



## Public Notice Details

### Planning Application Details

<b>Application No</b>	DA2500023
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#### Property Details

<b>Property Location</b>	129 Salmons Road Rhyndaston
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#### Application Information

<b>Application Type</b>	Discretionary Development Application
<b>Development Category</b>	New Dwelling
<b>Advertising Commencement Date</b>	25/7/25
<b>Advertising Closing Period</b>	8/8/25
<small>If the Council Offices are closed during normal office hours within the above period, the period for making representations is extended.</small>	

Enquiries regarding this Application can be made via to Southern Midlands Council on (03) 6254 5050 or by emailing [planningenquires@southernmidlands.tas.gov.au](mailto:planningenquires@southernmidlands.tas.gov.au). Please quote the development application number when making your enquiry.

Representations on this application may be made to the General Manager in writing either by

Post: PO Box 21, Oatlands Tas 7120  
Email: [mail@southernmidlands.tas.gov.au](mailto:mail@southernmidlands.tas.gov.au)  
Fax: 03 6254 5014

All representations must include the authors full name, contact number and postal address and be received by the advertising closing date.



## APPLICATION FOR PLANNING PERMIT

# DEVELOPMENT / USE

Use this form to apply for a permit in accordance with section 57 and 58 of the *Land Use Planning and Approvals Act 1993*

Proposed  
use/development:  
(Provide details of  
proposed works and use).

Proposed 1a Dwelling 2 storeys

Location of  
Development:  
(If the development  
includes more than one  
site, or is over another  
property include address  
of both Properties).

129 Salmons Road Rhyndaston TAS 7120

Certificate of Title/s  
Volume Number/Lot  
Number:

238947/1

Land Owners Name:

MICHAEL GERHARD SKROBLIN SARAH SKROBLIN

*Full Name/s or Full Business/Company Name*

Applicant's Name:

Nicholas Young

*Full Name/s or Full Business/ Company Name (ABN if registered business or company name)*

Contact details:

*Postal address for correspondence:* 20 Cypress Circuit Coomera QLD 4209

*Telephone or Mobile:* 0422531710

*Email address:* nick@islandlifedesigners.com

*(Please note it is your responsibility to provide your correct email address and to check your email for communications from the Council.)*

Details

Tax Invoice for  
application fees to be  
in the name of:  
(if different from  
applicant)

MICHAEL GERHARD SKROBLIN

*Full Name/s or Full Business or Company Name and ABN if registered business or company name*

*Print email address*

Michael.Skroblin@kbr.com

*ABN*

What is the estimated value of all the new work proposed

\$ 350,000.00

## For Commercial Planning Permit Applications Only

Signage:

Is any signage proposed?

Yes

No

If yes, attach details: size, location and art work

Business Details:

Existing hours of operation

Hours	am	to	pm
Weekdays			
Sat			
Sun			

Proposed hours of new operation

Hours	am	to	pm
Weekdays			
Sat			
Sun			

Number of existing employees:

Number of proposed new employees:

Traffic Movements:

Number of commercial vehicles serving the site at present

Approximate number of commercial vehicles servicing the site in the future

Number of Car Parking Spaces:

How many car spaces are currently provided

How many new car spaces are proposed

Please tick ✓ answer

Is the development to be staged:

Yes

No



Please attach any additional information that may be required by Part 6.1 *Application Requirements* of the Tasmanian Planning Scheme – Southern Midlands.

Signed Declaration

**I/we as owner of the land or person with consent of the owner hereby declare that:**

1. I/we have read the Certificate of Title and Schedule of Easements for the land and I/we are satisfied that this application is not prevented by any restrictions, easements or covenants.
2. I/we provide permission by or on behalf of the applicant for Council officers to enter the site to assess the application.
3. The information given in this application is true and accurate. I/we understand that the information and materials provided with this application may be made available to the public. I/we understand that the Council may make such copies of the information and materials as, in its opinion, are necessary to facilitate a thorough consideration of the application.
4. I/we have secured the necessary permission from the copyright owner to communicate and reproduce the plans submitted with the application for assessment. I/we indemnify the Southern Midlands Council for any claim or action taken against it regarding a breach of copyright in respect of any of the information or material provided.
5. I/we declare that, in accordance with Section 52(1) of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their consent is attached and the application form signed by the Minister of the Crown responsible and/or the General Manager of the Council.

Applicant Signature  
(If not the Title Owner)

Applicant Name (please print)

Nicholas Young

Date

15.01.2025

Land Owner(s) Signature

Land Owners Name (please print)

MICHAEL SKROBLIN

Date

07.02.2025



Land Owner(s) Signature

Land Owners Name (please print)

SARAH SKROBLIN

Date

07.02.2025

## PRIVACY STATEMENT

The Southern Midlands Council abides by the Personal Information Protection Act 2004 and views the protection of your privacy as an integral part of its commitment towards complete accountability and integrity in all its activities and programs.

**Collection of Personal Information:** The personal information being collected from you for the purposes of the Personal Information Protection Act, 2004 and will be used solely by Council in accordance with its Privacy Policy. Council is collecting this information from you in order to process your application.

**Disclosure of Personal Information:** Council will take all necessary measures to prevent unauthorised access to or disclosure of your personal information. External organisations to whom this personal information will be disclosed as required under the Building Act 2000. This information will not be disclosed to any other external agencies unless required or authorised by law.

**Correction of Personal Information:** If you wish to alter any personal information you have supplied to Council please telephone the Southern Midlands Council on (03) 62545050. Please contact the Council's Privacy Officer on (03) 6254 5000 if you have any other enquires concerning Council's privacy procedures.



# Information & Checklist Sheet

## DEVELOPMENT / USE

Use this check list for submitting your application for a planning permit –Please do not attach the check list with your application

### Submitting your application ✓

1. All plans and information required per Part 6.1 Application Requirements of the Tasmanian Planning Scheme i.e.: site plan showing all existing buildings, proposed buildings, elevation plans etc. ☐
2. Copy of the current Certificate of Title, Schedule of Easements and Title Plan (Available from Service Tasmania Offices) ☐
3. Any reports, certificates or written statements to accompany the Application (if applicable) required by the relevant zone or code. ☐
4. Prescribed fees payable to Council ☐

#### Information

If you provide an email address in this form then the Southern Midlands Council ("the Council") will treat the provision of the email address as consent to the Council, pursuant to Section 6 of the Electronic Transactions Act 2000, to using that email address for the purposes of assessing the Application under the Land Use Planning and Approvals Act 1993 ("the Act").

If you provide an email address, the Council will not provide hard copy documentation unless specifically requested.

It is your responsibility to provide the Council with the correct email address and to check your email for communications from the Council.

