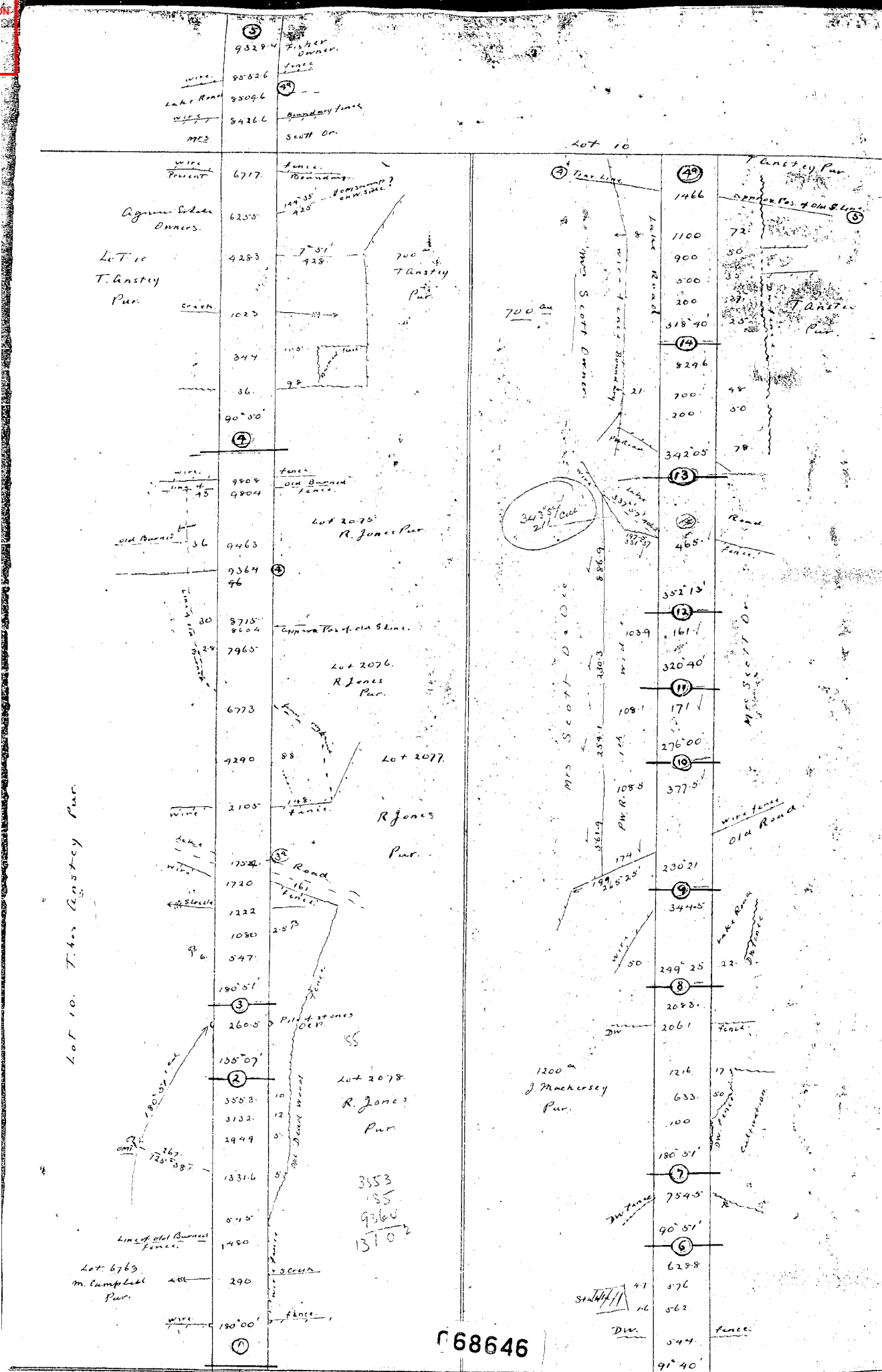


Edmund Anstey 700. Dulverton Parish

Bounded on the East side by a Grant to Thomas Branscombe and a North line of 32 chains 90 links from the North West angle of Thomas Branscombes Grant On the North side by an East line of 107 chains to a Grant to Jas. Mackerssey, On the East side by Mackerssey's Grant to the North boundary of a Grant to W. B. G. and on the South side by Grants to W. B. G. to John Lakeland and Thomas Branscombe



057948



Field notes of survey of P.W.R. through Property of Mrs. Scott, Somerset, Dulverton, standing at the New North Lot 6763 Mary Campbell Pur.

Grant to G.A. Anstey
To be filled in by Surveyor
Office examination

Date of instructions 27. 5. 09
Survey commenced 5. 11. 09
Survey finished 19. 11. 09
Error of close 1 in 3
Plotted by H.D. 21/12/09
Finally examined by E.H. 10/2/10
Entered on General Plan by 18/10/10
Recorded on 7/29 18/10/10

Report
See report within.

068646

John B. Butler
Surveyor

SEARCH OF TORRENS TITLE

VOLUME 175673	FOLIO 1
EDITION 1	DATE OF ISSUE 09-May-2019

SEARCH DATE : 07-Apr-2025

SEARCH TIME : 11.26 AM

DESCRIPTION OF LAND

Parish of DULVERTON Land District of SOMERSET
 Lot 1 on Plan 175673
 Being the land described in Conveyance No.45/1305
 Excepting thereout Conveyance No.52/5913, Conveyance No.54/1994,
 Lot 1 (5.198ha) Sealed Plan No.104328 and Lot 1 (9064m2) Plan
 175672
 Derivation : Part of Lot 10 1535-0-0 Granted by Thomas Anstey,
 700-0-0 Granted to Thomas Anstey and 1200-0-0 Located to James
 Mackersey
 Prior CT 105544/1

SCHEDULE 1

B682785 TRANSFER to BRIAN JOHN FISH and LYNETTE FISH
 Registered 10-Aug-1993 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
 C207892 BURDENING EASEMENT: pipeline easement in favour of
 the Southern Midlands Council over the land marked
 Pipeline Easement 6.00 wide on Plan 175673
 Registered 25-Feb-2000 at noon
 C987226 BURDENING WAYLEAVE EASEMENT with the benefit of a
 restriction as to user of land in favour of Aurora
 Energy Pty Ltd over the land marked Wayleave Easement
 12.00 wide on Plan 175673 (Subject to Provisions)
 Registered 01-Nov-2010 at noon

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

OWNER BRIAN JOHN FISH LYNETTE FISH		PLAN OF TITLE		REGISTERED NUMBER P175673
FOLIO REFERENCE C.T.105544-1		LOCATION LAND DISTRICT OF SOMERSET PARISH OF DULVERTON		APPROVED EFFECTIVE FROM 3 MAY 2019
GRANTEE: PART OF 1200-0-0 LOCATED TO JAMES MACKERSEY, PART OF LOT 10, 1535-0-0 GTD TO THOMAS ANSTEY, PART OF 700-0-0 GTD TO THOMAS ANSTEY		FIRST SURVEY PLAN No. COMPILED FROM: D.105544 COMPILED BY ROGERSON & BIRCH SURVEYORS		
MAPSHEET MUNICIPAL CODE No. 125		LAST UPI No.		DEPUTY... Recorder of Titles
		LAST PLAN No. D.105544		ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN

SKETCH BY WAY OF ILLUSTRATION ONLY

LENGTHS ARE IN METRES

"EXCEPTED LANDS"

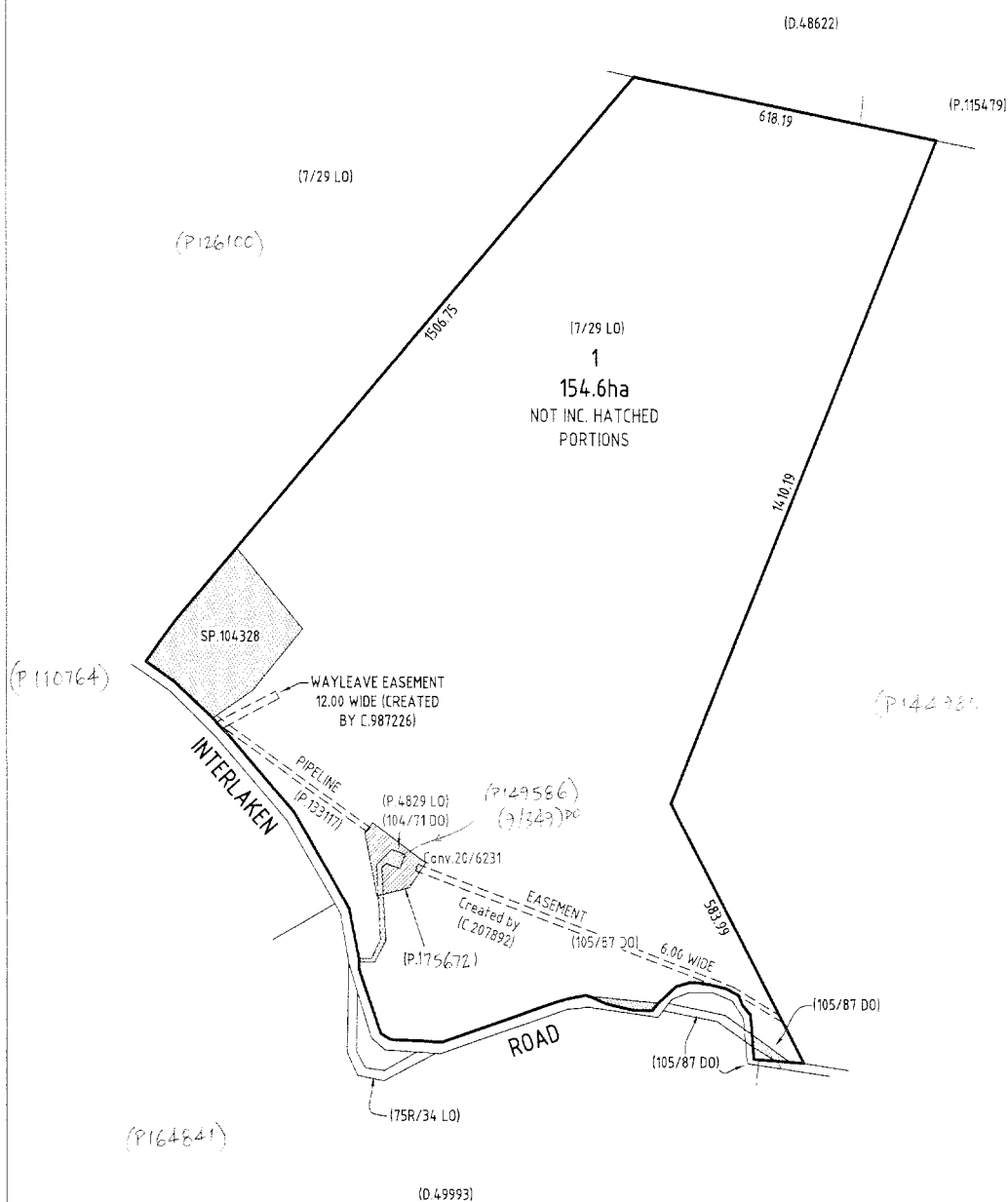
CONVEYANCE NO. 52/5913 (125m² & 1135m²) 104/71D.0

CONVEYANCE NO. 54/1994 (1502m² & 1541m²) 105/87D.0

LOT 1 (5.198ha) SP.104328

LOT 1 (9064m²) P.175672

BALANCE PLAN



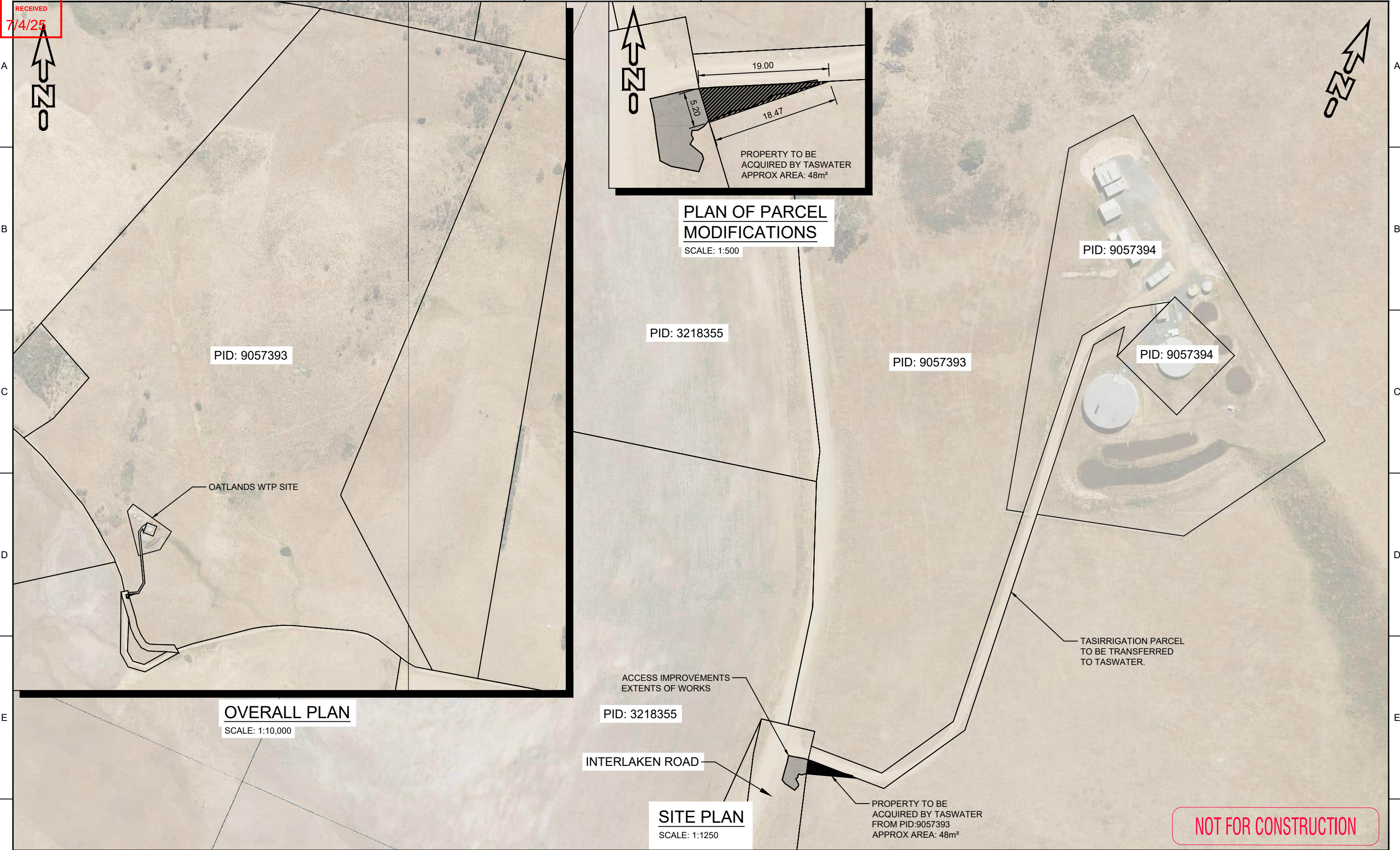


APPENDIX B

Proposal Plans



SMC - KEMPTON
RECEIVED
7/4/25



OVERALL PLAN
SCALE: 1:10,000

PLAN OF PARCEL
MODIFICATIONS
SCALE: 1:500

SITE PLAN
SCALE: 1:1250

Rev.No.	Amendment	Date	Authorised
A	ISSUED FOR INFORMATION	04/04/2025	J.Livingston

 **TasWater**
Capital Delivery Office

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Scale	AS SHOWN
Datum	GDA2020
Sheet Size	A3
References	

DESIGN				REVIEW			
Drawn	Checked	DATE		Checked	DATE		
A.Watt	TWCDO	04/04/2025		J.Livingston	TWCDO	04/04/2025	
Designed	Approved	DATE		Approved	DATE		
J.Livingston	TWCDO	04/04/2025		J.Livingston	TWCDO	04/04/2025	

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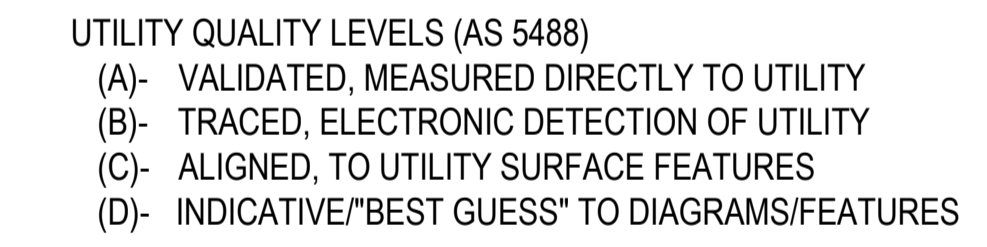
Drawing Issue

**FOR
INFORMATION**

OATWT02 - OATLANDS
WATER TREATMENT PLANT
0172 - REGIONAL TOWNS STAGE 4
TITLE BOUNDARY DETAILS

0172-DSK-OATWT02-GA-0006

1 of 1 A

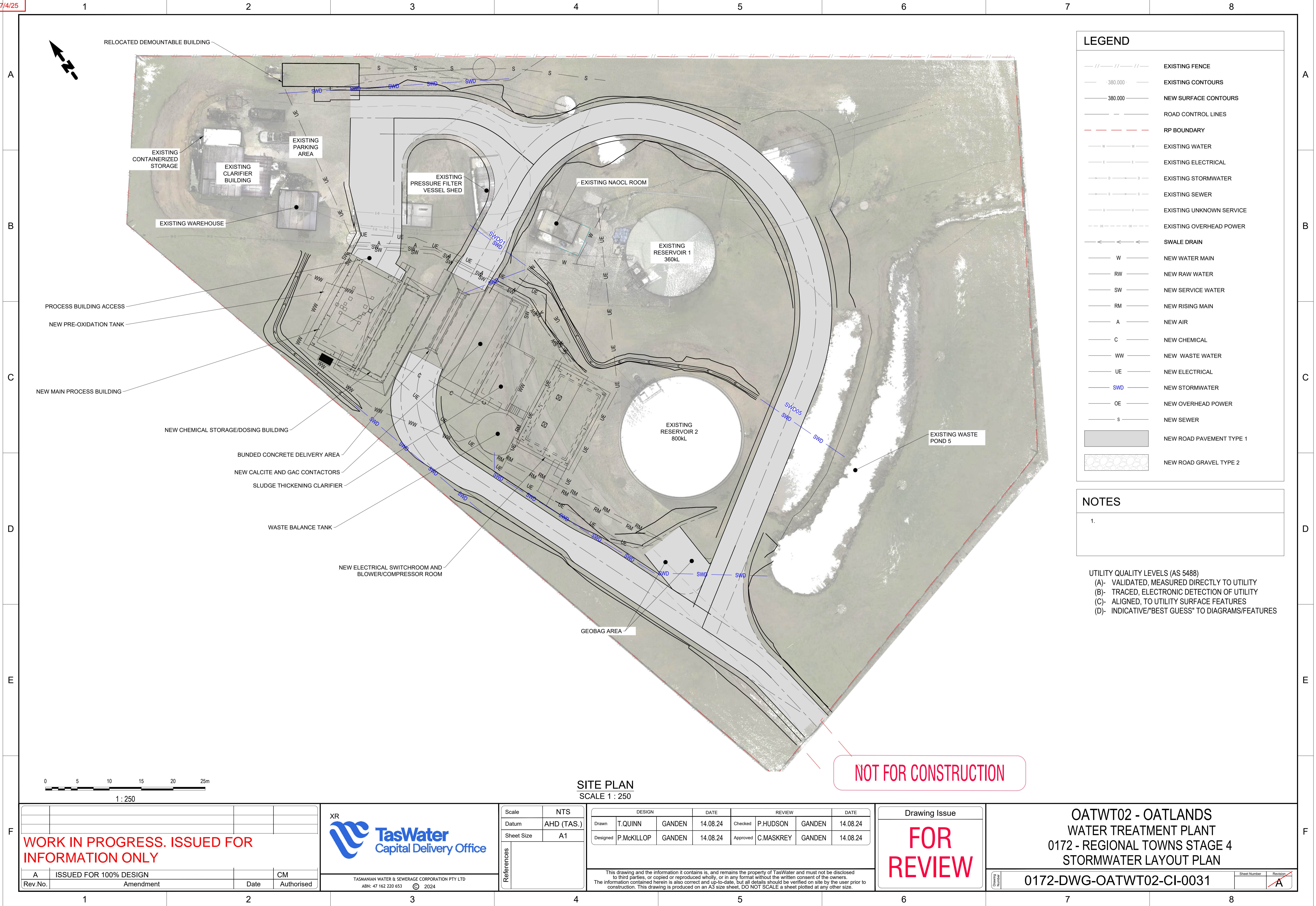


NOT FOR CONSTRUCTION

OATWT02 - OATLANDS WATER TREATMENT PLANT 0172 - REGIONAL TOWNS STAGE 4 OVERALL SITE LAYOUT PLAN



Sheet Number	Revision
	B



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A	ISSUED FOR 100% DESIGN	CM
Rev.No.	Amendment	Date