**If you do not wish for the Council to use your email address as the method of contact and for the giving of information, please tick ✓ the box** ☐

#### Heritage Tasmania

If the Property is listed on the Tasmanian Heritage Register then the Application will be referred to Heritage Tasmania unless an Exemption Certificate has been provided with this Application. (Phone 1300 850 332 (local call cost) or email [enquires@heritage.tas.gov.au](mailto:enquires@heritage.tas.gov.au))

#### TasWater

Depending on the works proposed Council may be required to refer the Application to TasWater for assessment (Phone 136992)

**IMPORTANT: There is no connection between Planning approval and Building & Plumbing approvals.**

Owners are to ensure that the work is either Low-Risk Building Work, Notifiable Building Work or Permit work in accordance with the Directors Determination – Categories of Building & Demolition Work v 1.4 dated 12 March 2021 prior to any building works being carried out on the land.

[https://www.cbos.tas.gov.au/data/assets/pdf\\_file/0014/405014/Directors-determination-categories-of-building-and-demolition-work-2021.pdf](https://www.cbos.tas.gov.au/data/assets/pdf_file/0014/405014/Directors-determination-categories-of-building-and-demolition-work-2021.pdf)

GENERAL INFORMATION

Land Title Referene	-	238947/1
Building Class	-	1a
Property Zone	-	Rural
Wind Classification	-	N2 -
Soil Classification (AS 2870)	-	CLASS S
Climate Zone (NCC)	-	Zone 7
Alpine Area (900m above AHD) -	-	NA
BAL Rating (AS3959)	-	NA
Heritage Building	-	NO
Flood Prone Area	-	NO
Coastal Ingress Area	-	NO
Coastal Erosion Area	-	NO
Corrosion Environment	-	Medium: Refer to ABCB Housing Provision Standards Table 6.3.9 Corrosion protection & table 6.3.9a: Minimum protective coatings for structural steel members. Cladding & fixings to manufacturer's recommendations.

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RECEIVED  
25/2/25

OTHER CONSULTANTS

Structural Engineer	-	Prima Engineering - Assaad Taoum
Geological Report (Soil)	-	Enviro-Tech Consultants Pty. Ltd.
Energy Assessment	-	TORPLE ENERGY ASSESSMENTS
Waste Water Report	-	CK DESIGN
Bushfire Assessment	-	David Lyne
Civil Engineer	-	TBC
Mechanical Engineer	-	NA
Electrical Engineer	-	NA
Site Survey	-	TBC
Hydrologist Report	-	NA
Contaminated Site Survey	-	NA

AREA SCHEDULE (All measurements in m2)

Site Plan	-	1035000m2
Existing Residence	-	NA
Residence (Lower Floor)	-	190.09m2
Residence (Upper Floor)	-	207.92m2
Alfresco Area	-	NA
Verandah Area	-	NA
Porch (Laundry)	-	NA
Detached Office / Study	-	NA
Porch	-	NA
Decking Area	-	
Balcony (existing)	-	NA
Garage	-	NA
Residential Shed / Outbuilding	-	

Proposed Dwelling

No. 129 Salmons Road  
Rhyndaston TAS 7184

Drawing Schedule:

Sheet number	Sheet name
01	TITLE PAGE
02	SITE PLAN OVERALL
03	SITE PLAN
04	SITE DRAINAGE GROUND FLOOR PLAN
05	SITE DRAINAGE FIRST FLOOR PLAN
06	GROUND FLOOR PLAN
07	FIRST FLOOR PLAN
08	ROOF PLAN
09	ELEVATIONS 1 & 2
10	ELEVATIONS 3 & 4



ISLAND LIFE DESIGNERS  
BUILDING SERVICES PROVIDER  
LICENCE No. 456943679  
CONTACT: info@islandlifedesigners.com

**General Notes**  
The Builder shall check all dimensions and levels on site prior to construction.  
Notify any errors, discrepancies or omissions to the building designer.  
Drawings shall not be used for construction purposes until issued for construction.  
Do not scale drawings.  
All boundaries and contours subject to survey

notes	revision
Deck/ roof/ retaining/ garage	A

stage	sketch design
	preliminary design
	contract documentation
<input checked="" type="checkbox"/>	DA
<input type="checkbox"/>	BA
<input type="checkbox"/>	construction drawings

PROJECT NAME :  
Proposed Dwelling

CLIENT :  
MICHAEL GERHARD SKROBLIN

SITE :  
129 Salmons Road  
Rhyndaston 7120

DRAWING TITLE :  
Title page

REVISION NO. A

DRAWING NO 01

SCALE As noted on  
A3 paper size

DRAWN BY : R.C.K

CHECKED BY : Nicholas Young

PROJECT NO. 24-012

Plot Date: 22.02.2025

SMC - KEMPTON  
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25/2/25









ISLAND LIFE DESIGNERS  
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[illegible]

stage	
	sketch design
	preliminary design
	contract documentation
	DA
	BA
	construction drawings

PROJECT NAME :  
Proposed Dwelling

CLIENT :  
MICHAEL GERHARD SKROBLIN

SITE :  
129 Salmons Road  
Rhyndaston 7120

DRAWING TITLE :  
**Site Plan Overall**

REVISION NO. A

DRAWING NO 02

SCALE As noted on  
A3 paper size

DRAWN BY : R.C.K

CHECKED BY : Nicholas Young

PROJECT NO. 24-012

Plot Date: 22.02.2025

Certificate of Title: 238947/1,  
129 Salmons Road Rhyndaston, 7120  
Site Area: 52,300m2  
Proposed Dwelling Cover: 207.92m2 + Decks 133.87m2= 341.79m2  
Total Site Cover: 0.65%

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New Driveway & access to comply with - min. 4M  
wide carriageway & 0.5M clearance,  
- max 10° gradient for unsealed road surfaces.  
- Compacted gravel finish  
(refer to Bushfire Hazard report).

Carriageway to comply with  
Bushfire Hazard Report and  
CBOS Directors Determination -  
Bushfire Hazard Areas  
2.3.2 Property Access

LEGEND & NOTES

NEW PIPEWORK

SEWER DN100 uPVC

SUB SOIL DRAINAGE Ø90

STORMWATER DN100 uPVC

COLD WATER DN20

FIREFIGHTING STATIC WATER CONNECTION POINT

(refer to Bushfire Hazard report).

FINISHED FLOOR LEVELS

RETAINING WALL

NEW DRIVEWAY

PRIVATE OPEN SPACE - P.O.S.

Soil & Water Management Strategies

Downpipes to be connected as soon as the roof is installed.

Install AG drain prior to footing excavation. See drawing

Excavated material placed up-slope of AG drain.

To be removed when building works are complete and used as removed when building works are complete and used as fill on site for any low points. Install a sediment fence on the downslope side of material.

Construction vehicles to be parked on the street or the driveway once concreted, to prevent transferring debris onto Example Street.

Protection Work

(Section 121 of the Building Act)

If excavation is to a level below that of the adjoining owner's footings, along the title boundary or within 3 metres of a building belonging to an adjoining owner, the builder must (as a minimum) provide and maintain a guard to supervise the excavation. Adjoining owner to be notified using Form 6 (Building and Protection Work Notice) by the Building Surveyor.

Private access turning head - T  
(refer to Bushfire Hazard report).

Connection point for static water supply from water tank.