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Scale	NTS
Datum	AHD (TAS.)
Sheet Size	A1
References	

DESIGN	DATE	REVIEW	DATE
Drawn T.QUINN	GANDEN	14.08.24	Checked P.HUDSON
Designed P.McKILLOP	GANDEN	14.08.24	Approved C.MASKREY

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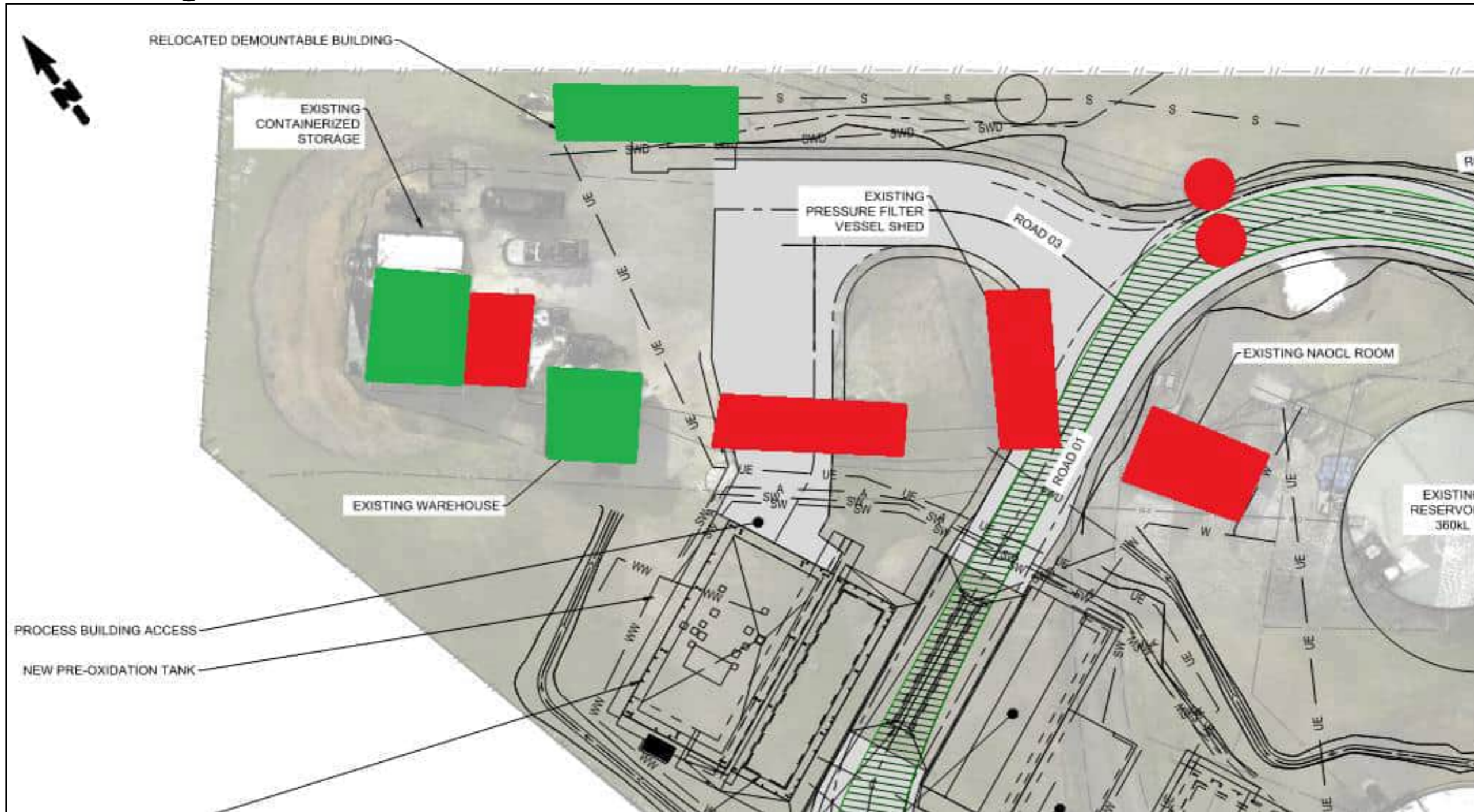
Drawing Issue
FOR REVIEW

OATWT02 - OATLANDS
WATER TREATMENT PLANT
0172 - REGIONAL TOWNS STAGE 4
STORMWATER LAYOUT PLAN

0172-DWG-OATWT02-CI-0031

Sheet Number	Revision
	A

Building Removal/Retainment Plan



Plan identifying existing buildings to be retained (Green) and removed or relocated (Red). Not to Scale.

D - 01

A

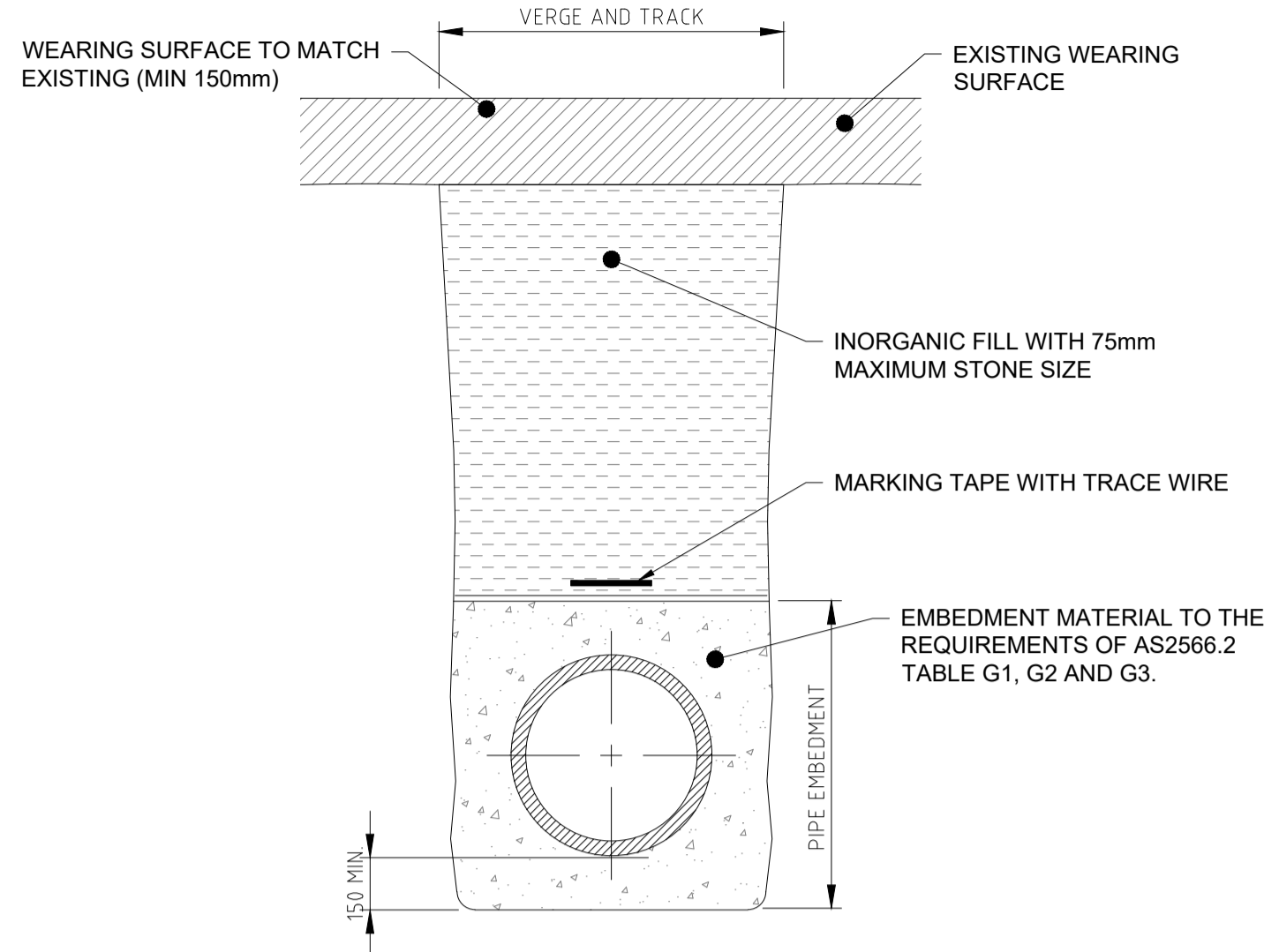
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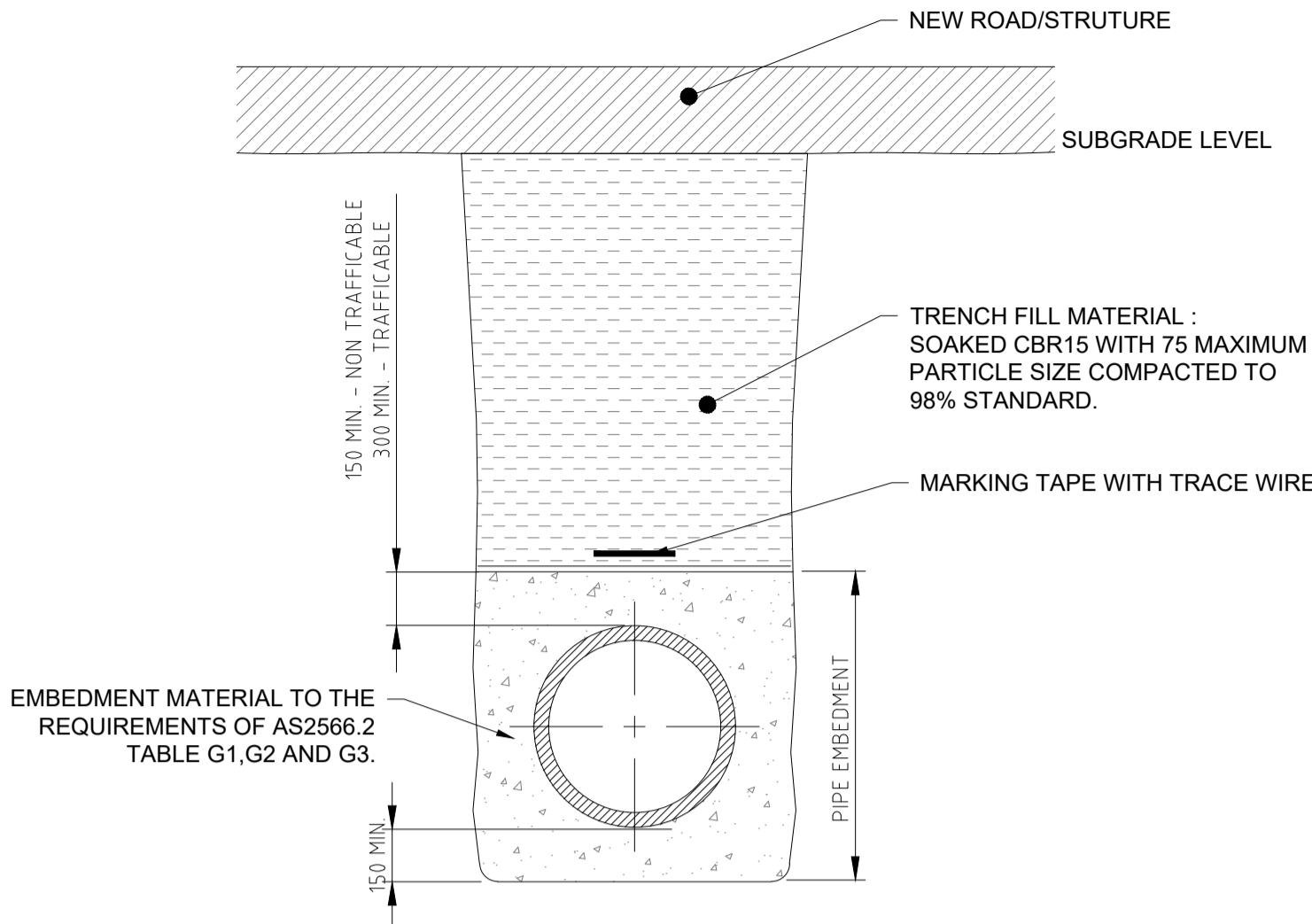
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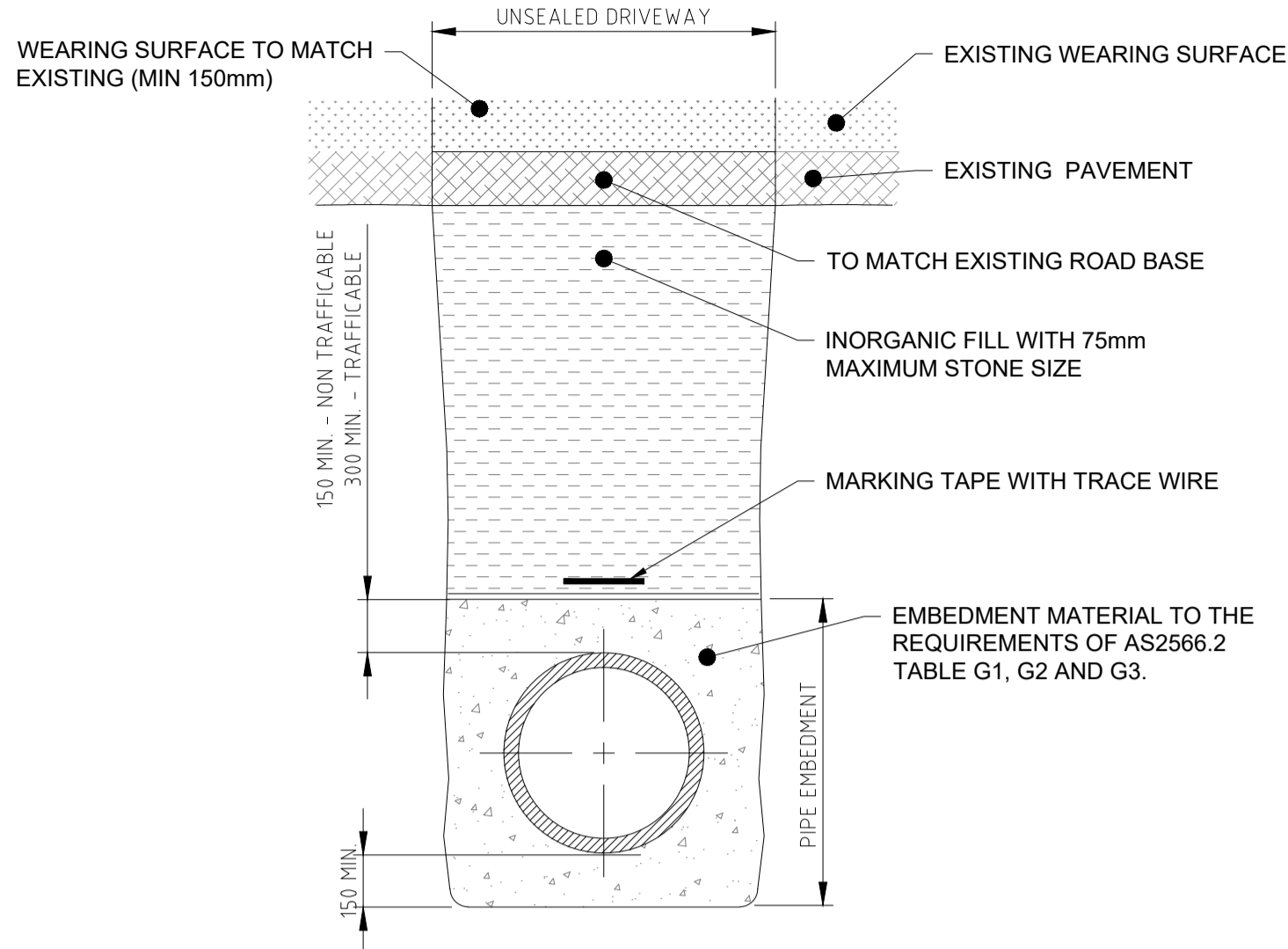
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TRENCH TYPE 1
CONSTRUCTION IN VERGE AND TRACKS
N.T.S.



TRENCH TYPE 2
CONSTRUCTION UNDER NEW ROADS AND STRUCTURES
N.T.S.



TRENCH TYPE 3
CONSTRUCTION UNDER UNSEALED ROADS
N.T.S.

NOTES

- ALL DIMENSIONS IN MILLIMETRES.
- PIPE CLASSIFICATION
 - RIGID PIPES: VC AND RC
 - FLEXIBLE PIPES: PVC, GRP, STEEL, DI AND PE.
- FOR PAVEMENT AND SURFACE FINISH DETAILS, REFER TO 0172-DWG-OATWT02-CI-0010.
- A GEOTEXTILE BARRIER SHALL BE PROVIDED AT THE INTERFACE OF EMBEDMENT ZONE AND THE TRENCH FILL ZONE.
- PLACEMENT OF EMBEDMENT, TRENCHFILL & COMPACTION TO MEET THE REQUIREMENTS OF THE MRWA & WSAA CODES & TASWATER SUPPLEMENT.
- EXCAVATE OR COMPACT TRENCH FLOOR TO PROVIDE A FLAT FIRM BASE TO SUPPORT BEDDING MATERIAL AND MINIMISE PIPELINE SETTLEMENT. WHEN EXCAVATED, REPLACE WITH GRANULAR MATERIAL AS SPECIFIED FOR BEDDING.
- ENSURE BEDDING IS DEEP ENOUGH THAT PIPE JOINT PROJECTIONS (SOCKETS, FLANGES) DO NOT TOUCH TRENCH FLOOR.
- THE ALIGNMENT OF ALL PIPES SHALL BE DEFINED BY A MARKER TAPE PLACED AS SHOWN AT TOP OF EMBEDMENT. THE TAPE SHALL CONTAIN A CONTINUOUS METAL STRIP AND BE COLOURED AND PROVIDE A DESCRIPTION OF THE PRODUCT WITHIN.
- WHERE ELECTRICAL INSTALLATION CLEARANCES FOR CLIENT DIFFER FROM AS/NZS 3000 2018 THE GREATER MINIMUM CLEARANCE SHALL BE USED.

A

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F

WATER MAIN PIPE MINIMUM COVER

TYPE	PREFERRED MINIMUM COVER
NON TRAFFICABLE FOOTWAYS IN MAJOR ROADS & LOCAL ROADS	450
NON TRAFFICABLE FOOTWAYS IN INDUSTRIAL/COMMERCIAL AREAS	600
TRAFFICABLE DRIVEWAY IN INDUSTRIAL	600
TRAFFICABLE IN CARRIAGEWAYS AND VERGES MOTORWAYS	750
TRAFFICABLE IN CARRIAGEWAYS AND VERGES UNSEALED ROADS	1200

* REFERENCE WATER SUPPLY CODE VERSION 3.2 - 2011 TABLE 7.2

CLEARANCES BETWEEN WATER MAINS AND OTHER UNDERGROUND SERVICES

UTILITY (SERVICE)	MINIMUM HORIZONTAL CLEARANCE (mm)		MINIMUM VERTICAL CLEARANCE (mm) (PIPE CROSSING)
	NEW WATER MAIN		
	≤DN 200	>DN 200	
WATER MAINS ≤DN375	300	600	150
WATER MAINS >DN375	600	600	300
GAS MAINS	300	600	150
TELECOMMUNICATIONS CONDUIT & CABLES	300	600	150
ELECTRICITY CONDUIT & CABLES	500	1000	225
STORMWATER DRAINS	300	600	150
GRAVITY SEWERS	1000 / 600	1000 / 600	500
SEWERS - PRESSURE & VACUUM	600	600	300

* REFERENCE WATER SUPPLY CODE VERSION 3.2 - 2011 TABLE 5.5

SEWER PIPE MINIMUM COVER

TYPE	COVER
FOOTWAYS, NATURE STRIPS, INDUSTRIAL/COMMERCIAL LOTS	750
SEALED ROAD, PAVEMENTS, UNSEALED ROAD, NOT MAJOR ROADS	900

* REFERENCE WSAA WSA 02 GRAVITY SEWERAGE CODE AND MRWA-S-201 & MRWA-S-202.

SEWER PIPE CLEARANCE

UTILITY (SERVICE)	MINIMUM HORIZONTAL CLEARANCE (mm)	MINIMUM VERTICAL CLEARANCE (mm) (PIPE CROSSING)
	NEW SEWER PIPE >DN300	
SEWER ≤DN300	600	300
SEWER >DN300	600	300
GAS MAIN	600	300
TELECOMMUNICATIONS CONDUIT & CABLE	600	300
ELECTRICITY CONDUIT & CABLE	1000	300
STORMWATER DRAIN	600	300
WATER MAINS	600	500

* REFERENCE WSAA WSA 02 GRAVITY SEWERAGE CODE AND MRWA-S-201 & MRWA-S-202.

ELECTRICAL CONDUIT CLEARANCE

UTILITY (SERVICE)	MINIMUM HORIZONTAL CLEARANCE (mm)		MINIMUM VERTICAL CLEARANCE (mm) (PIPE CROSSING)
	NEW ELEC. CONDUIT ≤DN125	NEW ELEC. CONDUIT >DN150	
TELECOMMUNICATIONS, ELECTRICITY CONDUIT & CABLES	100	100	100
ALL OTHERS (NOTE 9)	100	100	100
WATER SERVICE >DN65 (NOTE 9)	300	300	300

ELECTRICAL CONDUIT MINIMUM COVER

TYPE	COVER
FOOTWAYS, NATURE STRIPS, INDUSTRIAL/COMMERCIAL LOTS, SEALED ROAD PAVEMENTS NOT MAJOR ROADS (NOTE 10)	500

* CONDUIT CONSIDERED AS TYPE A MECHANICAL PROTECTION CLEARANCES ARE AS PER AS/NZS 3000 2018 TABLE 3.6 & 3.7

UTILITY TO TRENCH WALL CLEARANCE

NOMINAL DIAMETER (DN)	MINIMUM CLEARANCE
≤300	150
>300 - ≤450	200
>450 - ≤900	300
>900 - ≤1500	350

* REFERENCE AS/NZS 2566.1

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	Amendment		Authorised



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Datum	AHD (TAS.)
Sheet Size	A1
References	

DESIGN			REVIEW			DATE	
Drawn	T.QUINN	GANDEN	14.08.24	Checked	P.HUDSON	GANDEN	14.08.24
Designed	P.McKILLOP	GANDEN	14.08.24	Approved	C.MASKREY	GANDEN	14.08.24

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Drawing Issue

FOR REVIEW

OATWT02 - OATLANDS
WATER TREATMENT PLANT
0172 - REGIONAL TOWNS STAGE 4
TRENCH AND EMBEDMENT TYPE

0172-DWG-OATWT02-CI-0040

Sheet Number	Revision
	A

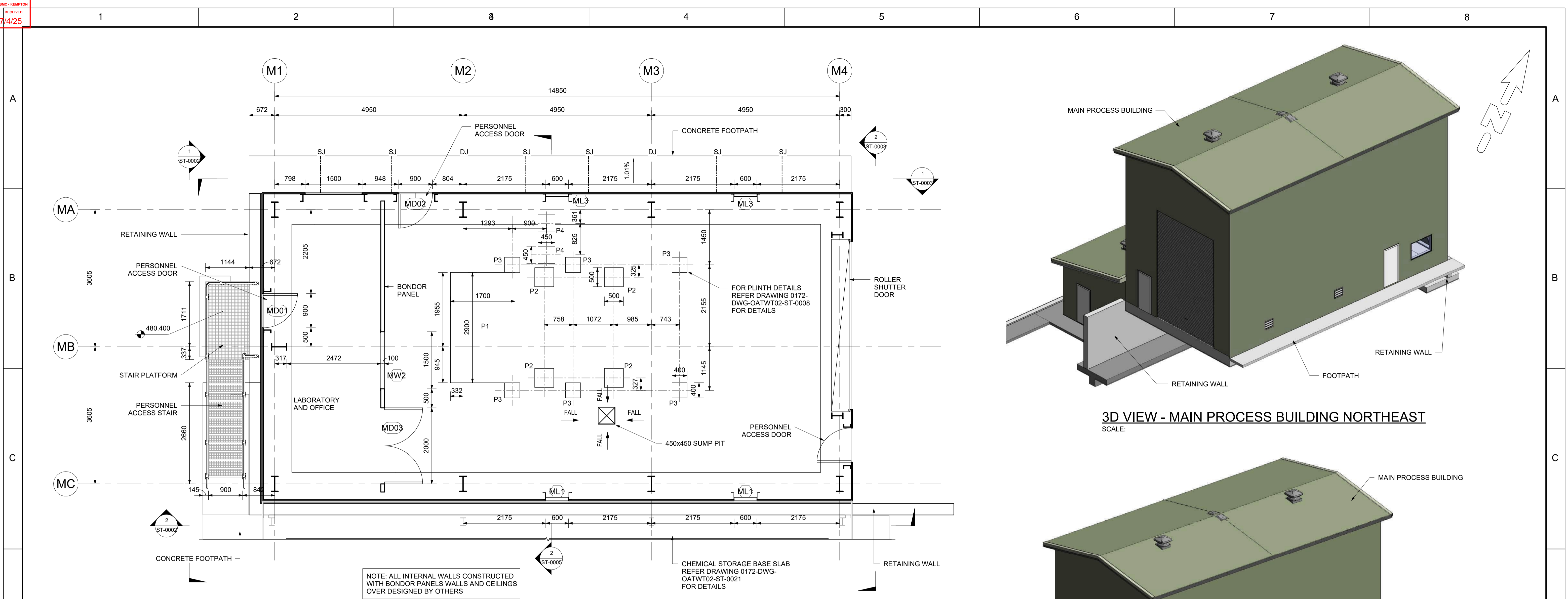
3D VIEW - PROPOSED BUILDINGS

Drawing Issue

FOR
REVIEW

OATWT02 - OATLANDS
WATER TREATMENT PLANT
0172 - REGIONAL TOWNS STAGE 4
ARCHITECTURAL AND STRUCTURAL DRAWING LIST

0172-DWG -OATWT02- ST-0000



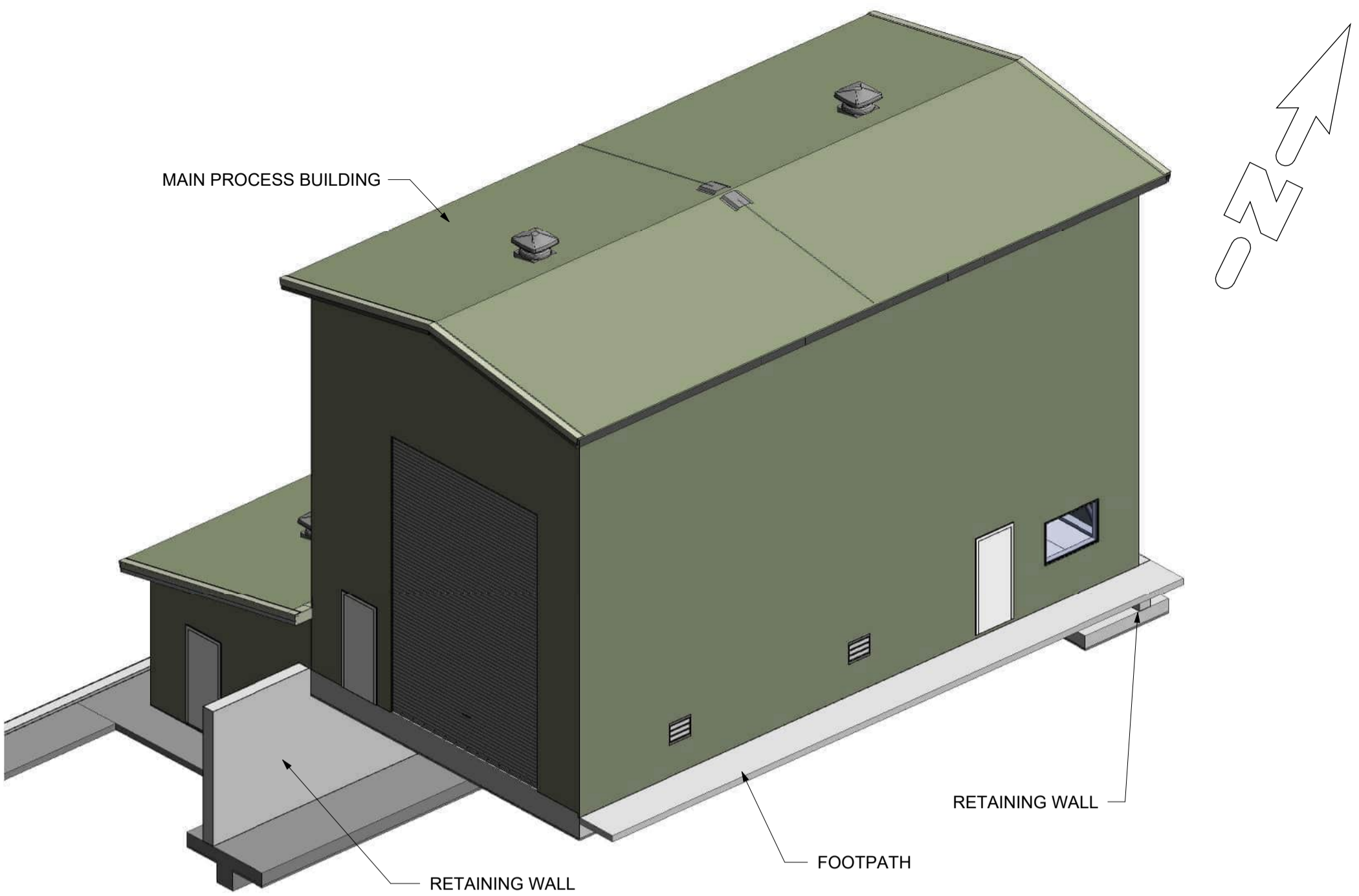
MAIN PROCESS BUILDING - GENERAL ARRANGEMENT PLAN

SCALE: 1 : 50

MAIN BUILDING WINDOW SCHEDULE			
MARK	WIDTH	HEIGHT	DESCRIPTION
MW1	1000	1500	
MW2	1000	1500	

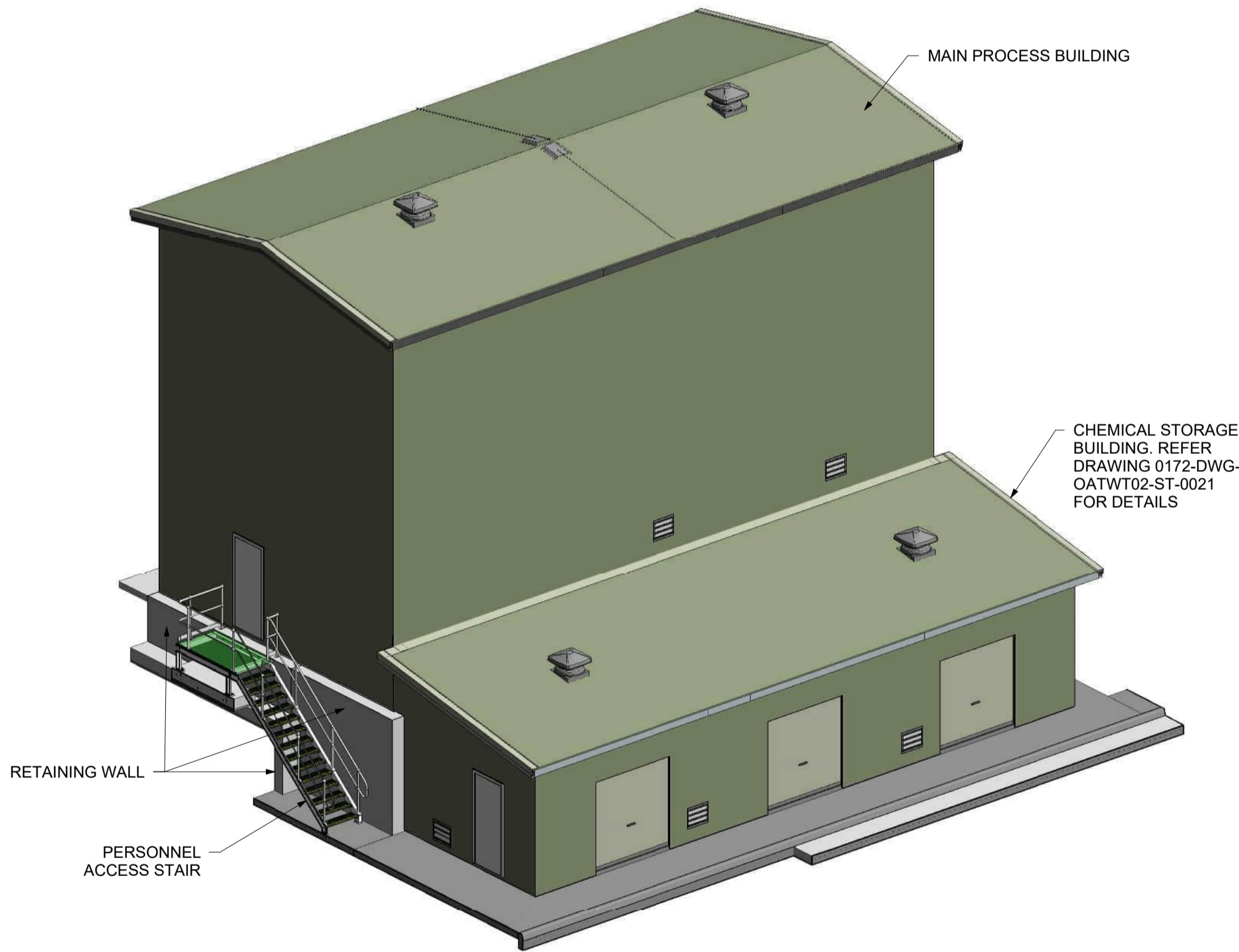
MAIN BUILDING DOOR SCHEDULE			
MARK	WIDTH	HEIGHT	DESCRIPTION
MD01	900	2200	
MD02	900	2200	
MD03	2000	2600	DOUBLE LEAF STEEL FRAME DOOR WITH DROP BAR AND ACOUSTIC SEALS, MIN Rw 48
MD06	4520	6500	
MD07	900	2200	

MAIN BUILDING LOUVRE SCHEDULE			
MARK	WIDTH	HEIGHT	DESCRIPTION
ML1	450	600	
ML1	450	600	
ML3	450	600	
ML3	450	600	



3D VIEW - MAIN PROCESS BUILDING NORTHEAST

SCALE:



3D VIEW - MAIN PROCESS BUILDING SOUTHWEST

SCALE:

NOT FOR CONSTRUCTION

WORK IN PROGRESS. ISSUED FOR INFORMATION ONLY				
B	ISSUED FOR 100% DESIGN REVIEW	19.11.24		
A	ISSUED FOR 70% DESIGN REVIEW	14.10.24		
Rev.No.	Amendment	Date		Authorised



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ABN: 47 162 220 653 (C) 2024

Scale	1 : 50
Datum	0
Sheet size	A1
References	References

DESIGN			DATE	REVIEW			DATE
Drawn	Author	J. MACADA	19.11.24	Checked	Checker		19.11.24
Designed	Designer	J. PETZER	19.11.24	Approved	Approver		19.11.24

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Drawing Issue

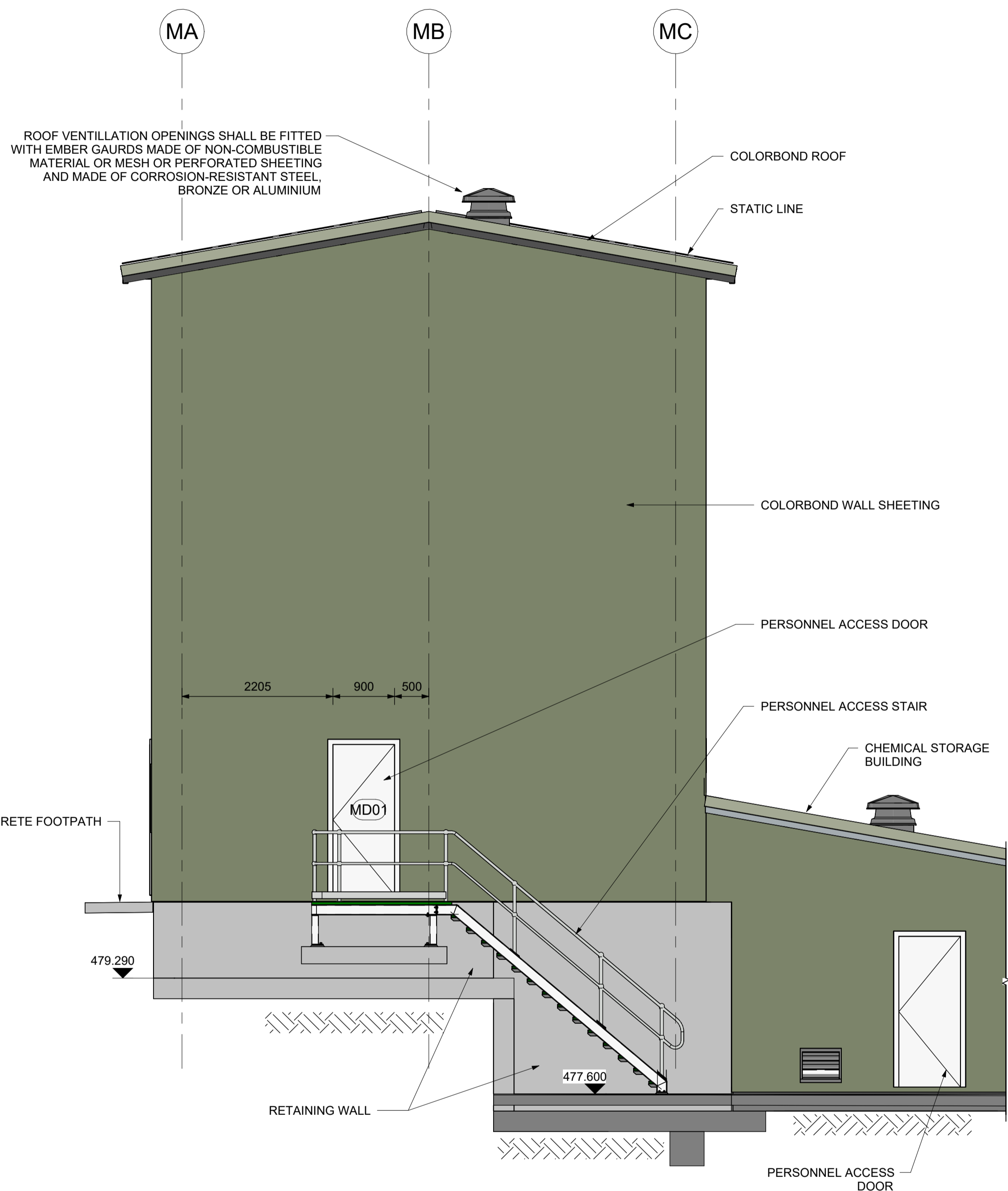
FOR
REVIEW

OATWT02 - OATLANDS
WATER TREATMENT PLANT
0172 - REGIONAL TOWNS STAGE 4
MAIN PROCESS BUILDING - GROUND FLOOR GA PLAN

Drawing Number	0172-DWG -OATWT02- ST-0001	Sheet Number	Revision
			B

NOTES:

1. ROOF AND WALL SHEETING TO BE 0.42mm BMT CUSTOM ORB ROOFING IN COLOUR PALE EUCALYPT
2. COMBINED MEDIUM ROOF DUTY SARKING AND R1.4 INSULATION WRAP COMPLIANT TO BAL 29 INSTALLED UNDER SHEETING AS PER MANUFACTURERS INSTALLATION REQTS



EXTERNAL ELEVATION ALONG GRID M1
SCALE: 1 : 50

FOR
REVIEW

0172-DWG -OATWT02- ST-0002

B	ISSUED FOR 100% DESIGN REVIEW	19.11.24	
A	ISSUED FOR 70% DESIGN REVIEW	14.10.24	
Rev.No.	Amendment	Date	Authorised