Selected non-combustible water tank with 10,000ltr minimum stored capacity for firefighting BAL 12.5 requirements.  
(refer to Bushfire Hazard report).

Proposed Dwelling  
POS = 24m2  
10.4.3 - A2(al)(i)&(f)  
(Min. dimension 4.0M)  
Max gradient = 1:10

Vegetation clearance/maintenance minimum distances for BAL requirements.  
(refer to Bushfire Hazard report).

Sel. rainwater tank

Lot 238947/1  
52,300m2

Site Plan  
scale 1:500@A3

notes

Deck/ roof/ retaining/ garage	

revision

A	

stage

	sketch design
	preliminary design
	contract documentation
DA	
BA	
	construction drawings

PROJECT NAME:  
Proposed Dwelling

CLIENT:  
MICHAEL GERHARD SKROBLIN

SITE:  
129 Salmons Road  
Rhyndaston 7120

DRAWING TITLE:  
Site Plan

REVISION NO. A

DRAWING NO. 03

SCALE: As noted on A3 paper size

DRAWN BY: R.C.K

CHECKED BY: Nicholas Young

PROJECT NO. 24-012

Plot Date: 22.02.2025

LEGEND & NOTES

**NEW PIPEWORK**

SEWER DN100 uPVC

SUB SOIL DRAINAGE Ø90

STORMWATER DN100 uPVC

COLD WATER DN20

Wet areas shown hatched to comply with current AS3740:2021 & 2022 N.C.C. Refer to waterproofing details.

**SYMBOLS**

INSPECTION OPENING

FLOOR WASTE GULLY

OVERFLOW RELIEF GULLY

ISOLATION VALVE IN BOX

DROPPER/ RISER

PIT - (DETAILS BY CIVIL)

WATER TAP

FIREFIGHTING STATIC WATER CONNECTION POINT (refer to Bushfire Hazard report).

**ABBREVIATIONS**

V VENT PIPE

IO INSPECTION OPENING

FWG FLOOR WASTE GULLY

IOS INSPECTION OPENING SHAFT

ORG ORVERFLOW RELIEF GULLY

IV ISOLATION VALVE IN BOX

D/R DROPPER/ RISER

Bth BATH

Shr SHOWER

B BASIN

S SINK

Tr TROUGH

WC WATER CLOSET

FWG FLOOR WASTE GULLY

HWC HOT WATER CYLINDER

IV ISOLATION VALVE

PLV PRESSURE LIMITING VALVE

CWM COLD WATER METER

GD GRATED DRAIN

GP GRATED PIT

RP ROD POINT

IS INSPECTION SHAFT

NOTE:  
ALL WORKS MUST BE IN ACCORDANCE WITH THE CURRENT:  
- N.C.C., AS3500.2 & AS3500.3  
- WATER SERVICES ASSOCIATION OF AUSTRALIA CODES (WSAA)  
- LOCAL COUNCIL REQUIREMENTS  
- TASWATER TECHNICAL STANDARDS  
- ANY RELEVANT STANDARDS / MANUFACTURERS SPECIFICATIONS  
REFER TO ROOF PLAN FOR ROOF CATCHMENT AREAS

Site Drainage First Floor Plan  
scale 1:200@A3

SMC - KEMPTON

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Install inspection openings at major heads for stormwater and all low points of downpipes.

Provide surface drain to back of bulk excavation to drain levelled pad prior to commencing roofing excavation.

**Services**

The heated water system must be designed and installed with Part B2 of NCC 2022 Volume Three - Plumbing Code of Australia.

Thermal insulation for heated water piping must:

a) be protected against the effects of weather and sunlight; and

b) be able to withstand the temperatures within the piping; and

c) use thermal insulation in accordance with AS/NZS 4859.1:2018

Heated water piping that is not within a conditioned space must be thermally insulated as follows:

1. Internal piping

a) All flow and return internal piping that is -

i) within an unventilated wall space

ii) within an internal floor between storeys; or

iii) between ceiling insulation and a ceiling

Must have a minimum R-Value of 0.2 (ie 9mm of closed cell polymer insulation)

2. Piping located within a ventilated wall space, an enclosed building subfloor or a roof space

a) All flow and return piping

b) Cold water supply piping and Relief valve piping- within 500mm of the connection to central water heating system

Must have a minimum R-Value of 0.45 (ie 19mm of closed cell polymer insulation)

3. Piping located outside the building or in an unenclosed building sub-floor or roof space

a) All flow and return piping

b) Cold water supply piping and Relief valve piping- within 500mm of the connection to central water heating system

Must have a minimum R-Value of 0.6 (ie 25mm of closed cell polymer insulation)

Piping within an insulated timber framed wall, such as that passing through a wall stud, is considered to comply with the above insulation requirements.

Lot 238947/1  
52,300m2



LEGEND & NOTES

NEW PIPEWORK  
SEWER DN100 uPVC  
SUB SOIL DRAINAGE Ø90  
STORMWATER DN100 uPVC  
COLD WATER DN20

Wet areas shown hatched to comply with current AS3740:2021 & 2022 N.C.C. Refer to waterproofing details.

SYMBOLS  
INSPECTION OPENING  
FLOOR WASTE GULLY  
OVERFLOW RELIEF GULLY  
ISOLATION VALVE IN BOX  
DROPPER/ RISER  
PIT - (DETAILS BY CIVIL)  
WATER TAP

FIREFIGHTING STATIC WATER CONNECTION POINT (refer to Bushfire Hazard report).

ABBREVIATIONS  
V VENT PIPE  
IO INSPECTION OPENING  
FWG FLOOR WASTE GULLY  
IOS INSPECTION OPENING SHAFT  
ORG ORVERFLOW RELIEF GULLY  
IV ISOLATION VALVE IN BOX  
D/R DROPPER/ RISER  
Bth BATH  
Shr SHOWER  
B BASIN  
S SINK  
Tr TROUGH  
WC WATER CLOSET  
FWG FLOOR WASTE GULLY  
HWC HOT WATER CYLINDER  
IV ISOLATION VALVE  
PLV PRESSURE LIMITING VALVE  
CWM COLD WATER METER  
GD GRATED DRAIN  
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scale 1:200@A3

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Heated water piping that is not within a conditioned space must be thermally insulated as follows:

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- All flow and return internal piping that is -
  - within an unventilated wall space
  - within an internal floor between storeys; or
  - between ceiling insulation and a ceiling

Must have a minimum R-Value of 0.2 (ie 9mm of closed cell polymer insulation)

2. Piping located within a ventilated wall space, an enclosed building subfloor or a roof space

- All flow and return piping
- Cold water supply piping and Relief valve piping- within 500mm of the connection to central water heating system

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- All flow and return piping
- Cold water supply piping and Relief valve piping- within 500mm of the connection to central water heating system

Must have a minimum R-Value of 0.6 (ie 25mm of closed cell polymer insulation)

Piping within an insulated timber framed wall, such as that passing through a wall stud, is considered to comply with the above insulation requirements.

100Ø UPVC sewer stack from above.

100Ø UPVC sewer stack from above.

100Ø UPVC sewer stack from above.



Lot 238947/1  
52,300m2



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BUILDING SERVICES PROVIDER  
LICENCE No. 456943679  
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notes  
Deck/ roof/ retaining/ garage

revision	stage
A	sketch design
	preliminary design
	contract documentation
	DA
	BA
	construction drawings

PROJECT NAME:  
Proposed Dwelling

CLIENT:  
MICHAEL GERHARD SKROBLIN

SITE:  
129 Salmons Road  
Rhyndaston 7120

DRAWING TITLE:  
Site Drainage First Floor Plan

REVISION NO. A

DRAWING NO. 05

SCALE: As noted on A3 paper size

DRAWN BY: R.C.K

CHECKED BY: Nicholas Young

PROJECT NO. 24-012

Plot Date: 22.02.2025

# LEGEND & NOTES

90mm stud walls (External) 10mm plasterboard lining on all unless noted otherwise. (wet area plasterboard to all wet areas). External timber batten MGP10 70x35mm.

External cladding:

James Hardie - Linea weatherboard - LxW = 4200mmx180mm thickness = 16mm with selected paint finish.  
(Refer to James Hardie installation guide for fixing methods).  
Colour: T.B.C.

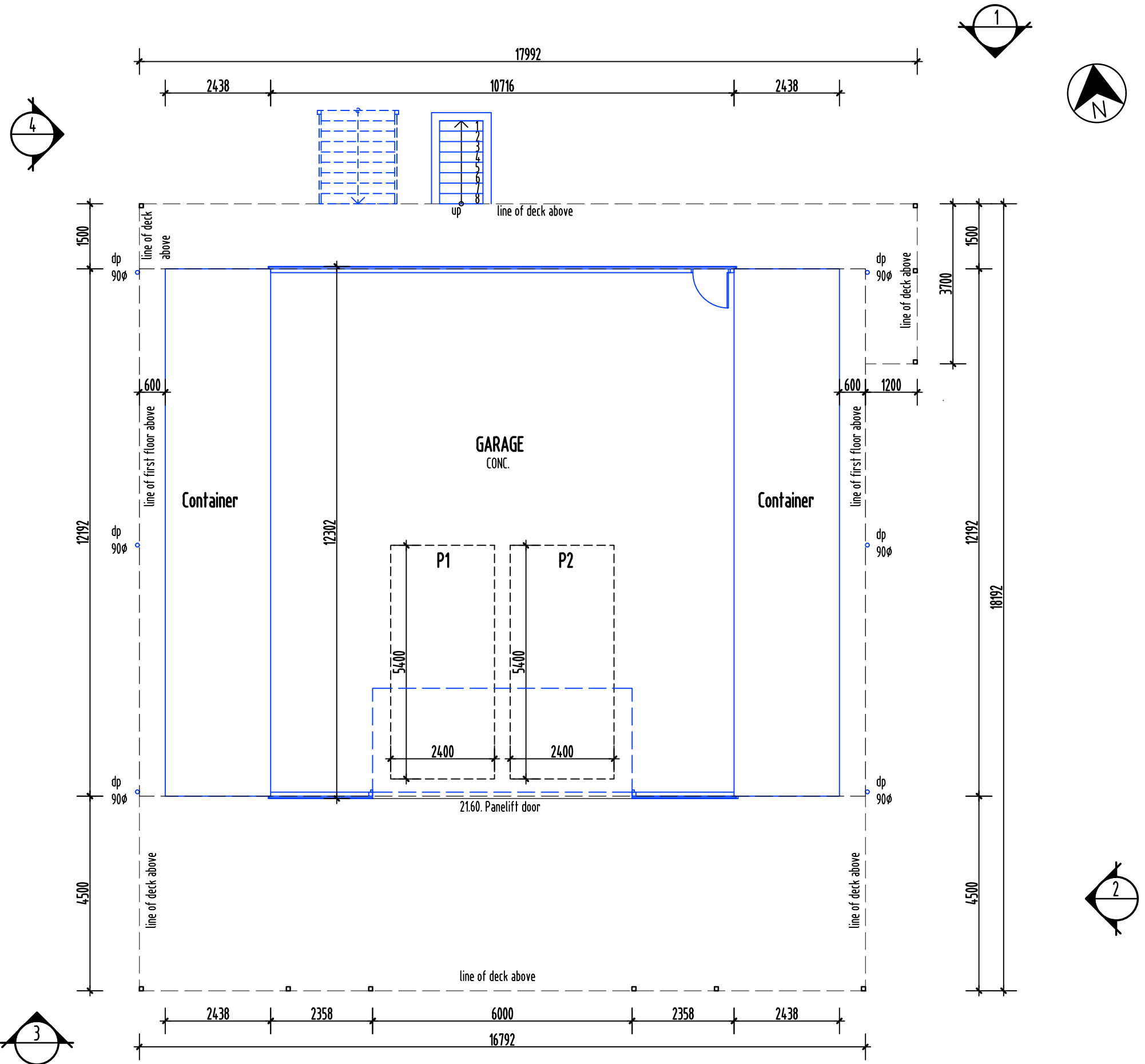
90mm stud walls with 10mm plasterboard lining throughout unless noted otherwise.  
(Wet area plasterboard to bathroom, ensuite and Laundry walls).

- Floor Levels
- C. Carpet with Airstep Stepmax (or equivalent) foam underlay.
- DP Downpipe
- Conc. Concrete floor finish
- Ct Ceramic floor tiles
- TD Timber decking: Compliant with BAL 29
- TL Timber laminate flooring
- MB Meter Box

AREAS	
Lower floor Area:	190.09m <sup>2</sup>
TOTAL FLOOR AREA:	190.09m <sup>2</sup>
Excludes above Deck North 29.62m <sup>2</sup>	
Excludes above Deck South 74.64m <sup>2</sup>	

Ground Floor Plan  
scale: 1:100 @A3

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LICENCE No. 456943679  
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notes	revision
Deck/ roof/ retaining/ garage	A

stage
sketch design
preliminary design
contract documentation
DA
BA
construction drawings

PROJECT NAME:  
Proposed Dwelling

CLIENT:  
MICHAEL GERHARD SKROBLIN

SITE:  
129 Salmons Road  
Rhyndaston 7120

DRAWING TITLE:  
Ground Floor Plan

REVISION NO. A

DRAWING NO. 06

SCALE: As noted on A3 paper size

DRAWN BY: R.C.K

CHECKED BY: Nicholas Young

PROJECT NO. 24-012

Plot Date: 22.02.2025

# LEGEND & NOTES

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Floor Levels

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DP Downpipe

Ct Ceramic floor tiles

TD Timber decking: Compliant with BAL 29

TL Timber laminate flooring

MB Meter Box

**Wood Heater & Hearth** - Selected heater must be installed as per manufacturer's instructions. Clearances to walls specified within the BCA may be reduced if the appliance has a built-in heat shield and manufacturer's documentation can prove compliance with AS/NZS 2918:2018. (Provide manufacturer's certification to Building Surveyor prior to appliance installation). - Minimum 400mm clearance between triple skin flue and wall behind. - If heater manufacturer permits, a proprietary tile / slate hearth overlay may be used. Alternatively hearth can be constructed as follows: 150mm high hearth, with tiled top and side. Height achieved by laying 9mm compressed sheet over sheet flooring, concrete blocks (or bricks), mortar bed and selected tiles. - The hearth must extend a minimum of 400mm beyond the front and the sides of the heater.