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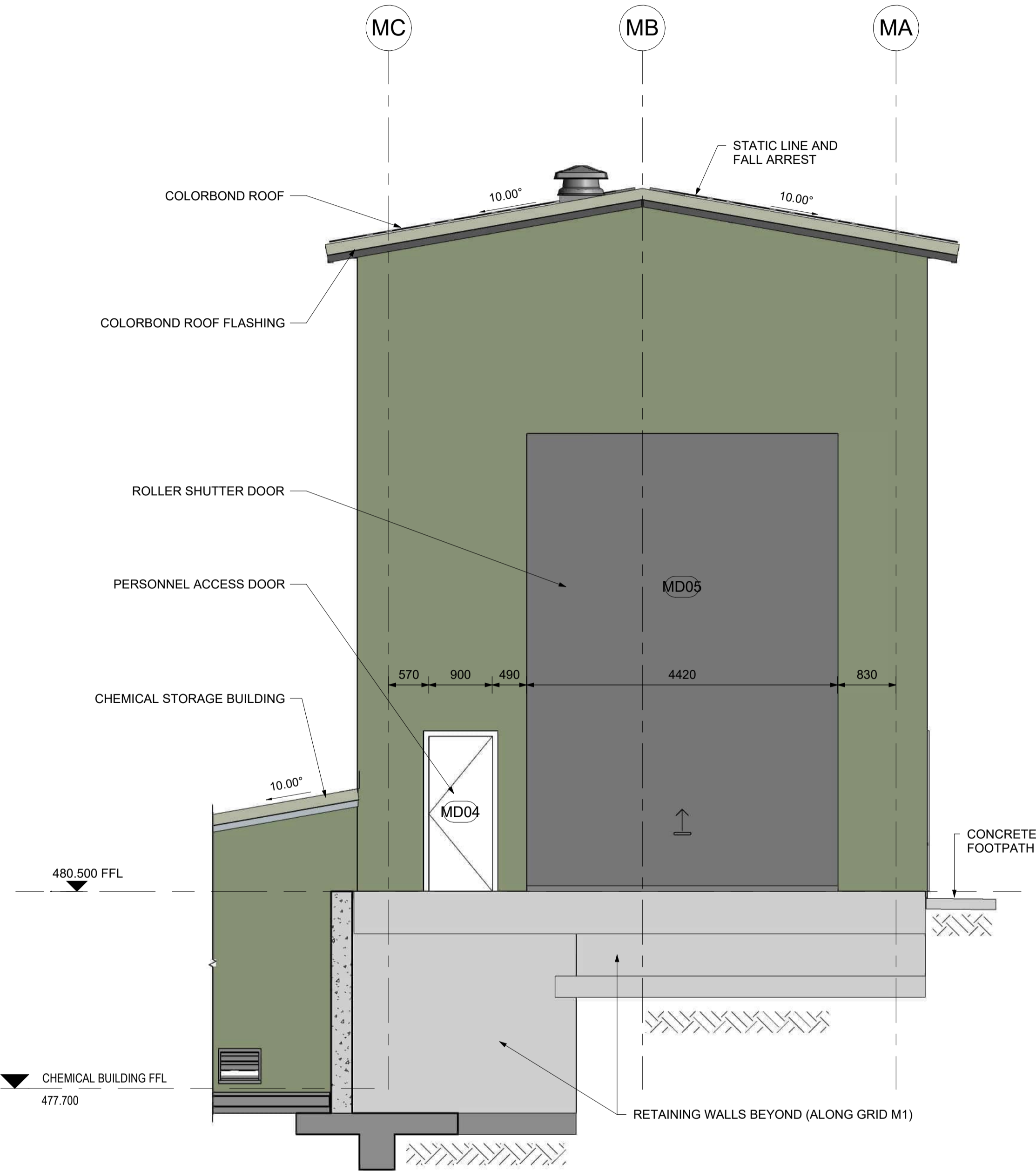
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Drawn	Author	J. MACADA	19.11.24	Checked	Checker		19.11.24
Designed	Designer	J. PETZER	19.11.24	Approved	Approver		19.11.24

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1. ROOF AND WALL SHEETING TO BE 0.42mm BMT CUSTOM ORB ROOFING IN COLOUR PALE EUCALYPT
2. COMBINED MEDIUM ROOF DUTY SARKING AND R1.4 INSULATION WRAP COMPLIANT TO BAL 29 INSTALLED UNDER SHEETING AS PER MANUFACTURERS INSTALLATION REQTS



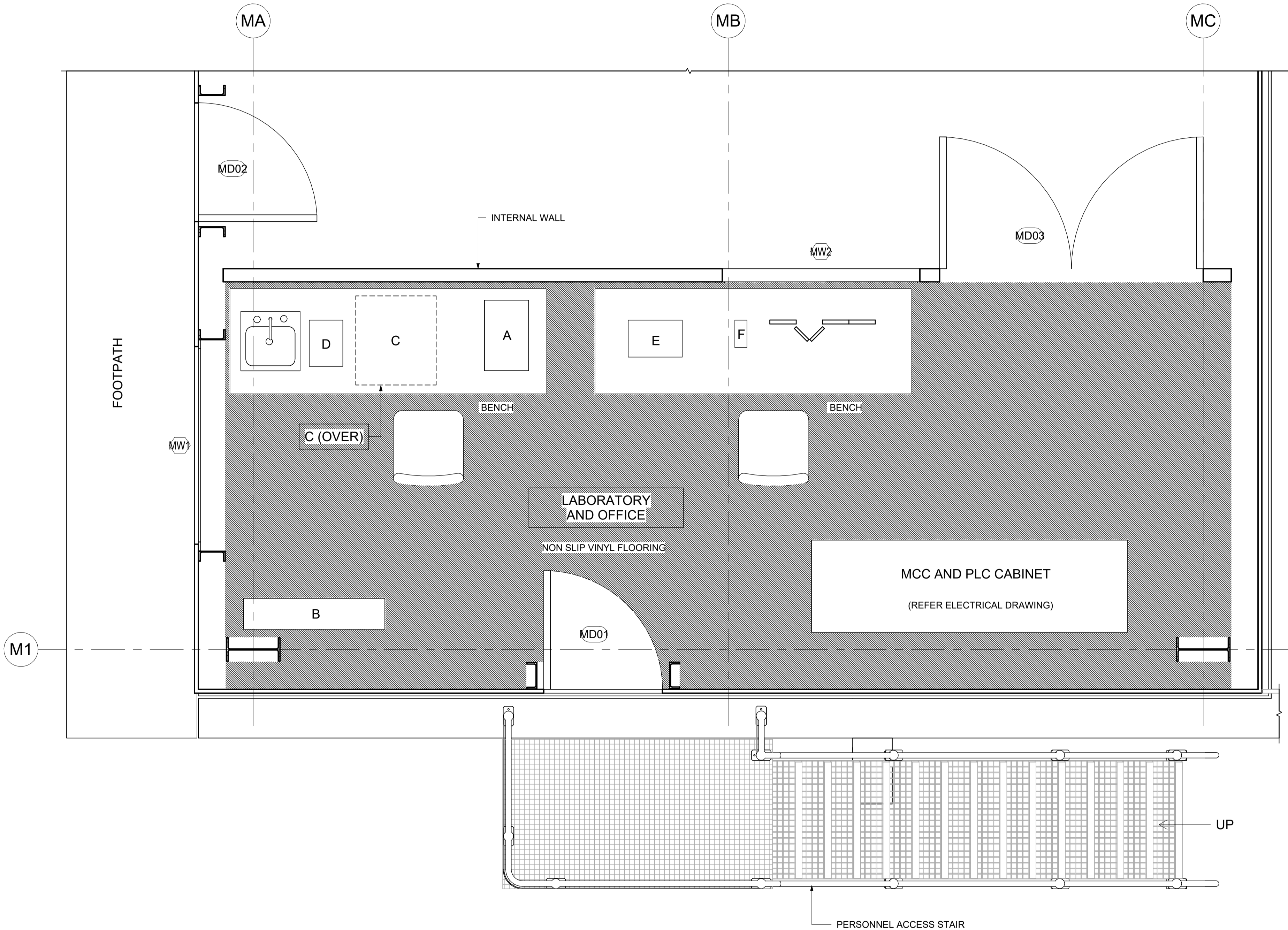
EXTERNAL ELEVATION ALONG GRID M4

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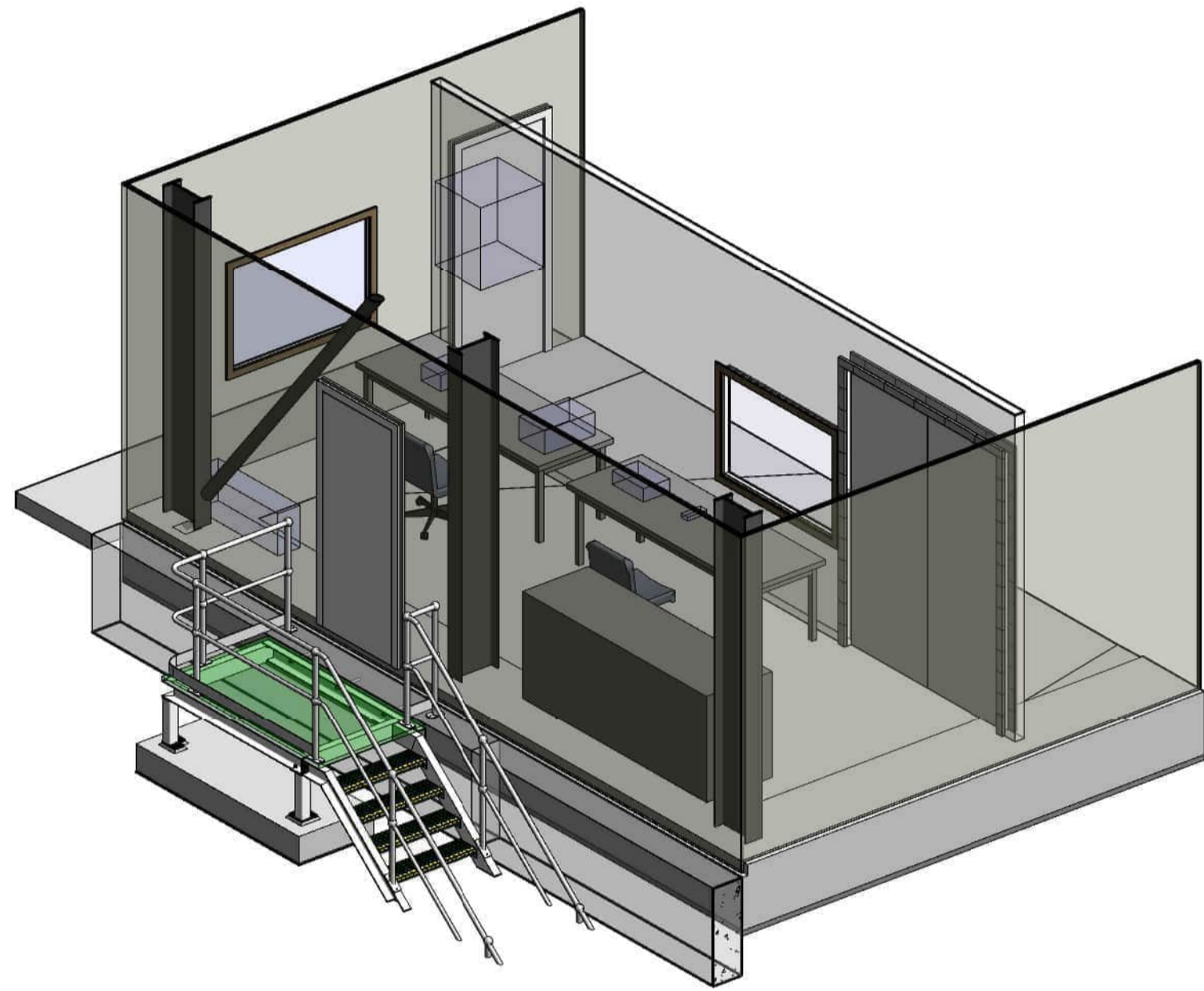
FOR
REVIEW

OATWT02 - OATLANDS WATER TREATMENT PLANT 0172 - REGIONAL TOWNS STAGE 4 MAIN PROCESS BUILDING - ELEVATIONS SHEET 2

NOT FOR CONSTRUCTION



MAIN PROCESS BUILDING - LABORATORY AND OFFICE LAYOUT
SCALE: 1 : 20



3D VIEW - LABORATORY AND OFFICE
SCALE:

EQUIPMENT SCHEDULE			
	EQUIPMENT	DETAILS	DIMENSIONS (DxLxH)
A	WET RACK	FOR INSTRUMENTS	335x535x220
B	6 JAR, JAR TESTER	PHIPS & BIRD	235x1073x394
C	EXTRACTION HOOD	AIR SCIENCE/MODEL P5-24	676x610x781
D	SPECTOR	HACH DR3900	255x350x151
E	BENCHTOP TURBIDITY ANALYSER	HACH TU5200	280x410x125
F	PH/CONDUCTOMETER	METROLM 913 / 914	208x91x34

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A	ISSUED FOR 100% DESIGN REVIEW	19.11.24			
Rev.No.	Amendment	Date	Authorised		



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Scale	1 : 20
Datum	
Sheet size	
References	

DESIGN		DATE		REVIEW		DATE	
Drawn	Author	J. MACADA	19.11.24	Checked	Checker		19.11.24
Designed	Designer	C. MASKREY	19.11.24	Approved	Approver		19.11.24
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Drawing Issue
FOR REVIEW

OATWT02 - OATLANDS WATER TREATMENT PLANT 0172 - REGIONAL TOWNS STAGE 4 MAIN BUILDING - LABORATORY AND OFFICE LAYOUT			
0172-DWG -OATWT02- ST-0019			
Sheet Number	Revision	A	

A

B

C

D

E

F

A

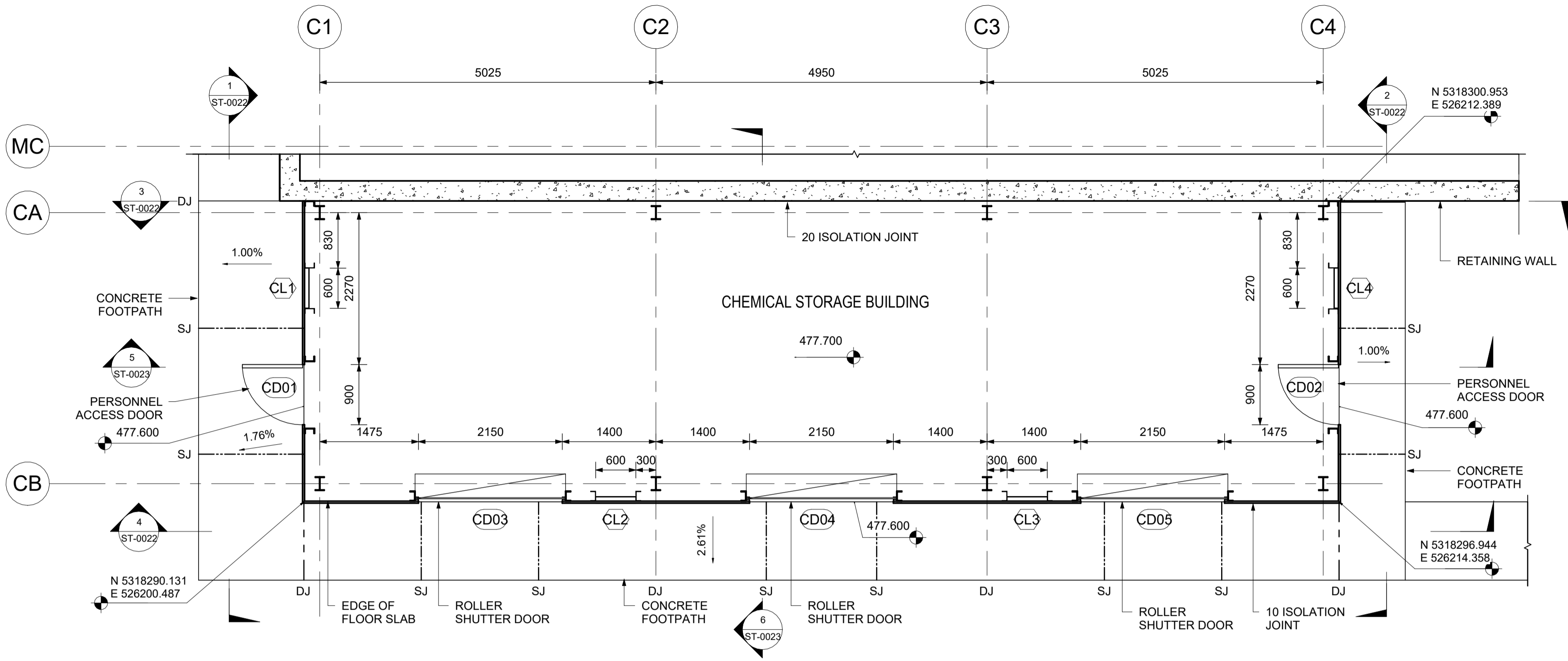
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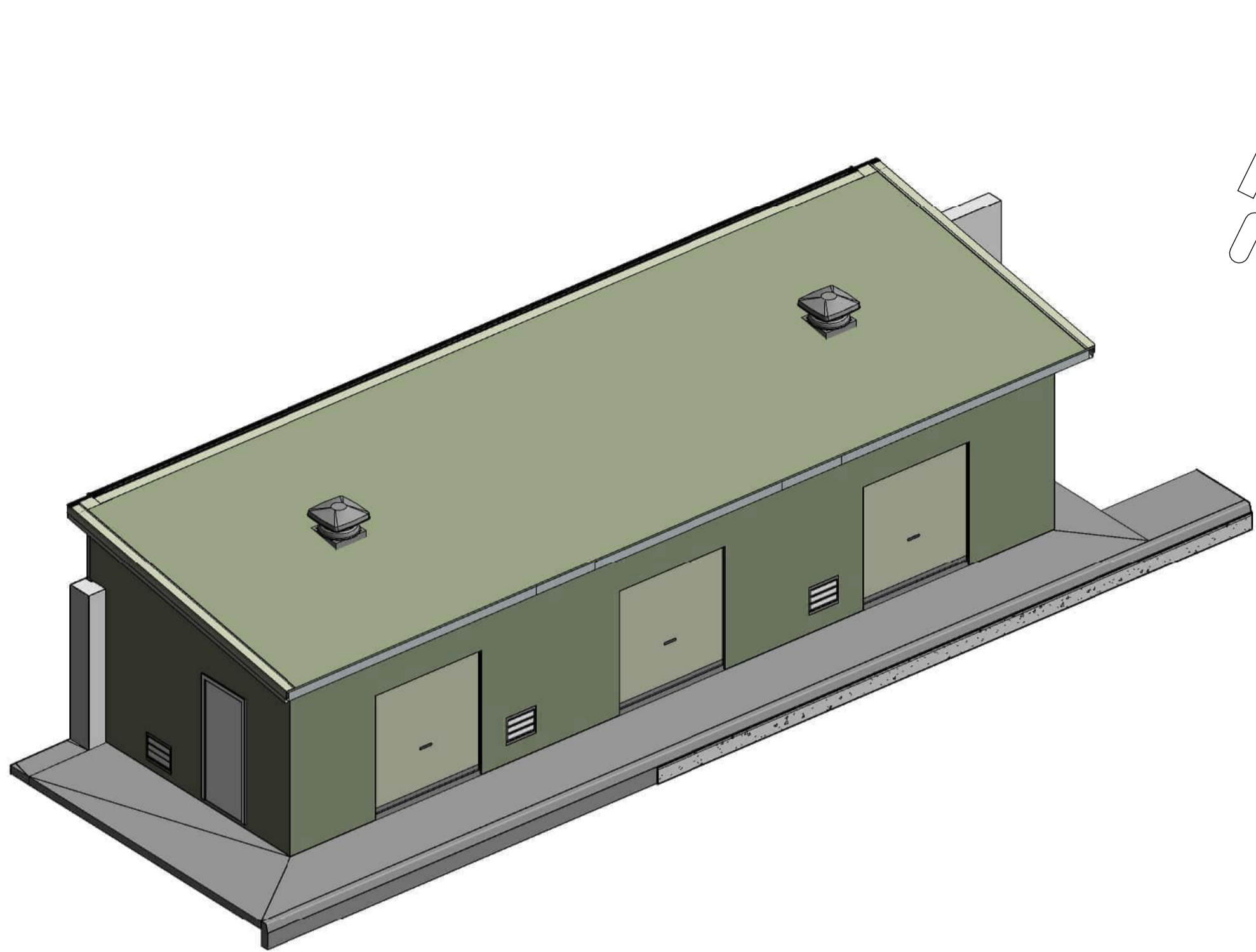
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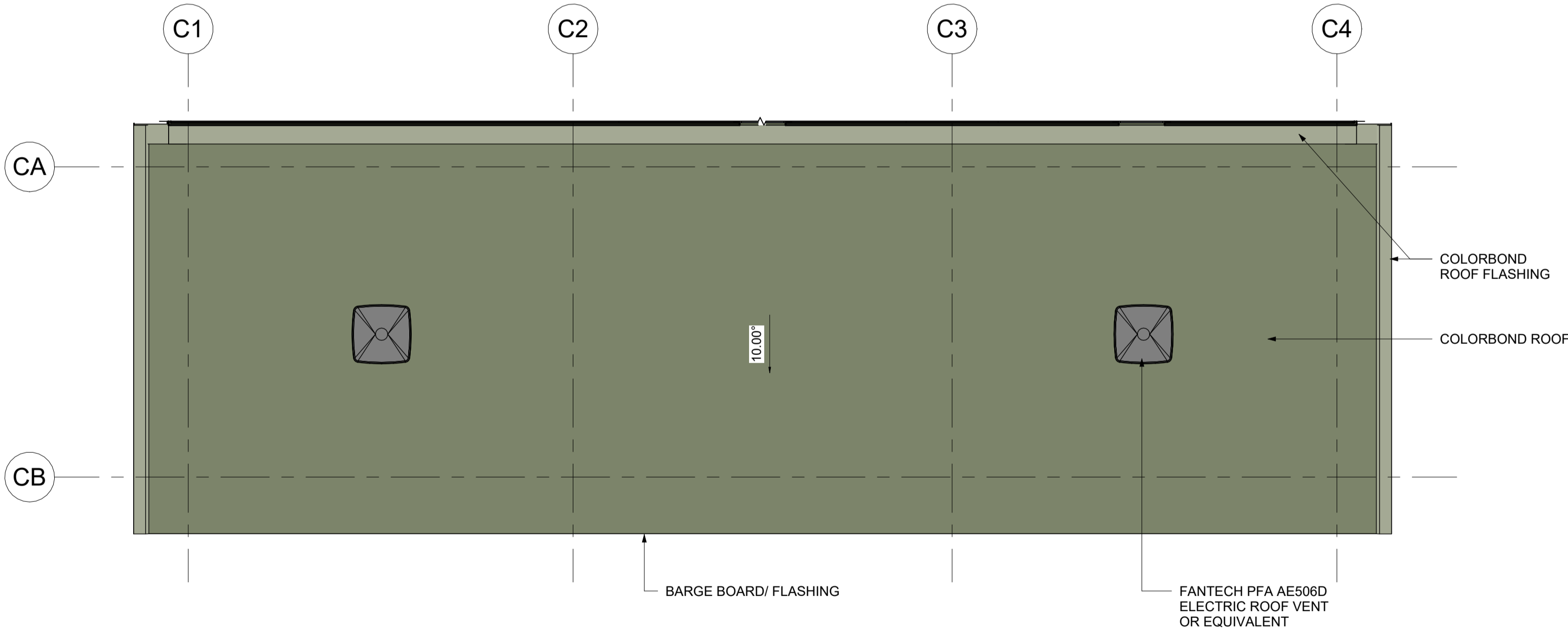
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CHEMICAL STORAGE BUILDING GENERAL ARRANGEMENT PLAN
SCALE: 1 : 50