To comply with  
NCC 2022 H7D5 Heating appliances, fireplaces, chimneys and flues,  
ABCB Housing Provisions Standard 2022 12.4 & Domestic solid fuel burning appliances - Installation AS 2918:2018

## Chimneys and Flues

To comply with ABCB Housing Provisions Standard 2022 13.4.2 Chimneys and Flues  
The chimney or flue of an open solid-fuel burning appliance must be provided with a damper or flap that can be closed to seal the chimney or flue.

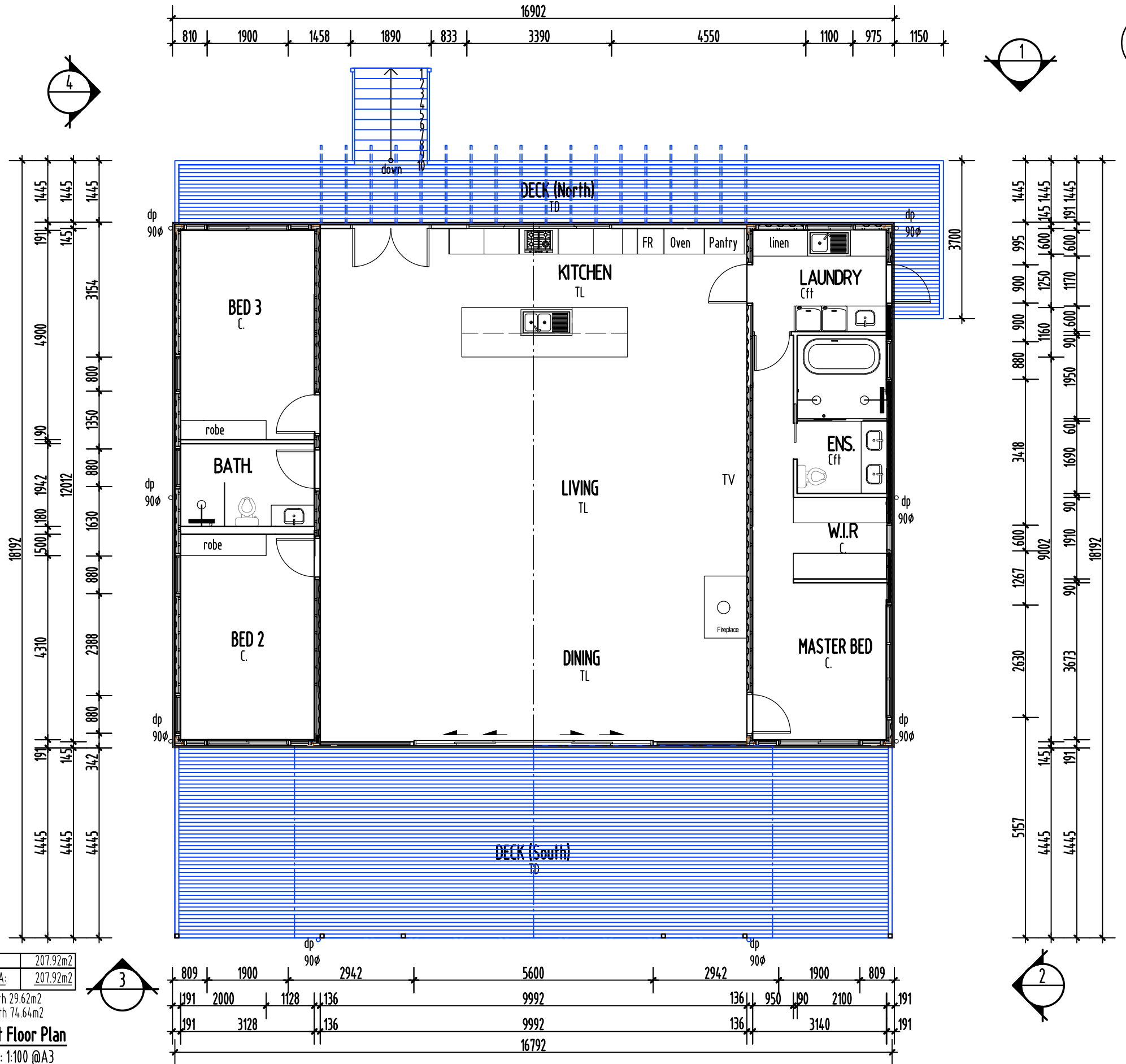
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25/2/25

## AREAS

Living:	207.92m <sup>2</sup>
TOTAL FLOOR AREA:	207.92m <sup>2</sup>

Excludes Deck North 29.62m<sup>2</sup>  
Excludes Deck South 74.64m<sup>2</sup>

- First Floor Plan  
- scale: 1:100 @A3



ISLAND LIFE DESIGNERS  
BUILDING SERVICES PROVIDER  
LICENCE No. 456943679  
CONTACT: info@islandlifedesigners.com

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notes

Deck/ roof/ retaining/ garage

revision

A

stage

sketch design

preliminary design

contract documentation

DA

BA

construction drawings

PROJECT NAME:  
Proposed Dwelling

CLIENT:  
MICHAEL GERHARD SKROBLIN

SITE:  
129 Salmons Road  
Rhyndaston 7120

DRAWING TITLE:  
Ground Floor Plan

REVISION NO. A

DRAWING NO. 07

SCALE: As noted on  
A3 paper size

DRAWN BY: R.C.K

CHECKED BY: Nicholas Young

PROJECT NO. 24-012

Plot Date: 22.02.2025

LEGEND & NOTES

Eave vents with corrosion resistant mesh backing intervals as shown (1800mm max centres).  
Where eave vents are not viable, provide sufficient ventilation to roof space as per current Volume 2 NCC 2022 requirements.

Colorbond metal roofing minimum 5° roof slope, installed as per manufacturers specifications.  
Colour to be confirmed.

Battens typically 70mmx35mm deep  
MPG12 @900mm (max) centres.  
as per manufacturers specifications.  
(Use F5 KD treated pine if battens on top of sarking)

All gutters, downpipes and rain heads to be designed and installed in compliance with  
Volume 2 NCC 2022 H2D6, AS/NZS 3500.3:2021 & ABCB Housing Provisions Standard 2022 Part 7.4 Gutters and downpipes.

Downpipes must not serve more than 12m of gutter length for each downpipe.

Vapour permeable sarking installed as per manufacturer's instructions. Ensure there is a clear unimpeded path of travel for water to escape from sarking into the eaves gutter.  
Additional battens or blocking pieces may be required.