3D VIEW - CHEMICAL STORAGE BUILDING
SCALE: NTS



CHEMICAL STORAGE BUILDING ROOF GENERAL ARRANGEMENT PLAN
SCALE: 1 : 50

CHEMICAL BUILDING DOOR SCHEDULE			
MARK	WIDTH	HEIGHT	DESCRIPTION
CD01	900	2200	
CD02	900	2200	
CD03	2250	2180	
CD04	2250	2180	
CD05	2250	2180	

CHEMICAL BUILDING LOUVRE SCHEDULE			
MARK	WIDTH	HEIGHT	DESCRIPTION
CL1	450	600	
CL2	450	600	
CL3	450	600	
CL4	450	600	

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Rev.No.	ISSUED FOR 100% DESIGN REVIEW	19.11.24	Authorised
1	Amendment	Date	



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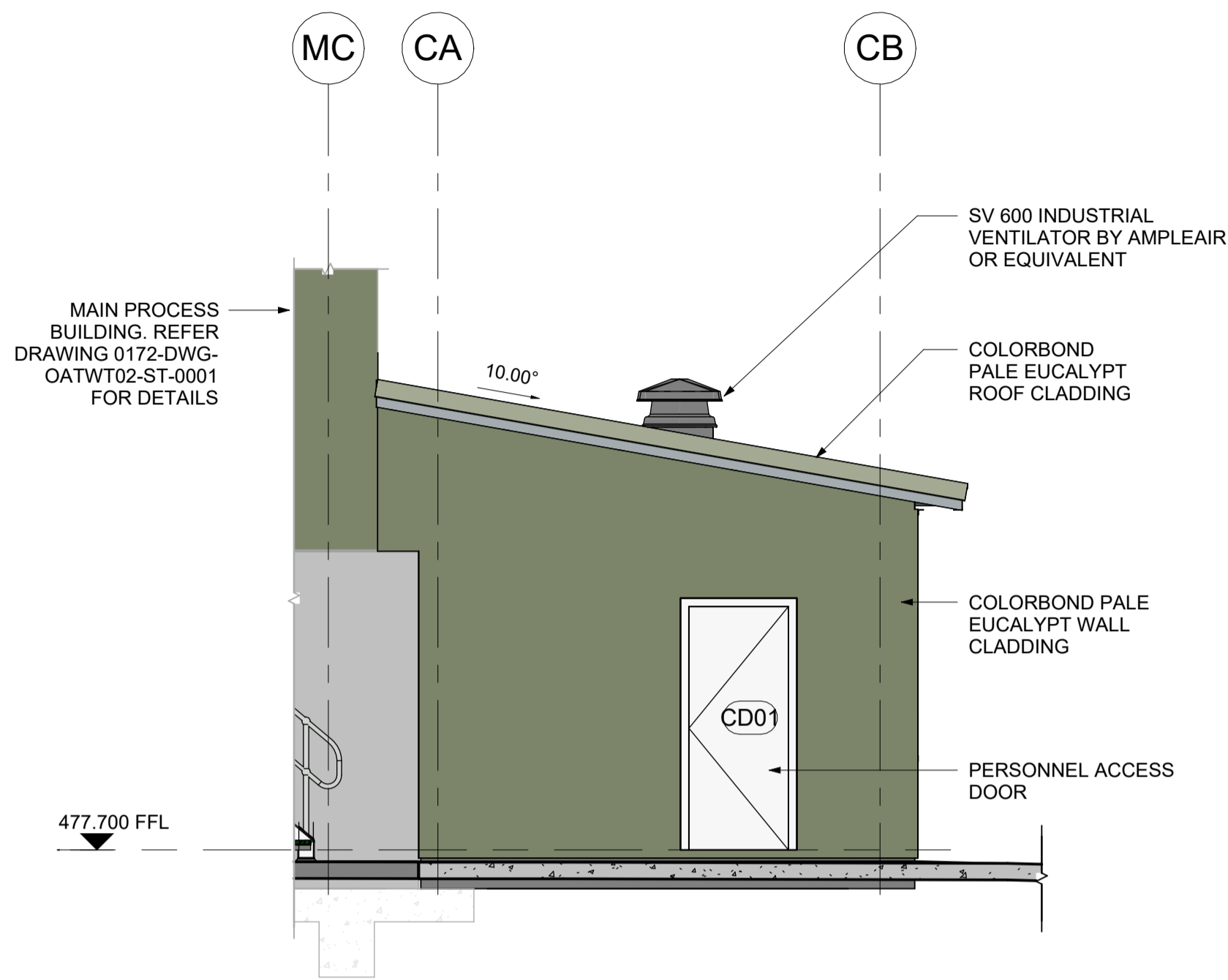
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References	

DESIGN		DATE		REVIEW		DATE	
Drawn	Author	J. MACADA	19.11.24	Checked	Checker		19.11.24
Designed	Designer	A. HARDIKAR	19.11.24	Approved	Approver		19.11.24
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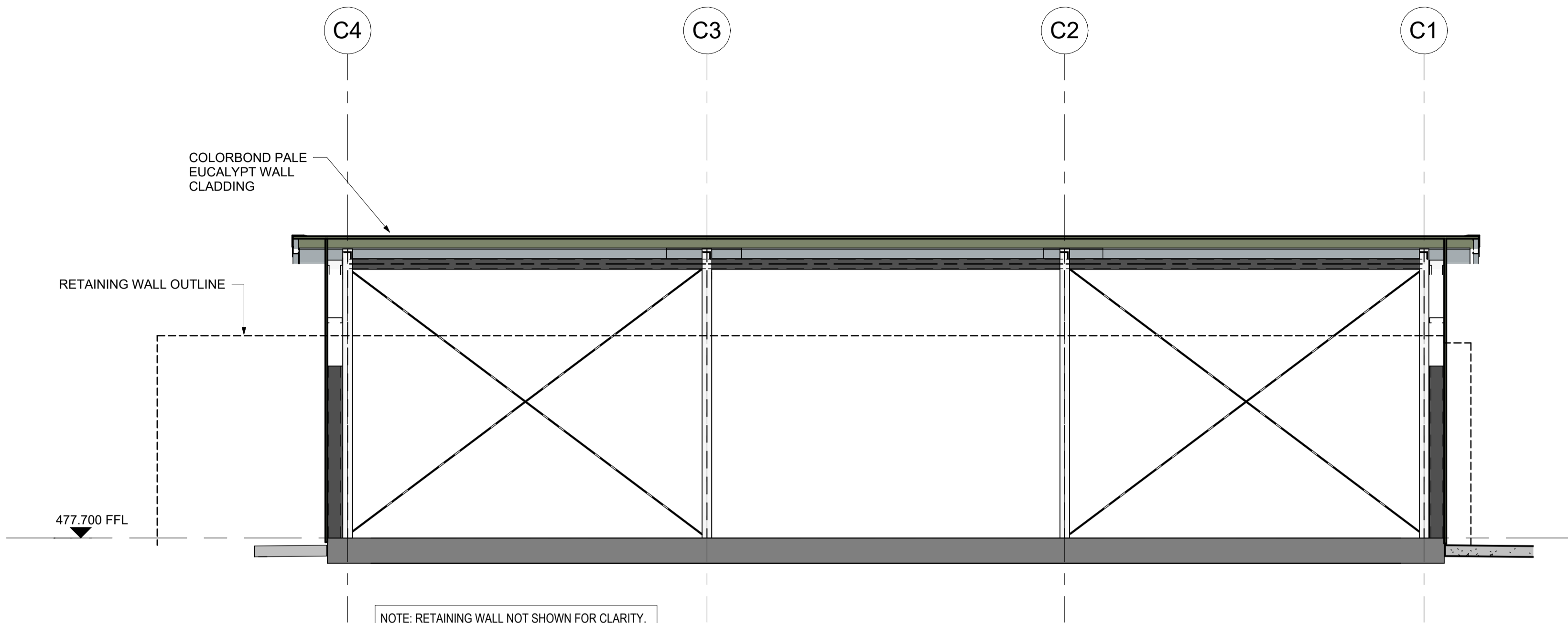
Drawing Issue
FOR REVIEW

OATWT02 - OATLANDS WATER TREATMENT PLANT CHEMICAL STORAGE BUILDING GENERAL ARRANGEMENT PLAN			
0172-DWG -OATWT02- ST-0021			

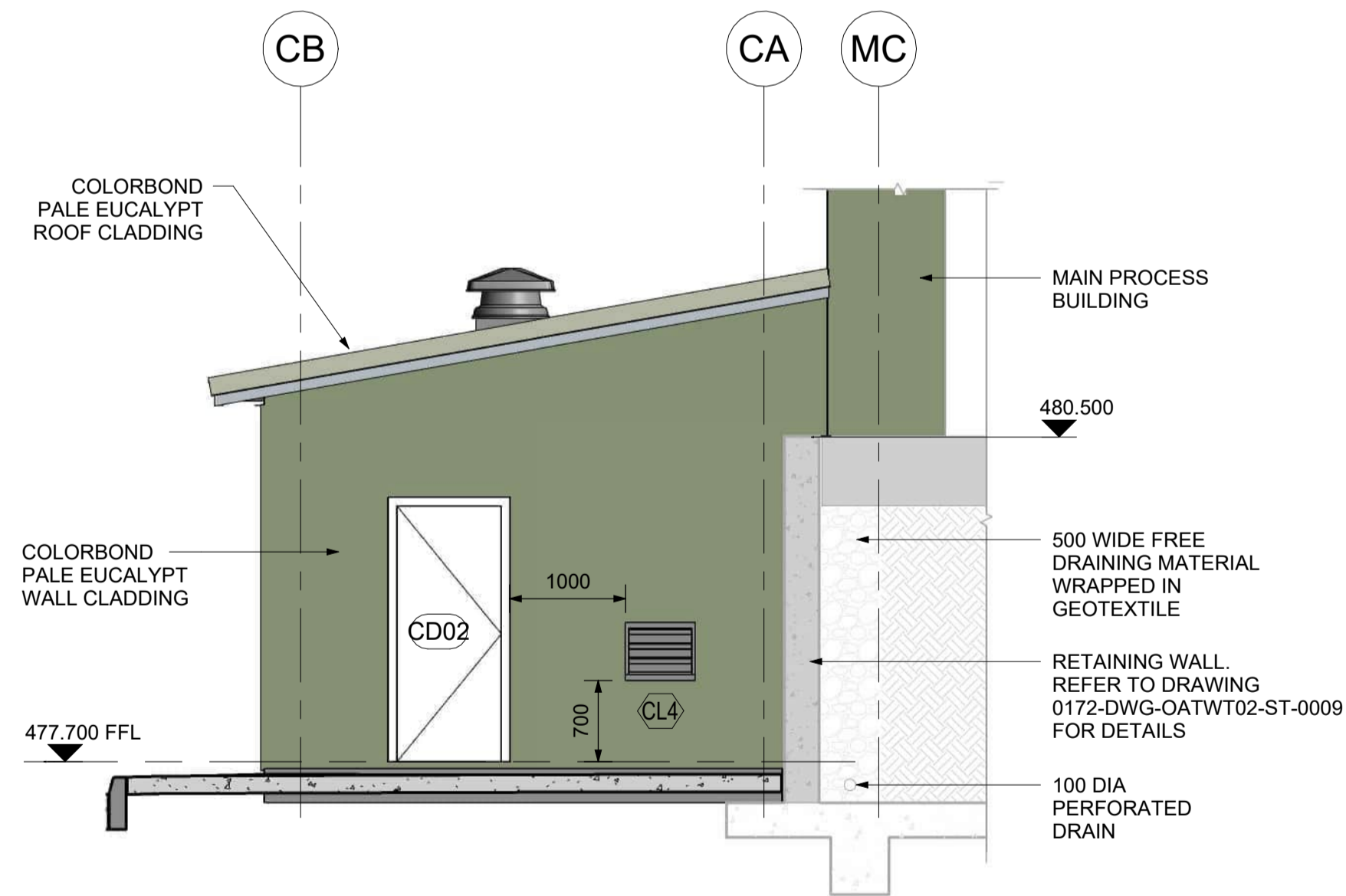
NOTE
1. THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL DRAWINGS LISTED ON 0172-DWG-OATWT02-ST-0021.



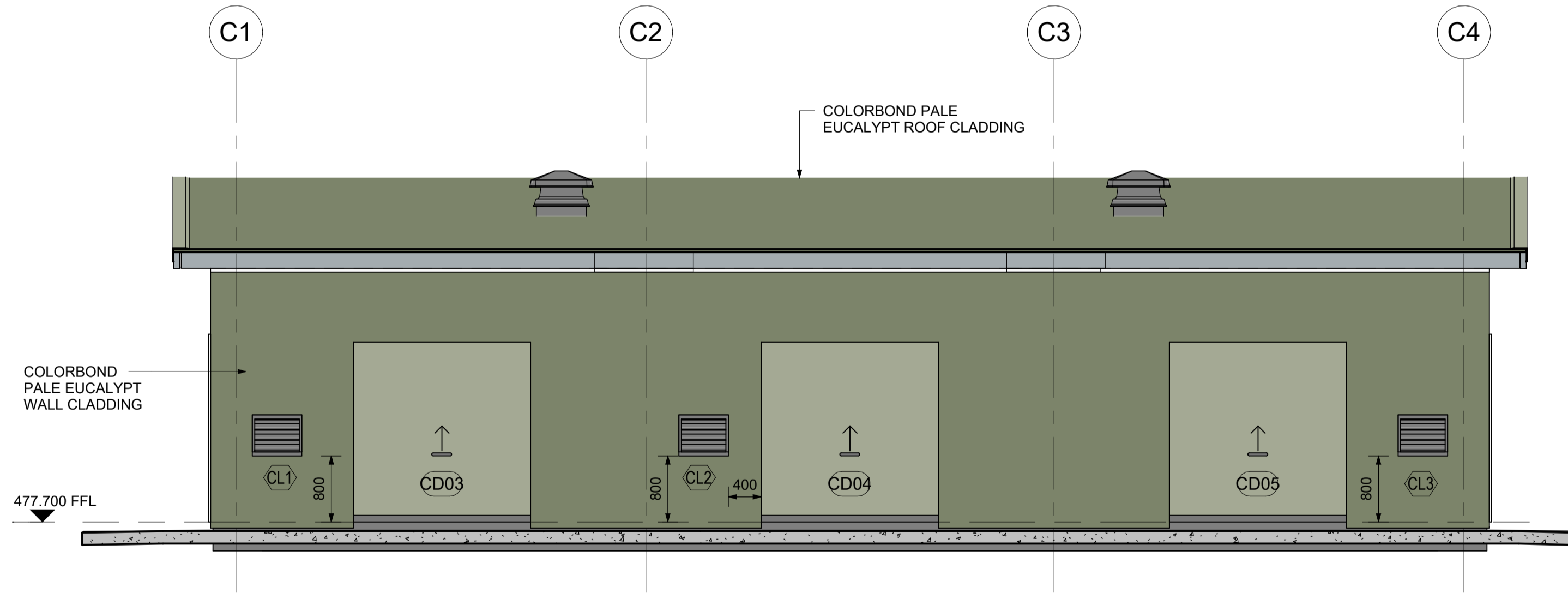
ELEVATION ALONG GRID C1
SCALE: 1 : 50



ELEVATION ALONG GRID CA
SCALE: 1 : 50



ELEVATION ALONG GRID C2
SCALE: 1 : 50



ELEVATION ALONG GRID CB
SCALE: 1 : 50

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Rev.No.	ISSUED FOR 100% DESIGN REVIEW	10.12.24	Authorised
Amendment		Date	



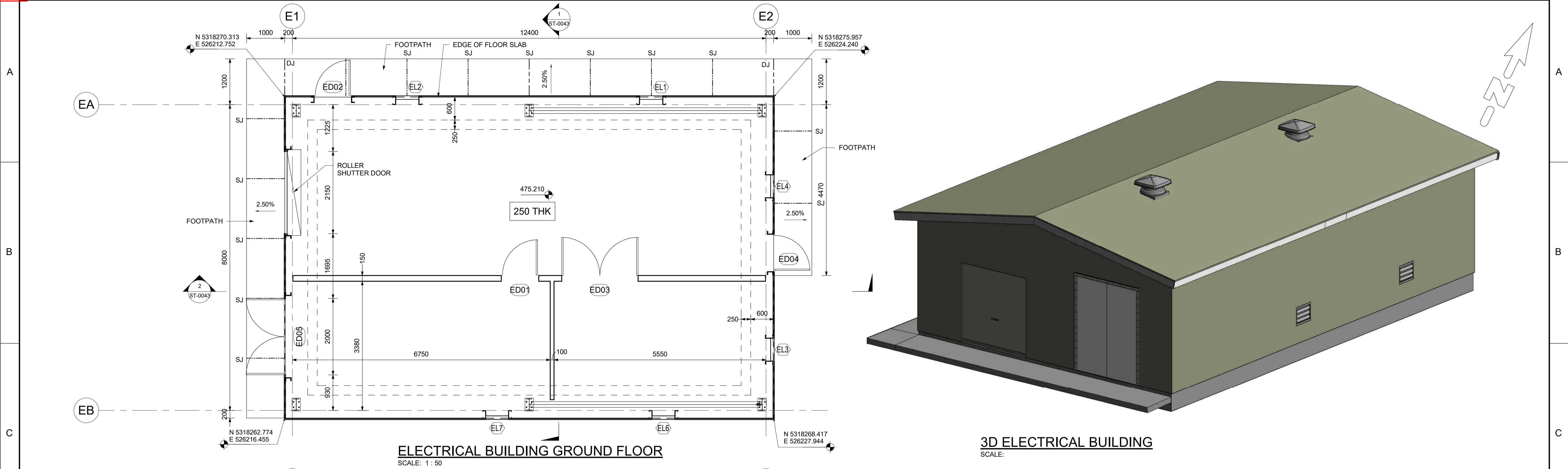
TASMANIAN WATER & SEWERAGE CORPORATION PTY LTD
ABN: 47 162 220 653 © 2024