Sarking must comply with AS 4200 parts 1 and 2:2017.

Roof ventilation  
To comply with ABCB Housing Provisions Standard 2022 10.8.3 Ventilation of roof spaces

Colorbond custom orb metal roof sheeting at crest fixed at side laps with 3 internal spans and 5 for end spans.

Fix with roofzips M6x50mm (or equal).  
Colour: T.B.C.

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25/2/25

Select Solarpanels to top of battened rafters

Colorbond - Roofing Corrugated Iron Sheets .42bmt metal roofing minimum 9° roof pitch. One and a half corrugated side lap (typical).  
Installed as per manufacturers specifications.  
Colour: T.B.C

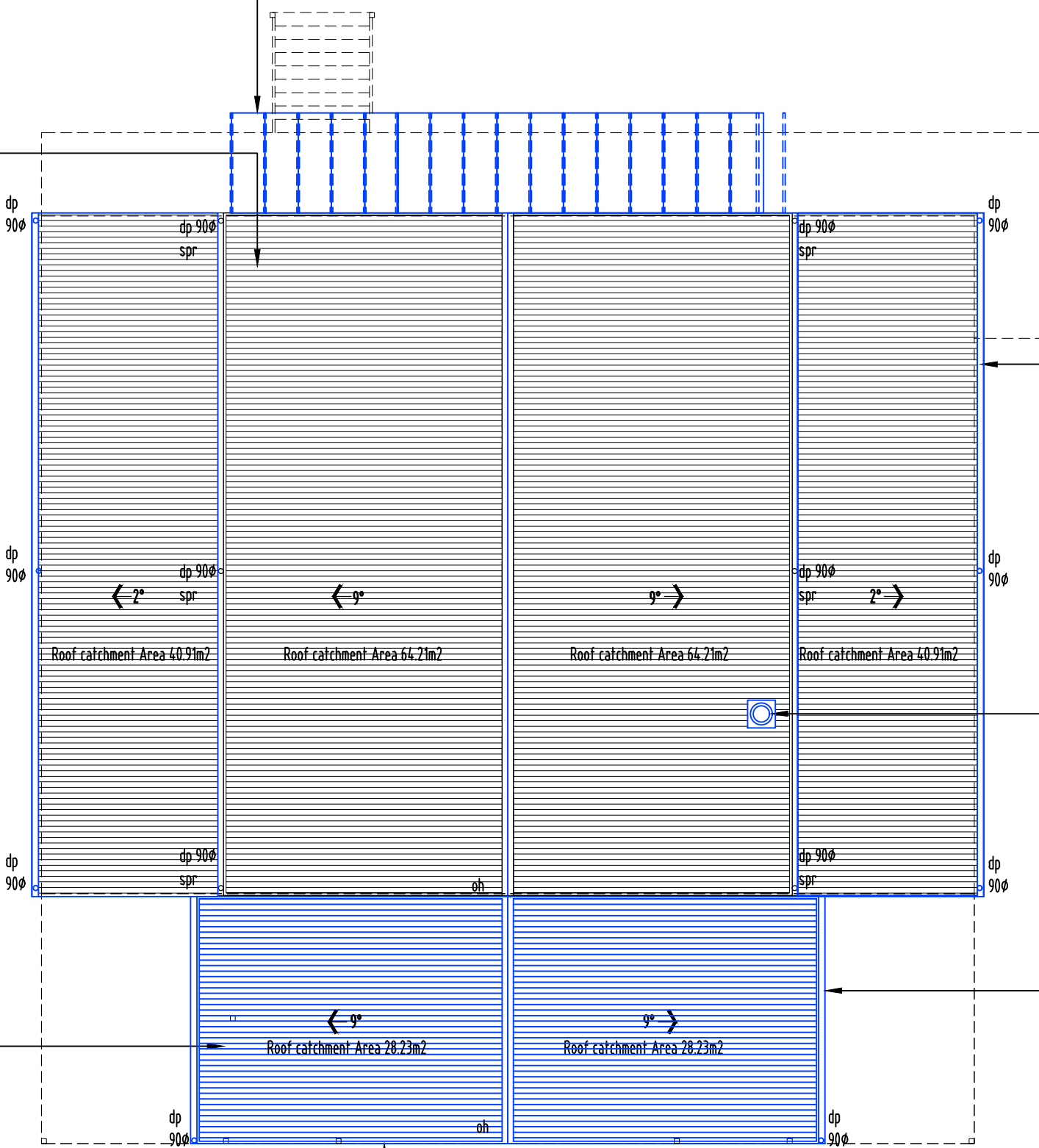
Colorbond - Roofing Corrugated Iron Sheets .42bmt metal roofing minimum 9° roof pitch. One and a half corrugated side lap (typical).  
Installed as per manufacturers specifications.  
Colour: T.B.C

Colorbond metal fascia,  
Installed as per manufacturers specifications.  
Colour: T.B.C.

Colorbond quad gutters (typical).  
Installed as per manufacturers specifications.  
Colour: T.B.C.

Fireplace flue  
with Dektite flashing  
and roof silicone around  
all fixings.

Colorbond quad gutters (typical).  
Installed as per manufacturers specifications.  
Colour: T.B.C.



Roof Plan  
scale: 1:100 @A3



ISLAND LIFE DESIGNERS  
BUILDING SERVICES PROVIDER  
LICENCE No. 456943679  
CONTACT: info@islandlifedesigners.com

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notes  
Deck/ roof/ retaining/ garage

revision
A

stage

sketch design
preliminary design
contract documentation
DA
BA
construction drawings

PROJECT NAME:  
Proposed Dwelling

CLIENT:  
MICHAEL GERHARD SKROBLIN

SITE:  
129 Salmons Road  
Rhyndaston 7120

DRAWING TITLE:  
Roof Plan

REVISION NO. A

DRAWING NO. 08

SCALE: As noted on A3 paper size

DRAWN BY: R.C.K

CHECKED BY: Nicholas Young

PROJECT NO. 24-012

Plot Date: 22.02.2025

LEGEND & NOTES

**NEW PIPEWORK**  
SEWER DN100 uPVC —s—  
SUB SOIL DRAINAGE Ø90 —d—  
STORMWATER DN100 uPVC —g—  
COLD WATER DN20 —w—

Wet areas shown hatched to comply with current AS3740:2021 & 2022 N.C.C. Refer to waterproofing details.

**SYMBOLS**  
INSPECTION OPENING ●  
FLOOR WASTE GULLY ⊘  
OVERFLOW RELIEF GULLY ⊠  
ISOLATION VALVE IN BOX ⊞  
DROPPER/ RISER ↻○  
PIT - (DETAILS BY CIVIL) ⊠  
WATER TAP ⊕

**ABBREVIATIONS**  
V VENT PIPE  
IO INSPECTION OPENING  
FWG FLOOR WASTE GULLY  
IOS INSPECTION OPENING SHAFT  
ORG ORVERFLOW RELIEF GULLY  
IV ISOLATION VALVE IN BOX  
D/R DROPPER/ RISER  
Bth BATH  
Shr SHOWER  
B BASIN  
S SINK  
Tr TROUGH  
WC WATER CLOSET  
FWG FLOOR WASTE GULLY  
HWC HOT WATER CYLINDER  
IV ISOLATION VALVE  
PLV PRESSURE LIMITING VALVE  
CWM COLD WATER METER  
GD GRATED DRAIN  
GP GRATED PIT  
RP ROD POINT  
IS INSPECTION SHAFT

**NOTE:**  
ALL WORKS MUST BE IN ACCORDANCE WITH THE CURRENT:  
- N.C.C., AS3500.2 & AS3500.3  
- WATER SERVICES ASSOCIATION OF AUSTRALIA CODES (WSAA)  
- LOCAL COUNCIL REQUIREMENTS  
- TASWATER TECHNICAL STANDARDS  
- ANY RELEVANT STANDARDS / MANUFACTURERS SPECIFICATIONS  
REFER TO ROOF PLAN FOR ROOF CATCHMENT AREAS

**Ground Floor Plumbing Plan**  
scale: 1:100 @A3

Install inspection openings at major bends for stormwater and all low points of downpipes.  
Provide surface drain to back of bulk excavation to drain levelled pad prior to commencing footing excavation.

**Services**  
The heated water system must be designed and installed with Part B2 of NCC 2022 Volume Three - Plumbing Code of Australia.

Thermal insulation for heated water piping must:  
a) be protected against the effects of weather and sunlight; and  
b) be able to withstand the temperatures within the piping; and  
c) use thermal insulation in accordance with AS/NZS 4859.1:2018

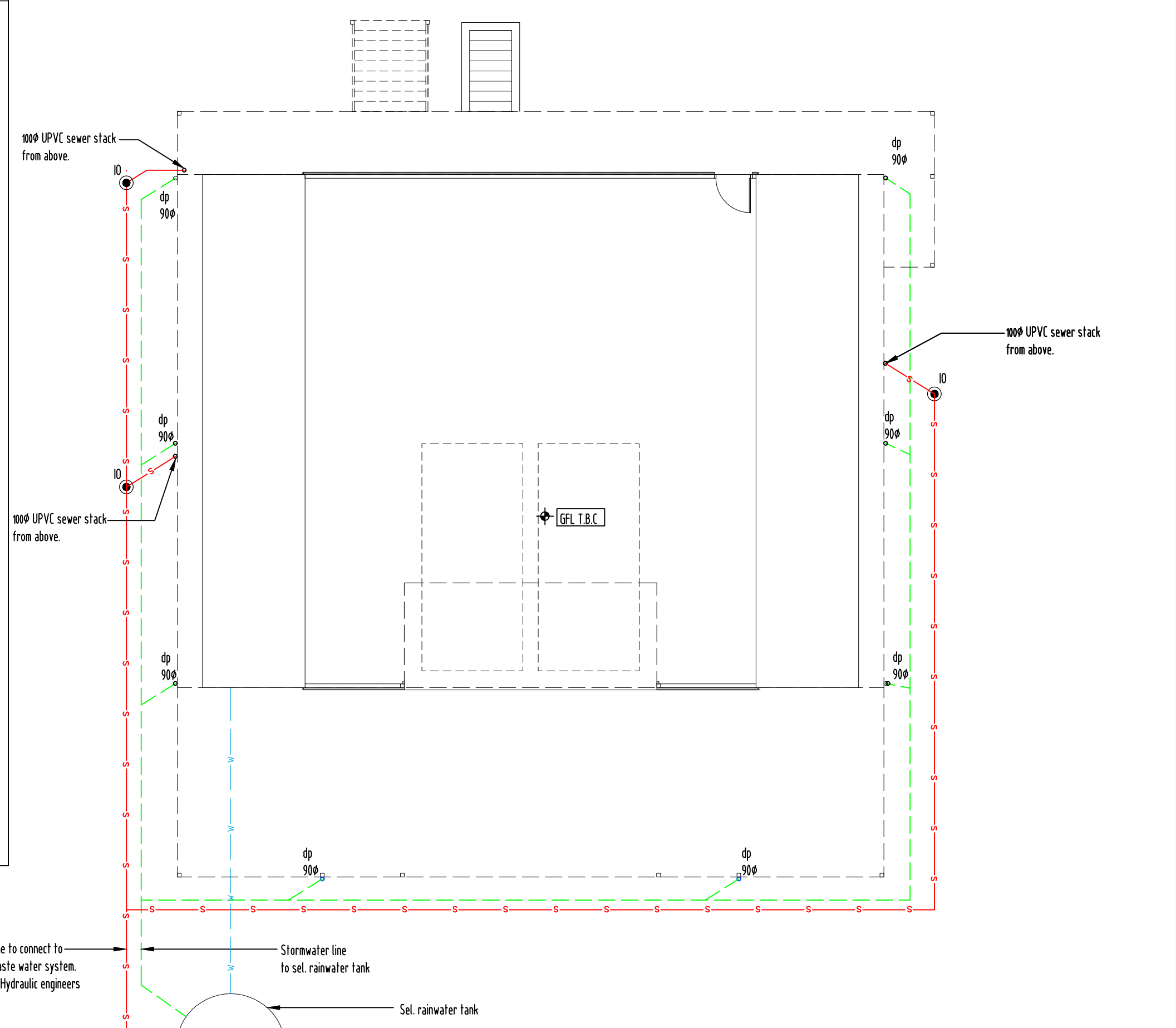
Heated water piping that is not within a conditioned space must be thermally insulated as follows:  
1. Internal piping  
a) All flow and return internal piping that is -  
i) within an unventilated wall space  
ii) within an internal floor between storeys; or  
iii) between ceiling insulation and a ceiling

Must have a minimum R-Value of 0.2 (ie 9mm of closed cell polymer insulation)  
2. Piping located within a ventilated wall space, an enclosed building subfloor or a roof space  
a) All flow and return piping  
b) Cold water supply piping and Relief valve piping- within 500mm of the connection to central water heating system  
Must have a minimum R-Value of 0.45 (ie 19mm of closed cell polymer insulation)

3. Piping located outside the building or in an unenclosed building sub-floor or roof space  
a) All flow and return piping  
b) Cold water supply piping and Relief valve piping- within 500mm of the connection to central water heating system  
Must have a minimum R-Value of 0.6 (ie 25mm of closed cell polymer insulation)

Piping within an insulated timber framed wall, such as that passing through a wall stud, is considered to comply with the above insulation requirements.

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25/2/25



LEGEND & NOTES

**NEW PIPEWORK**  
SEWER DN100 uPVC  
SUB SOIL DRAINAGE Ø90  
STORMWATER DN100 uPVC  
COLD WATER DN20

Wet areas shown hatched to comply with current AS3740:2021 & 2022 N.C.C. Refer to waterproofing details.