Scale	1 : 50
Datum	
Sheet size	
References	

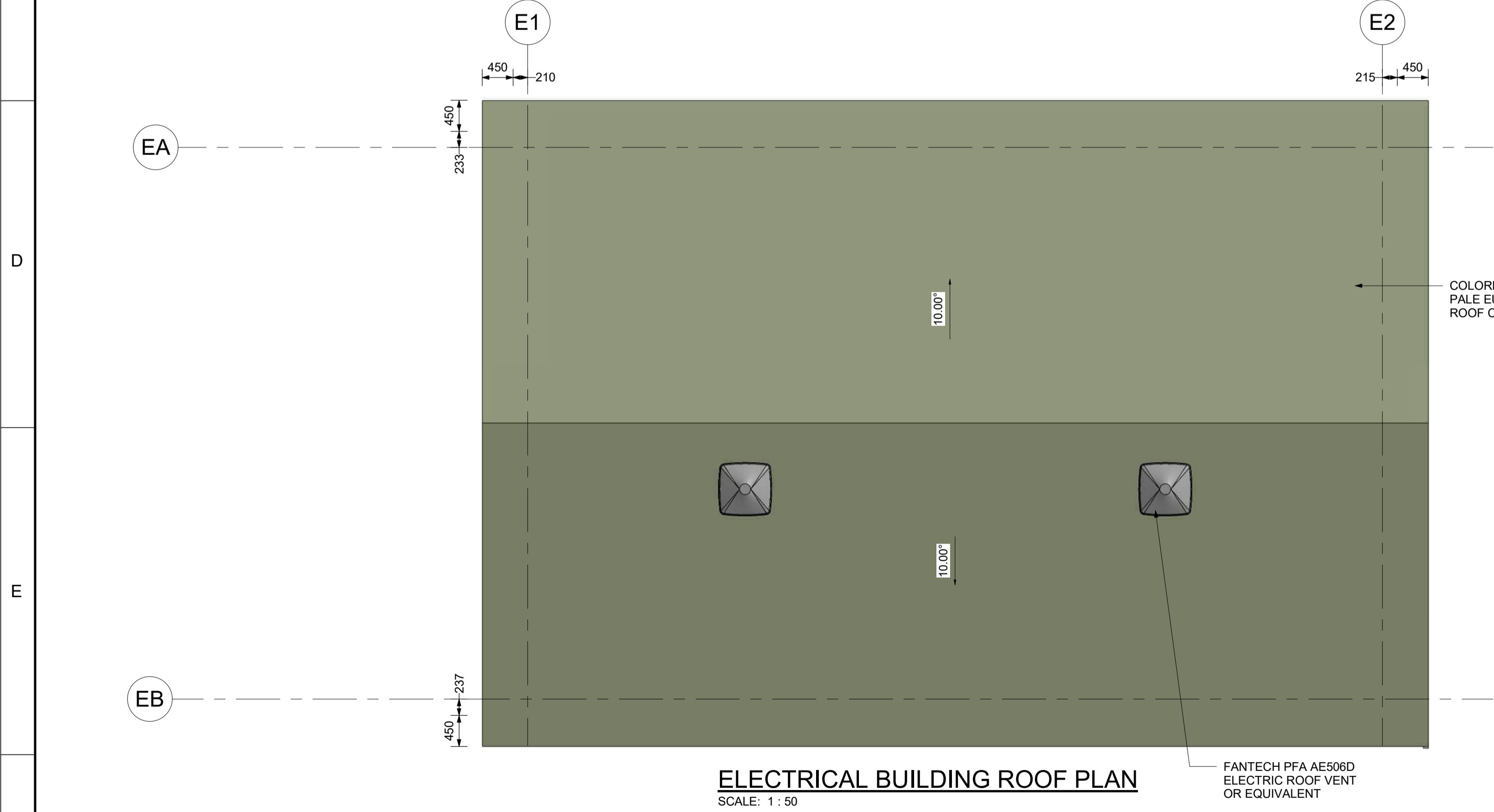
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Drawn	Author	J. MACADA	10.12.24	Checked	Checker		10.12.24
Designed	Designer	A. HARDIKAR	10.12.24	Approved	Approver		10.12.24
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Drawing Issue
FOR REVIEW

OATWT02 - OATLANDS WATER TREATMENT PLANT 0172 - REGIONAL TOWNS STAGE 4 CHEMICAL STORAGE BUILDING ELEVATIONS			
0172-DWG -OATWT02- ST-0022			Revision A



ELECTRICAL STORAGE BUILDING DOOR SCHEDULE			
Mark	Height	Width	Comments
ED01	2040	920	
ED02	2040	920	
ED03	2600	2000	
ED04	2040	920	
ED05	2600	2000	
ED06	2180	2250	



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Rev.No.	Amendment	Date	Authorised



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Scale	1 : 50
Datum	
Sheet size	
References	

DESIGN		DATE		REVIEW		DATE	
Drawn	Author		14.10.24	Checked	Checker		14.10.24
Designed	Designer		14.10.24	Approved	Approver		14.10.24
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Drawing Issue
FOR REVIEW

OATWT02 - OATLANDS WATER TREATMENT PLANT ELECTRICAL STORAGE - GENERAL GROUND FLOOR GENERAL ARRANGEMENT PLANS			
0172-DWG -OATWT02- ST-0040			

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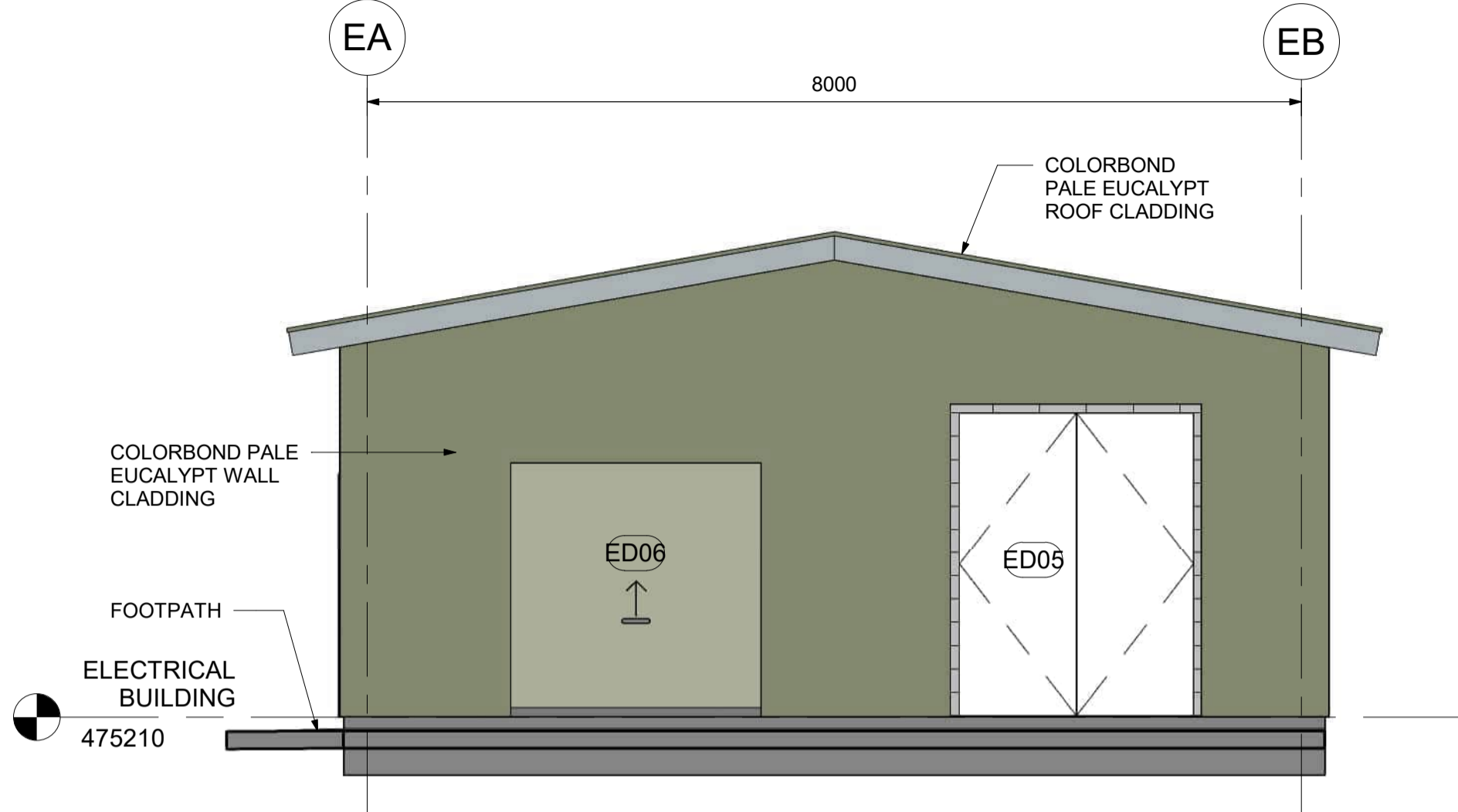
B

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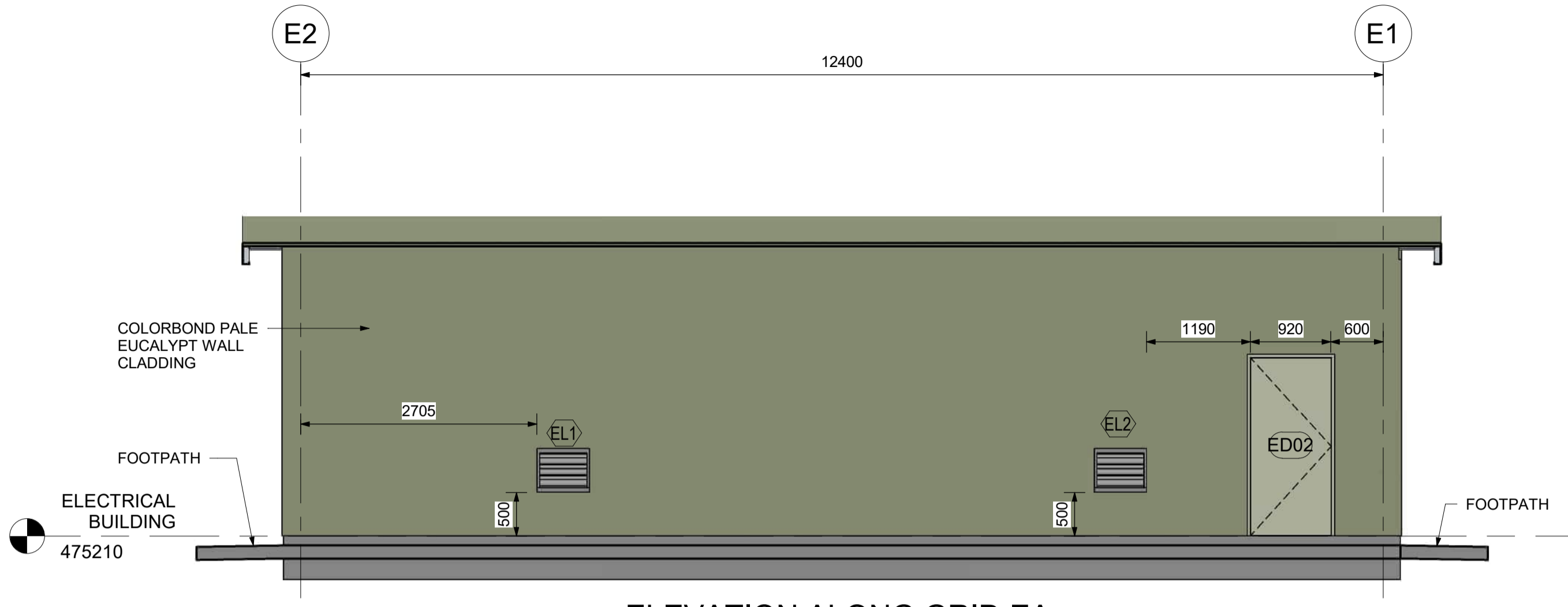
D

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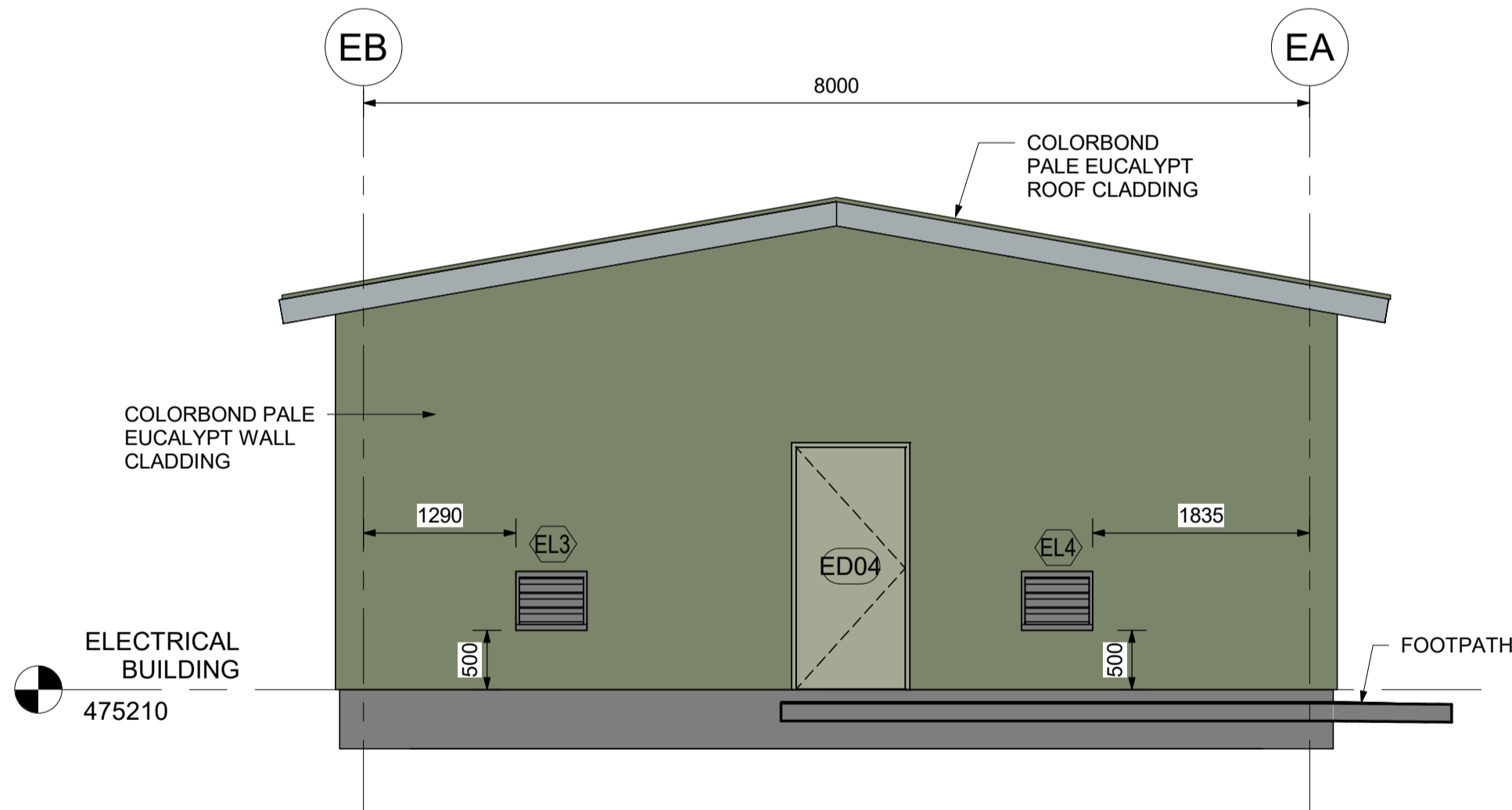
F



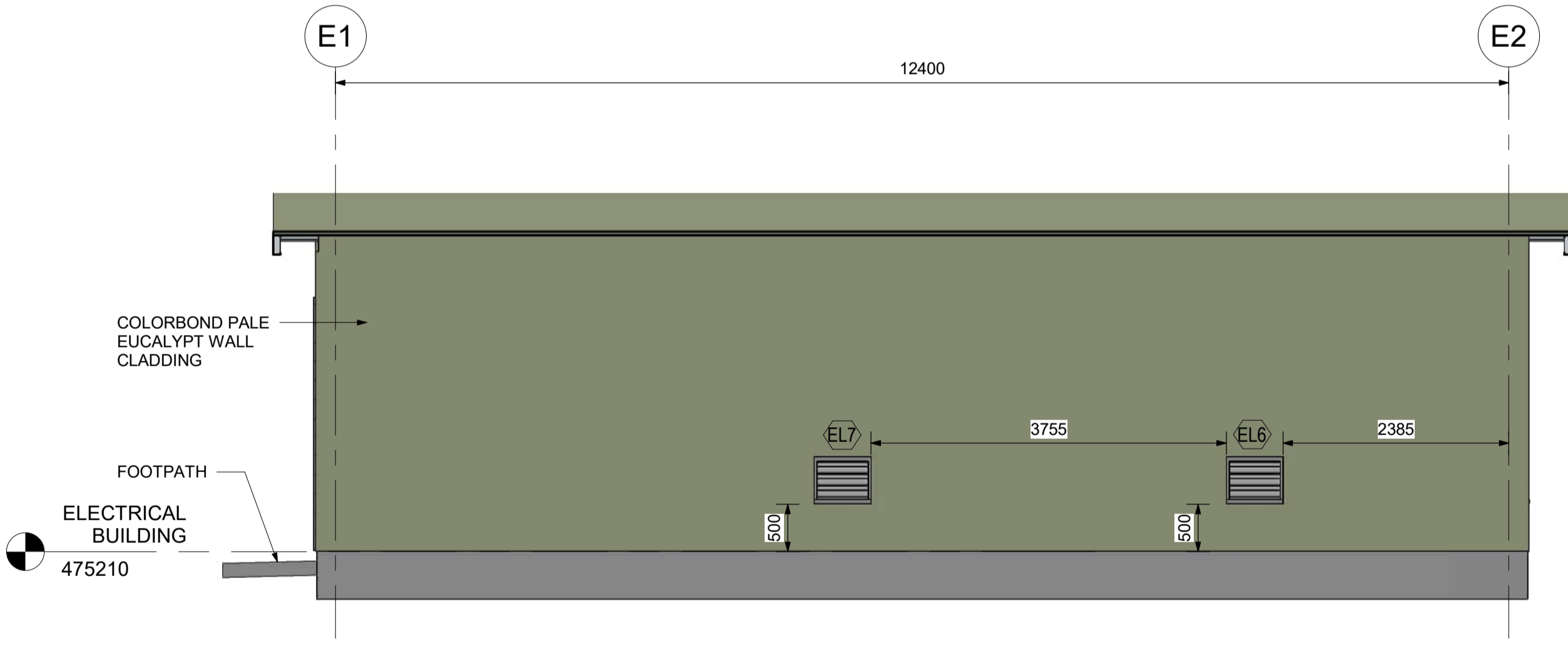
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SCALE: 1 : 50



ELEVATION ALONG GRID EA
SCALE: 1 : 50



ELEVATION ALONG GRID E2
SCALE: 1 : 50



ELEVATION ALONG GRID EB
SCALE: 1 : 50

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A	ISSUED FOR 70% DESIGN REVIEW	14.10.24			
Rev.No.	Amendment	Date	Authorised		



TASMANIAN WATER & SEWERAGE CORPORATION PTY LTD
ABN: 47 162 220 653 © 2024

Scale	1 : 50
Datum	
Sheet size	
References	

DESIGN		DATE		REVIEW		DATE	
Drawn	Author		14.10.24	Checked	Checker		14.10.24
Designed	Designer		14.10.24	Approved	Approver		14.10.24

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Drawing Issue
FOR REVIEW

OATWT02 - OATLANDS WATER TREATMENT PLANT ELECTRICAL STORAGE BUILDING ELEVATIONS	
0172-DWG -OATWT02- ST-0041	Sheet Number Revision A

SMC - KEMPTON
RECEIVED
7/4/25

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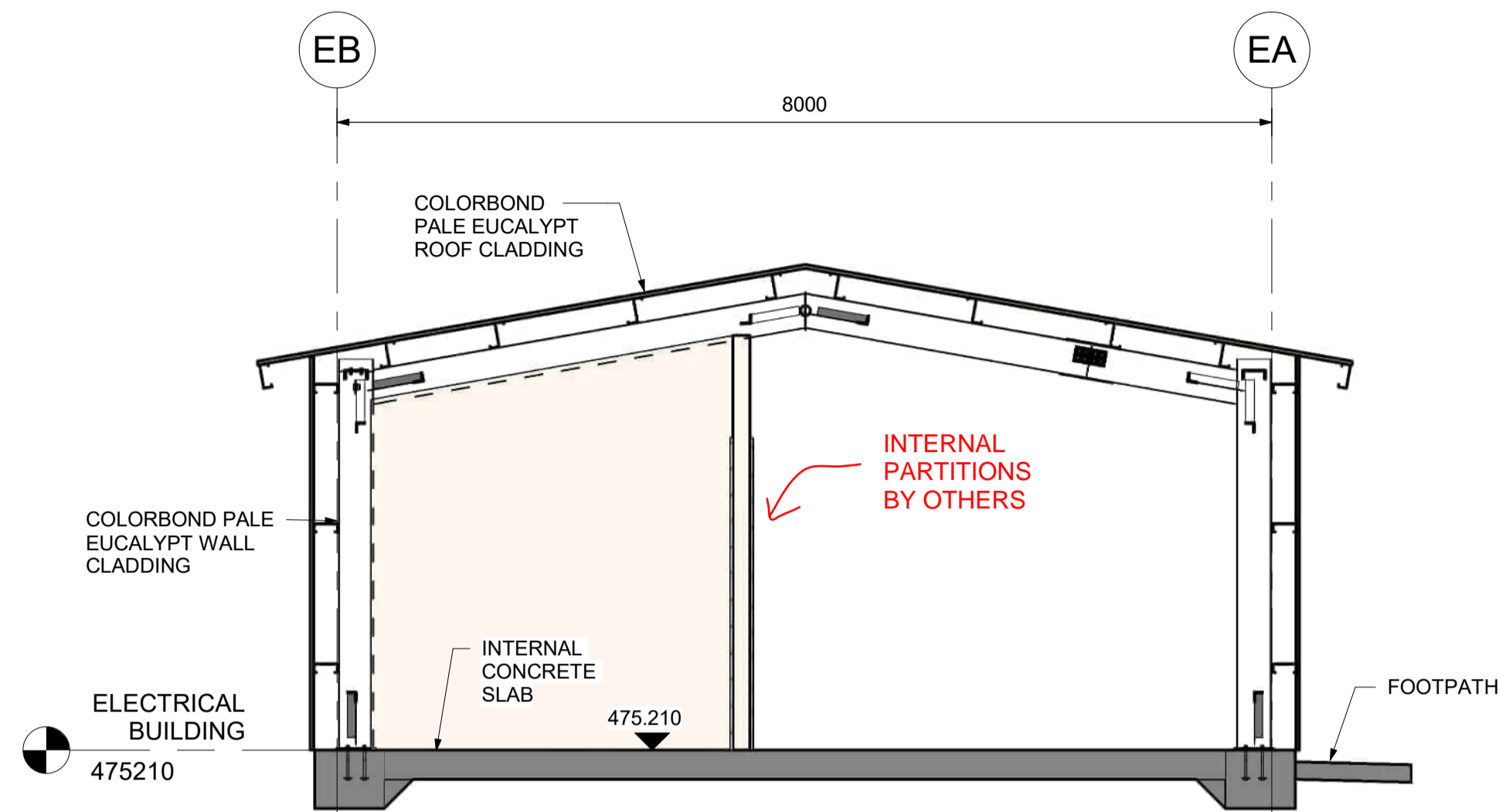
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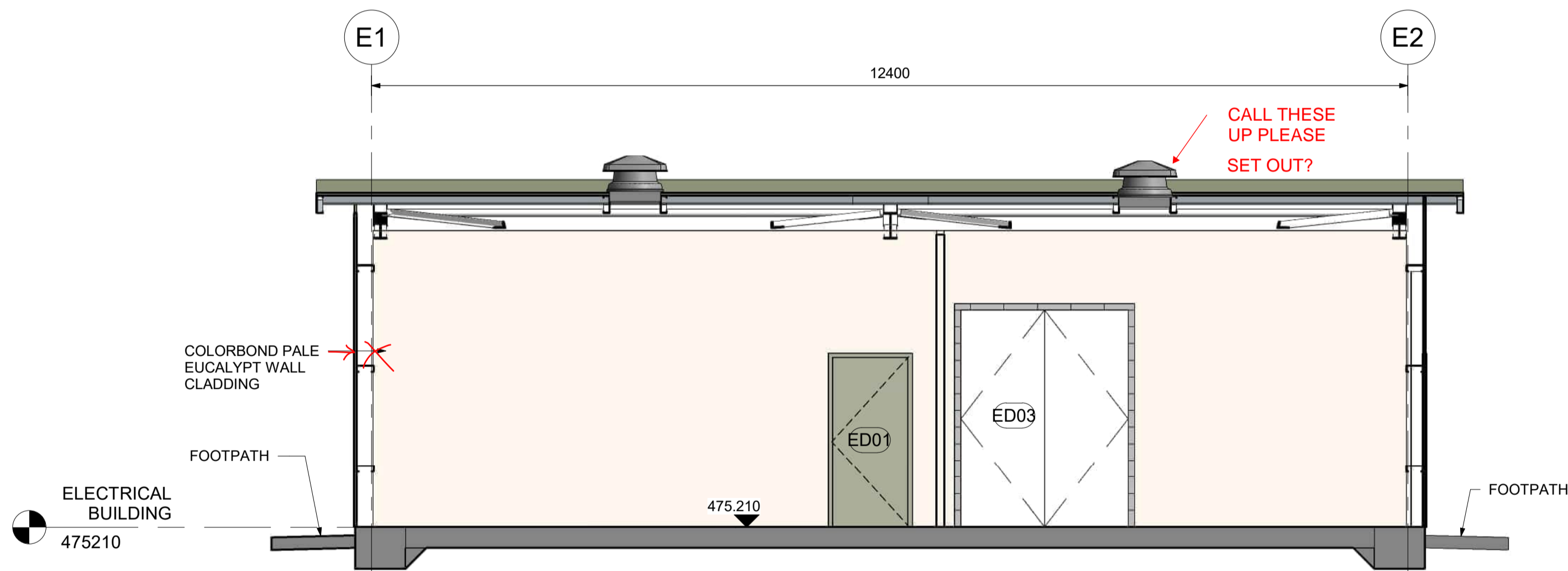
D

E

F



SECTION 1
SCALE: 1 : 50
ST-0040



SECTION 2
SCALE: 1 : 50
ST-0040

NOT FOR CONSTRUCTION

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A	ISSUED FOR 70% DESIGN REVIEW	14.10.24	
Rev.No.	Amendment	Date	Authorised



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ABN: 47 162 220 653 © 2024

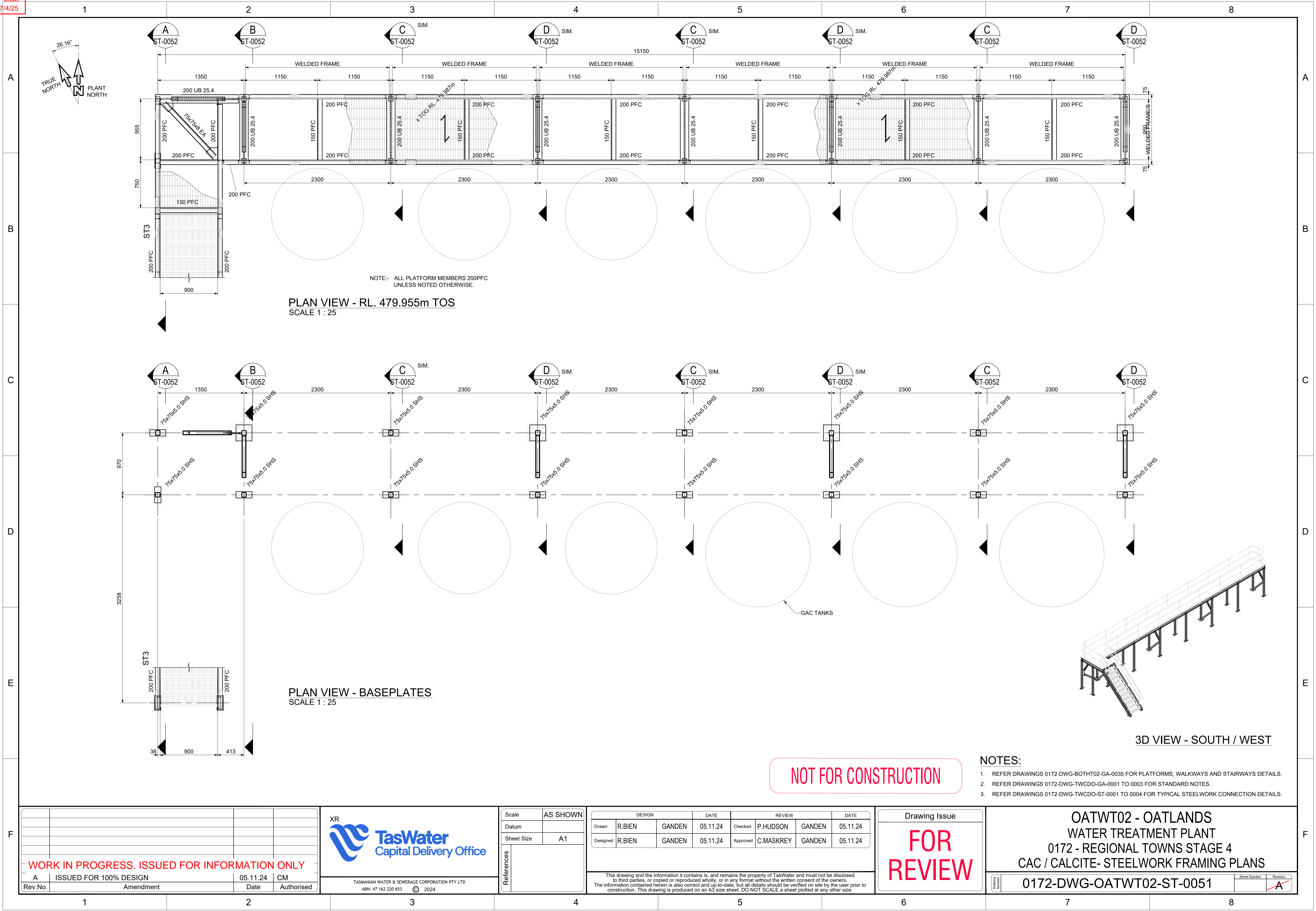
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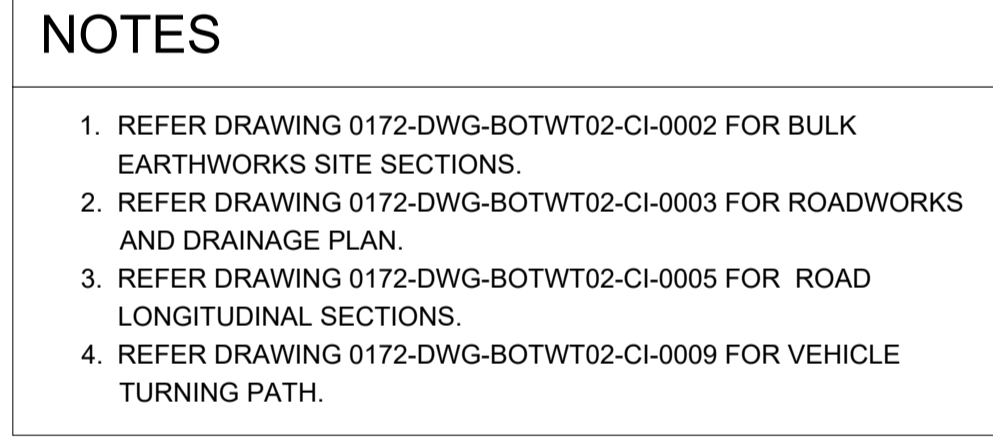
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Drawn	Author		14.10.24	Checked	Checker		14.10.24
Designed	Designer		14.10.24	Approved	Approver		14.10.24

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Drawing Issue
FOR REVIEW

OATWT02 - OATLANDS WATER TREATMENT PLANT ELECTRICAL STORAGE BUILDING SECTIONS			
0172-DWG -OATWT02- ST-0043		Sheet Number	Revision A





0 5 10 15 20 25m

1:250

OATWT02 - OATLANDS WATER TREATMENT PLANT 0172 - REGIONAL TOWNS STAGE 4 BULK EARTHWORKS PLAN

Drawing Number	0172-DWG-OATWT02-CI-0001	Sheet Number	Revision
			B

SMC - KEMPTON
7/4/25

NOTES

1. REFER DRAWING 0172-DWG-OATWT02-CI-0001 FOR BULK EARTHWORKS PLAN.

VERT EXAG 1:1
DATUM R.L. 463.000

NATURAL SURFACE	480.79	480.05	478.51	478.51	476.92	475.77	475.62	474.40	473.69	473.67	472.91	472.50	473.68	471.71	472.03	469.72
EARTHWORKS SURFACE		480.050	477.376	477.390	477.270	475.457	475.099	474.860	473.647	473.142	472.616	472.536	473.399			
DEPTH TO EARTHWORKS SURFACE LEVEL		0.004	-1.131	-1.117	0.347	-2.311	-0.517	0.462	-0.043	-0.531	-0.297	0.032	-0.282			

BULK EARTHWORKS SECTION A
SCALE 1:250

VERT EXAG 1:1
DATUM R.L. 463.000

NATURAL SURFACE		479.76	478.37	477.96	476.69	475.28	474.68	474.60	473.73	473.57	473.25	472.47	472.13	471.75	471.89	470.18
EARTHWORKS SURFACE		479.757	478.373	477.961	476.691	475.283	474.675	474.600	473.733	473.567	473.245	472.471	472.134	471.753	471.894	470.182
DEPTH TO EARTHWORKS SURFACE LEVEL		0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000

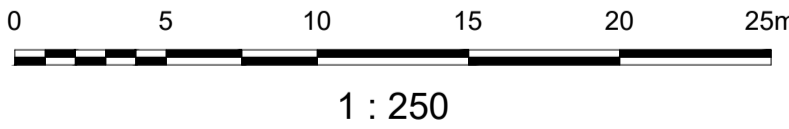
BULK EARTHWORKS SECTION B
SCALE 1:250

VERT EXAG 1:1
DATUM R.L. 473.000

NATURAL SURFACE		479.81	480.09	480.10	480.09
EARTHWORKS SURFACE		479.809	480.086	480.098	480.087
DEPTH TO EARTHWORKS SURFACE LEVEL		0.000	0.000	0.000	0.000

BULK EARTHWORKS SECTION C
SCALE 1:250

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A	ISSUED FOR PRELIMINARY DESIGN	14.08.24	CM
Rev.No.	Amendment	Date	Authorised



TASMANIAN WATER & SEWERAGE CORPORATION PTY LTD
ABN: 47 162 220 653 © 2024

Scale	NTS
Datum	AHD (TAS.)
Sheet Size	A1
References	

DESIGN			DATE		REVIEW			DATE	
Drawn	T.QUINN	GANDEN	14.08.24	Checked	P.HUDSON	GANDEN	14.08.24		
Designed	P.McKILLOP	GANDEN	14.08.24	Approved	C.MASKREY	GANDEN	14.08.24		

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Drawing Issue

FOR REVIEW

OATWT02 - OATLANDS
WATER TREATMENT PLANT
0172 - REGIONAL TOWNS STAGE 4
BULK EARTHWORKS SECTIONS SHEET 1

0172-DWG-OATWT02-CI-0002

Sheet Number	Revision
	B

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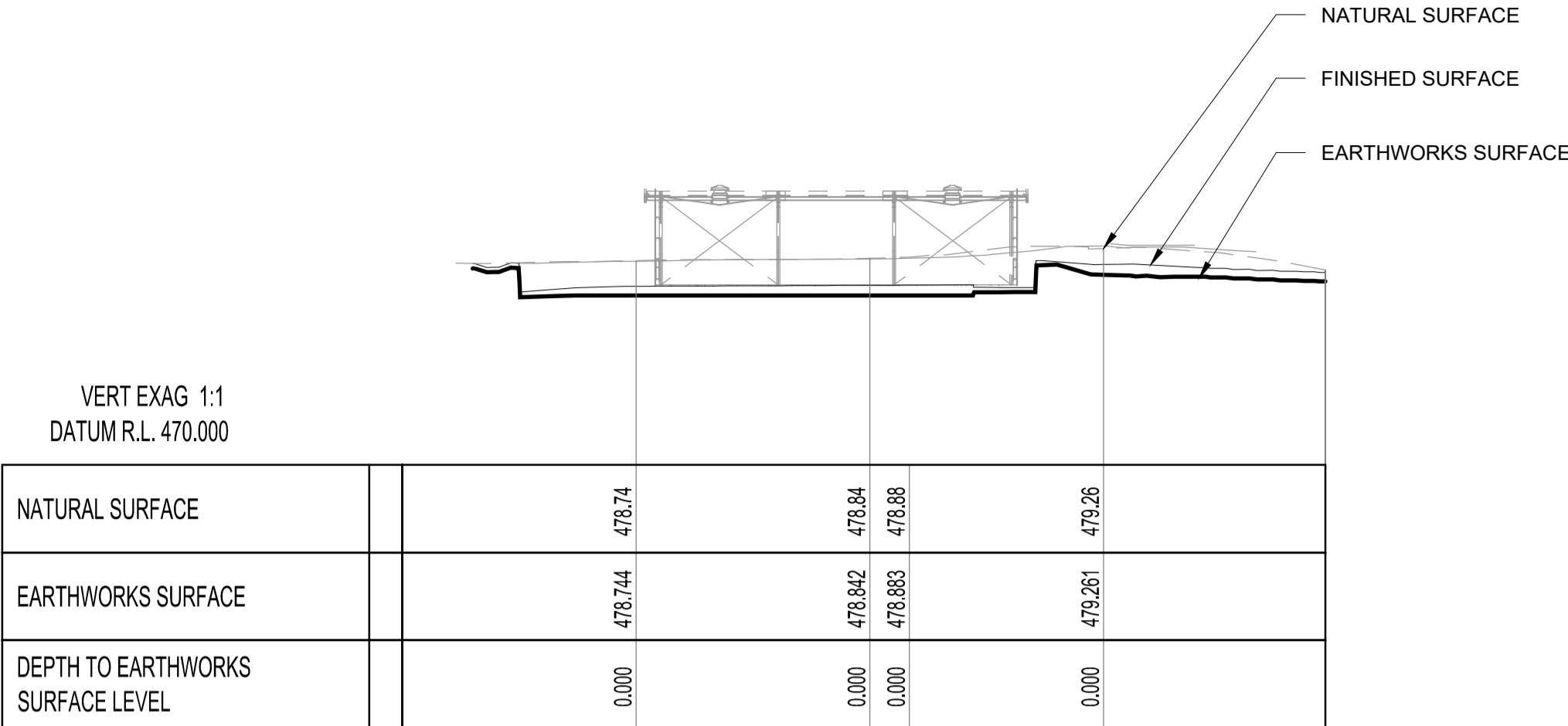
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E

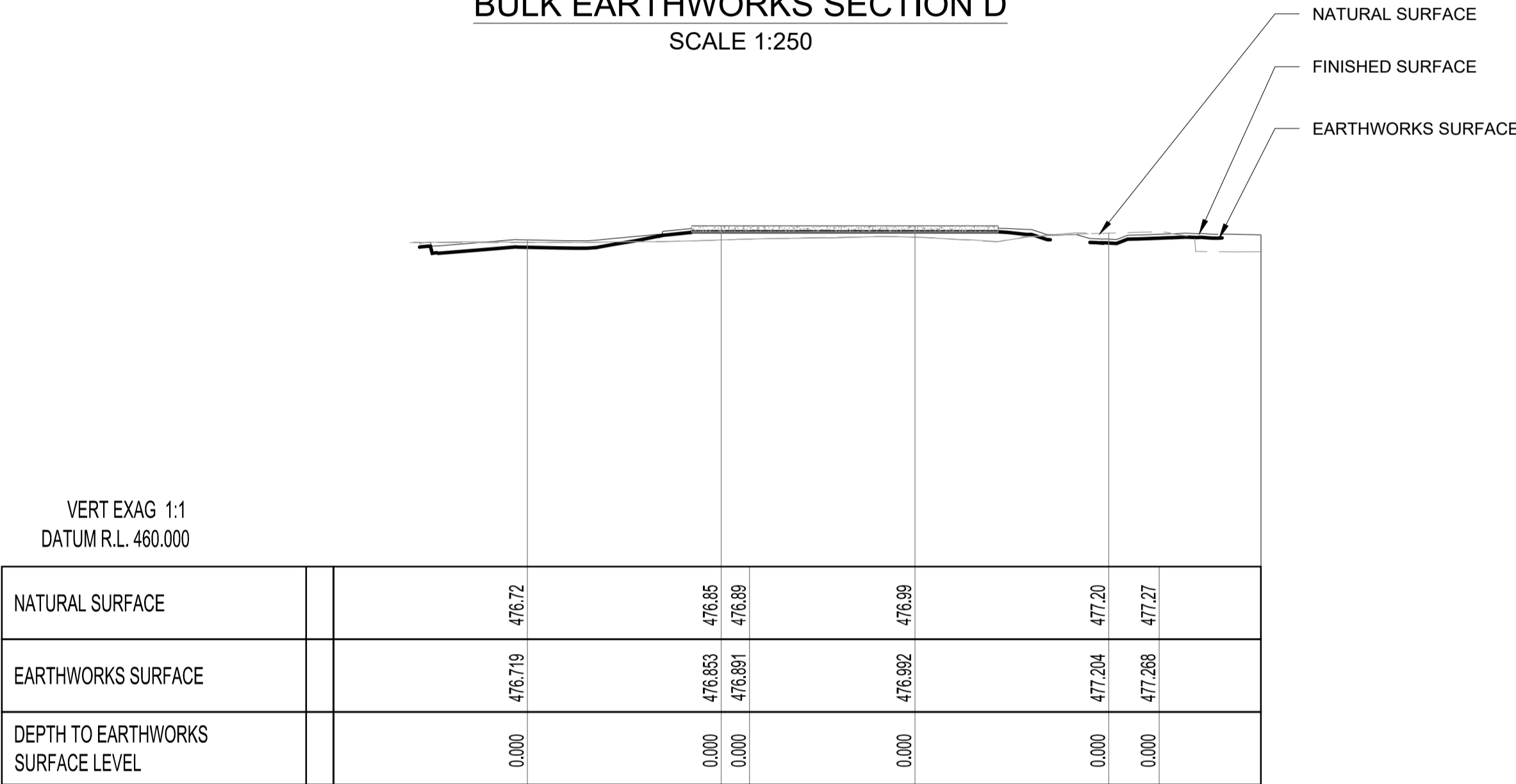
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NOTES

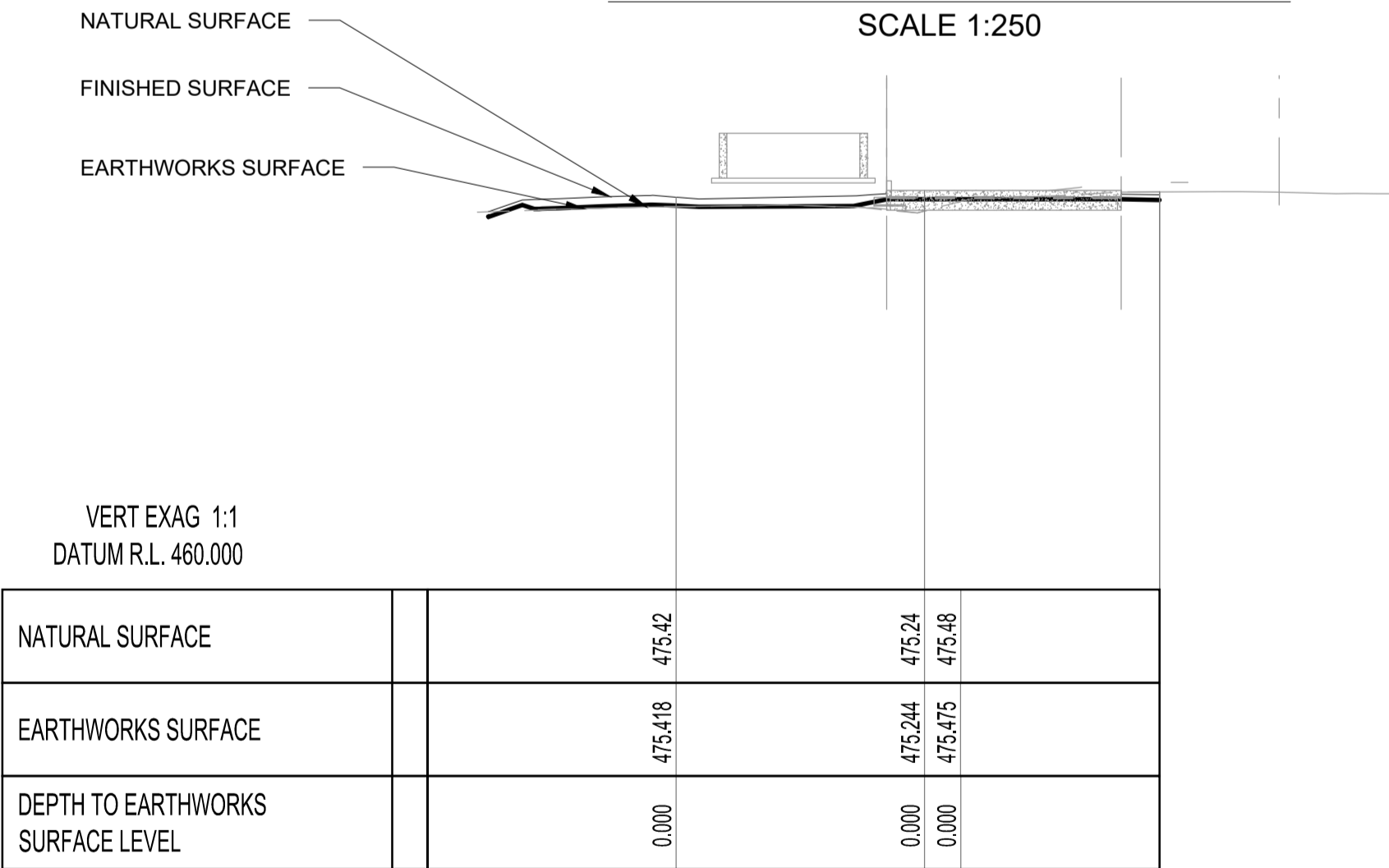
1. REFER DRAWING 0172-DWG-OATWT02-CI-0001 FOR BULK EARTHWORKS PLAN.



BULK EARTHWORKS SECTION D
SCALE 1:250

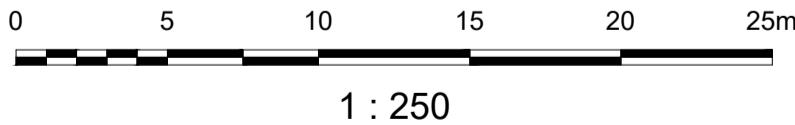


BULK EARTHWORKS SECTION E
SCALE 1:250



BULK EARTHWORKS SECTION F
SCALE 1:250

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Scale	NTS
Datum	AHD (TAS.)
Sheet Size	A1
References	

DESIGN			DATE		REVIEW			DATE	
Drawn	T.QUINN	GANDEN	14.08.24	Checked	P.HUDSON	GANDEN	14.08.24		
Designed	P.McKILLOP	GANDEN	14.08.24	Approved	C.MASKREY	GANDEN	14.08.24		

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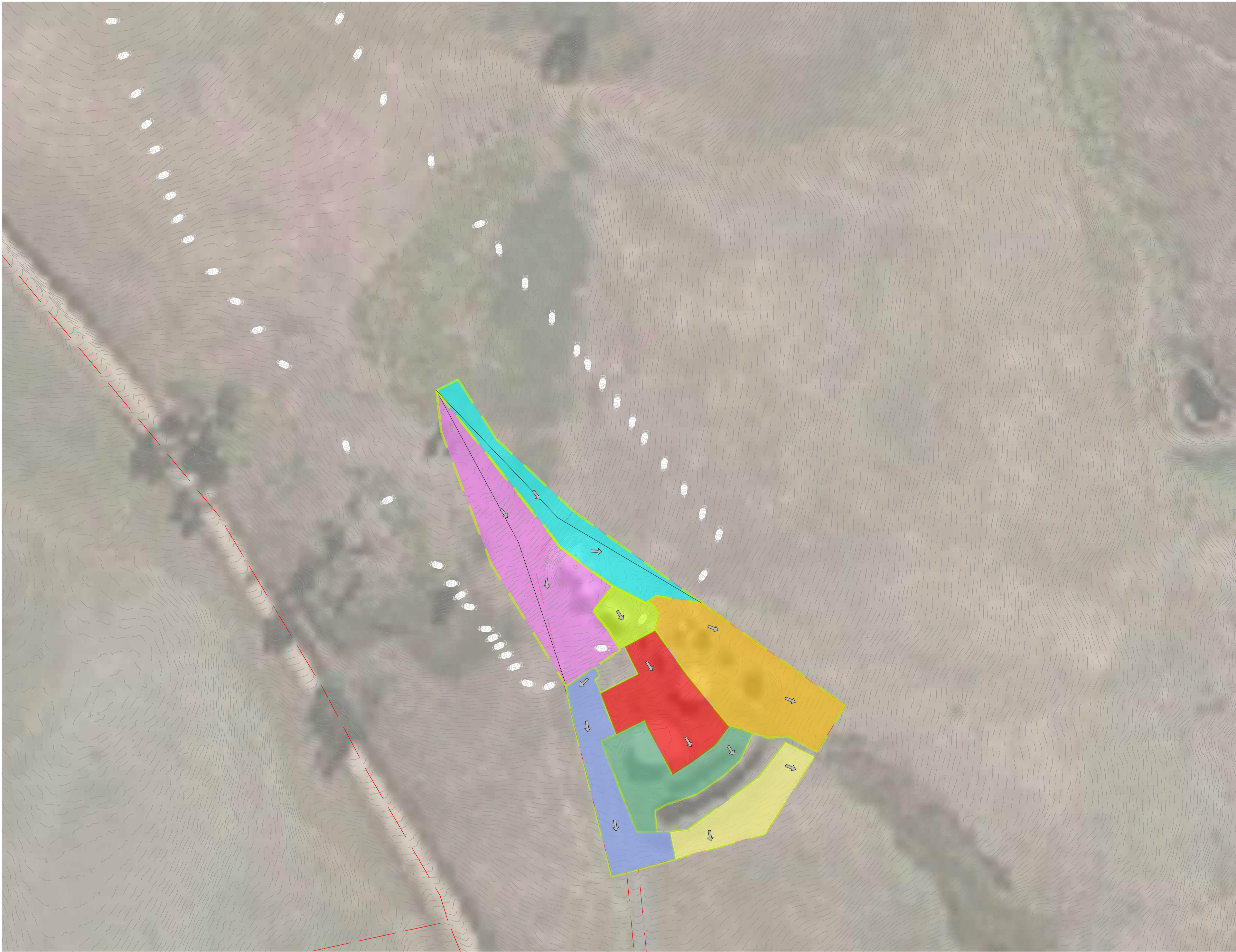
Drawing Issue

FOR REVIEW

OATWT02 - OATLANDS
WATER TREATMENT PLANT
0172 - REGIONAL TOWNS STAGE 4
BULK EARTHWORKS SECTIONS SHEET 2










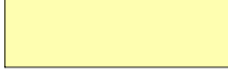
0172-DWG-OATWT02-CI-0003

Sheet Number	Revision
	B

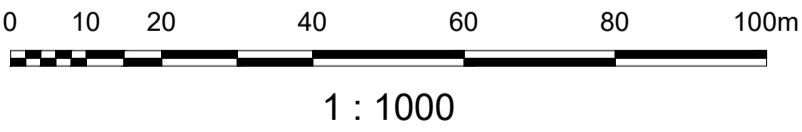


SITE PLAN
SCALE 1 : 1000

STORMWATER CATCHMENTS LEGEND AND TABLE

-  DIRECTION OF OVERLAND FLOW
-  CATCHMENT BOUNDARY
-  CATCHMENT A
-  CATCHMENT B
-  CATCHMENT C
-  CATCHMENT D
-  CATCHMENT E
-  CATCHMENT F
-  CATCHMENT G
-  CATCHMENT H

CATCHMENT TABLE	
CATCHMENT	AREA (Ha)
A	0.2822
B	0.1488
C	0.0396
D	0.1476
E	0.0396
F	0.233
G	0.0196
H	0.099



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 **TasWater**
Capital Delivery Office

TASMANIAN WATER & SEWERAGE CORPORATION PTY LTD
ABN: 47 162 220 653 © 2024

Scale	NTS
Datum	AHD (TAS.)
Sheet Size	A1
References	

DESIGN				REVIEW			
Drawn	T.QUINN	GANDEN	14.08.24	Checked	P.HUDSON	GANDEN	14.08.24
Designed	P.McKILLOP	GANDEN	14.08.24	Approved	C.MASKREY	GANDEN	14.08.24
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Drawing Issue

FOR REVIEW

OATWT02 - OATLANDS
WATER TREATMENT PLANT
0172 - REGIONAL TOWNS STAGE 4
CATCHMENT PLAN

0172-DWG-OATWT02-CI-0005

Sheet Number

Revision
A

To: TasWater CDO

Attn: James Livingston

Date: 11/09/2024

Re: 0172 / 3434 - Oatlands WTP Demountable Relocation

1. Site Inspection

1.1 General

With the assistance of One Earth Excavations Pty Ltd (One Earth) an inspection of the existing operations demountable at Oatlands WTP was undertaken on 13 August 2024.

Note that One Earth will provide a separate detailed methodology and safety plan for the relocation of the building, including service disconnections.

The below photos indicate the proposed area for relocation (other side of car park to existing location, alongside eastern boundary).



1.2 Observations

The following observations were made during the inspection:

General

The building measures 12m long x 3.6m wide. It was constructed by Ausco Modular and came with all services 'plumbed'

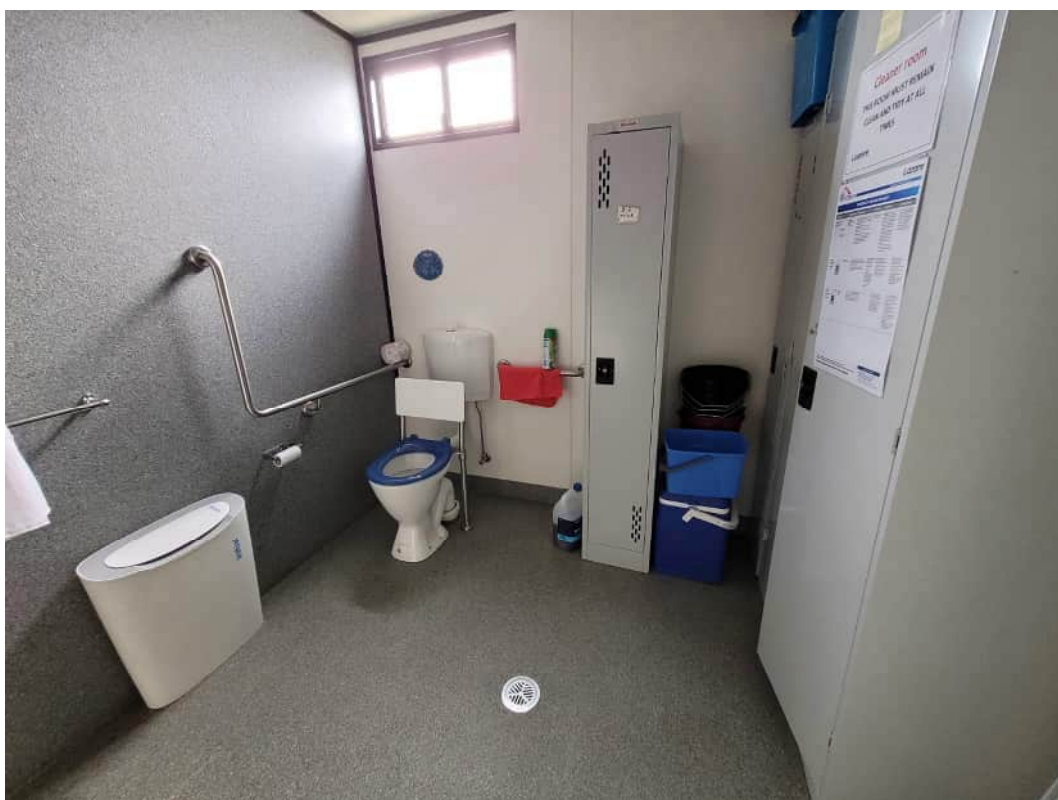




The demountable contains a single personnel door for access into an open area with desk, sink/tea facilities, communications rack, and laundry 'cupboard'. To one side is a separate office area, and to the other is a bathroom with shower and toilet.







Support/Foundation and Method of Securing

The demountable has two steel beams spanning the length of the building and these are supported on 8 concrete block piers of varying height to suit the site topography.

The demountable floor beams are secured at each pier by chains that are connected to cast-ins on the block piers.

TECHNICAL MEMORANDUM





Lifting

The demountable has 4 clearly identified lifting points (2 each long side), consisting of outrigger bars.

The building came fully assembled, so there should be no requirement to remove loads from the building prior to relocation, other than storing loose items.



TECHNICAL MEMORANDUM

Access ramp and awning

The timber ramp and awning are separately supported to the demountable building and were a later addition.

The ramp is supported on stirrups, presumably to cast in-situ concrete blocks.

The awning is flashed above the doorway to the demountable, but not physically secured.





Base Cladding

Cladding is installed below the demountable following the slope of the land, supported on a bespoke timber framework. The cladding is in good condition and could be reused (noting the ground slope will be different in new location), however a better support frame is recommended. It is also recommended that vents be installed in the cladding to allow airflow under the building as some moisture was noted.





Services

The following services are connected to the demountable building and will require relocation as part of the move

- LV power – enters on ramp side of building
- Comms – note two empty (future) conduits were found
- Water
- Sanitary waste/sewer – DN100
- Stormwater – DN100

TECHNICAL MEMORANDUM

**GANDEN**
ENGINEERS AND PROJECT MANAGERS



The base frame of the demountable supports 2 external air-conditioner units, along with hot water cylinder, booster pump and miscellaneous piping/valving.



Septic Tank and Disposal Area

The demountable sanitary waste is piped to a 3,000L septic and associated disposal area south of the building.



TECHNICAL MEMORANDUM

Water tank

A 10,000L potable water tank is located alongside the demountable. Potable water is pumped to the tank from the treated water system (near reservoirs). A pressure/booster pump on the demountable services skid provides pressurized water to the demountable amenities, but also to the existing process building.





2. Proposed Relocation

2.1 Scope of Relocation

The relocation of the demountable is to be achieved in a 24 hour window so the new site will need to be prepared, along with all required services to ensure continuity.

It is proposed to retain all piping and cabling as installed under the demountable and retain existing relative connection points for services.

The scope of relocation is as follows:

- Prepare new site for demountable
- Install new foundation piers – to be designed/specified by GANDEN
- Install new 3,000L prefabricated septic system to the south of the new building clear of proposed roads and other infrastructure
- Provide conduits/cables and piping for all required services up to the edge of the building

It is anticipated that the existing ramp will require modification to suit the new location.

2.2 Details

Foundation details are to be prepared, along with assessment of earthworks levels

Location of the new septic system to be confirmed once ring road alignment has been finalised.

One Earth are to provide a detailed methodology for the relocation.

TECHNICAL MEMORANDUM

With regards,

GANDEN Engineers and Project Managers



.....
Connell Maskrey

Project Manager



SMC - KEMPTON

RECEIVED

7/4/25

TECHNICAL MEMORANDUM





APPENDIX C

Landowner Notification Letters



7/4/25



MC Planners Ref: 23082

07 April 2024

TasWater Development Corporation
PO Box 1393, Hobart Tasmania, 7001

To the proper officer

**NOTIFICATION LETTER - DEVELOPMENT APPLICATION - WATER TREATMENT PLANT,
INTERLAKEN ROAD, OATLANDS**

We advise that MC Planners has been engaged by JMG obo TasWater to make a development application for a Water Treatment Plant at Lot 1 Interlaken Road, Oatlands.

Accordingly, we write to notify you of the application, in accordance with our statutory obligations under section 52(1) of the *Land Use Planning and Approvals Act 1993*.

More information will be available from the Southern Midlands Council when the application is formally advertised.

Yours faithfully

MC PLANNERS PTY LTD

A handwritten signature in blue ink, appearing to read 'Mat Clark', enclosed in a rectangular box.

Mat Clark
DIRECTOR/PRINCIPAL PLANNER

7/4/25



MC Planners Ref: 23082

07 April 2025

Tasmanian Irrigation

Postal: PO Box 84, Evandale, TASMANIA, 7212.

To the proper officer

**NOTIFICATION LETTER - DEVELOPMENT APPLICATION - WATER TREATMENT PLANT,
INTERLAKEN ROAD, OATLANDS**

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Mat Clark
DIRECTOR/PRINCIPAL PLANNER

7/4/25



MC Planners Ref: 23082

07 April 2024

B J and L Fish

PO Box 90, Oatlands Tas 7120

Dear Mr and Mrs Fish

**NOTIFICATION LETTER - DEVELOPMENT APPLICATION - WATER TREATMENT PLANT,
INTERLAKEN ROAD, OATLANDS**

We advise that MC Planners has been engaged by JMG obo TasWater to make a development application for a Water Treatment Plant at Lot 1 Interlaken Road, Oatlands.

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Yours faithfully

MC PLANNERS PTY LTD

A handwritten signature in blue ink, appearing to read 'Mat Clark', enclosed in a rectangular box.

Mat Clark
DIRECTOR/PRINCIPAL PLANNER



APPENDIX D

Tas Irrigation, advice on Crown consent



7/4/25

Peter Coney

From: Claire Potter <claire.potter@tasirrigation.com.au>
Sent: Tuesday, 18 March 2025 12:52 PM
To: Woolley, Mel
Cc: Emma Connolly; Peter Coney
Subject: RE: [External]RE: Request for land ownership transfer - Oatlands WTP access road

Hi Mel,

In relation to your email and Peter's email in which you are seeking TI's consent to your development application, we are of the view that under s.52(1) of the *Land Use Planning and Approvals Act 1993*, that you do not need to have our consent for the application. You will note that the land (access road) is not owned by the Crown, nor the Council and it is not administered by either the Crown or the Council. Therefore, notification to us that you intend to make the application is sufficient.

It would be our preference that TasWater organise the necessary paperwork in order to transfer the access road to you, prior to any works commencing and that TasWater undertake to pay any costs associated with preparing and transferring the access road.

We are happy to provide written confirmation of your notification to us if that would assist?

Kind Regards

Claire Potter

Executive Assistant to General Counsel / Company Secretary



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Tasmanian Irrigation supports flexible working for all staff. If I have sent this email at a time that is outside of your working hours, please do not feel that you need to respond or action it immediately, unless the matter is urgent and time sensitive.

Disclaimer: This message (and its attachments) may contain confidential, proprietary or legal privileged information. If you are not the intended recipient you must not use, print, store, copy it in any form, or disclose the information contained in it. If you have received this email in error, please delete and notify us immediately. Thank-you.



April 2025

The Manager
Development & Environmental Services
Southern Midlands Council
85 Main Street
KEMPTON TAS 7030

Dear Grant,

**DEVELOPMENT APPLICATION Lots 1 and 2 Interlaken Road –
Water Treatment plant including demolition, lot consolidation,
boundary adjustment and associated works**

I write to provide you with the Land Owner's Declaration, under s52 Land Use Planning and Approvals Act 1993, for the Development Application submitted by Tasmanian Water & Sewage Corporation, Tasmania Irrigation and Mr B and Mrs L Fish for the proposed Water treatment Plant at Lot 1 and 2 Interlaken Road.

As the duly authorised officer, I hereby give my permission for the lodgment of the abovementioned Development Application that covers land owned by the Southern Midlands Council.

Yours sincerely

Tim Kirkwood
General Manager