**SYMBOLS**  
INSPECTION OPENING  
FLOOR WASTE GULLY  
OVERFLOW RELIEF GULLY  
ISOLATION VALVE IN BOX  
DROPPER/ RISER  
PIT - (DETAILS BY CIVIL)  
WATER TAP

**ABBREVIATIONS**  
V VENT PIPE  
IO INSPECTION OPENING  
FWG FLOOR WASTE GULLY  
IOS INSPECTION OPENING SHAFT  
ORG ORVERFLOW RELIEF GULLY  
IV ISOLATION VALVE IN BOX  
D/R DROPPER/ RISER  
Bth BATH  
Shr SHOWER  
B BASIN  
S SINK  
Tr TROUGH  
WC WATER CLOSET  
FWG FLOOR WASTE GULLY  
HWC HOT WATER CYLINDER  
IV ISOLATION VALVE  
PLV PRESSURE LIMITING VALVE  
CWM COLD WATER METER  
GD GRATED DRAIN  
GP GRATED PIT  
RP ROD POINT  
IS INSPECTION SHAFT

NOTE:  
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- N.C.C., AS3500.2 & AS3500.3  
- WATER SERVICES ASSOCIATION OF AUSTRALIA CODES (WSAA)  
- LOCAL COUNCIL REQUIREMENTS  
- TASWATER TECHNICAL STANDARDS  
- ANY RELEVANT STANDARDS / MANUFACTURERS SPECIFICATIONS  
REFER TO ROOF PLAN FOR ROOF CATCHMENT AREAS

**First Floor Plumbing Plan**  
scale: 1:100 @A3

SMC - KEMPTON  
RECEIVED  
25/2/25

Install inspection openings at major bends for stormwater and all low points of downpipes.  
Provide surface drain to back of bulk excavation to drain levelled pad prior to commencing roofing excavation.

**Services**  
The heated water system must be designed and installed with Part B2 of NCC 2022 Volume Three - Plumbing Code of Australia.

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ii) within an internal floor between storeys; or  
iii) between ceiling insulation and a ceiling

Must have a minimum R-Value of 0.2 (ie 9mm of closed cell polymer insulation)

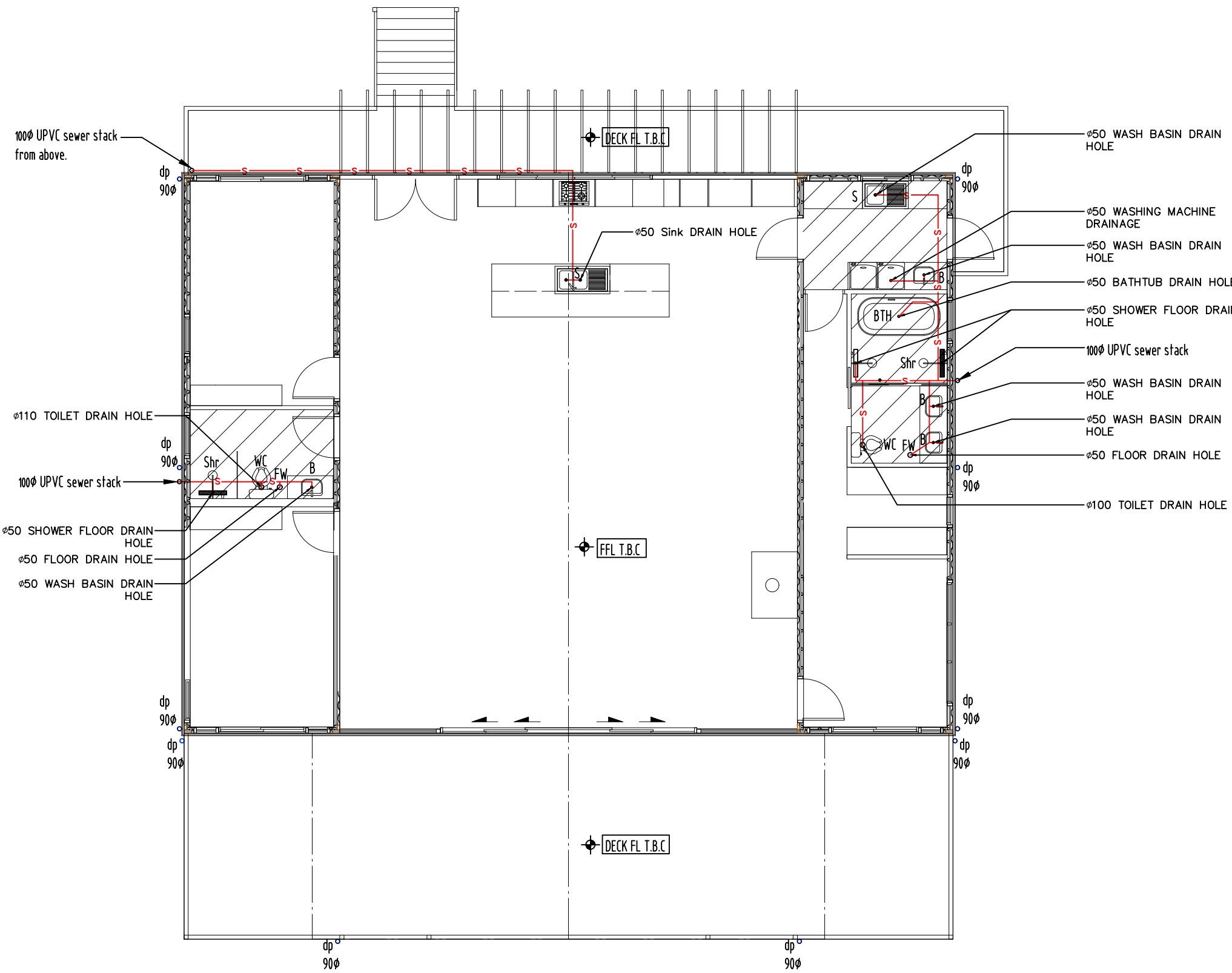
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b) Cold water supply piping and Relief valve piping- within 500mm of the connection to central water heating system

Must have a minimum R-Value of 0.45 (ie 19mm of closed cell polymer insulation)

3. Piping located outside the building or in an unenclosed building sub-floor or roof space  
a) All flow and return piping  
b) Cold water supply piping and Relief valve piping- within 500mm of the connection to central water heating system

Must have a minimum R-Value of 0.6 (ie 25mm of closed cell polymer insulation)

Piping within an insulated timber framed wall, such as that passing through a wall stud, is considered to comply with the above insulation requirements.



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notes	revision
Deck/ roof/ retaining/ garage	A

stage
sketch design
preliminary design
contract documentation
DA
BA
construction drawings

PROJECT NAME:  
Proposed Dwelling

CLIENT:  
MICHAEL GERHARD SKROBLIN

SITE:  
129 Salmons Road  
Rhyndaston 7120

DRAWING TITLE:  
First Floor Plumbing Plan

REVISION NO. A

DRAWING NO. 10

SCALE: As noted on A3 paper size

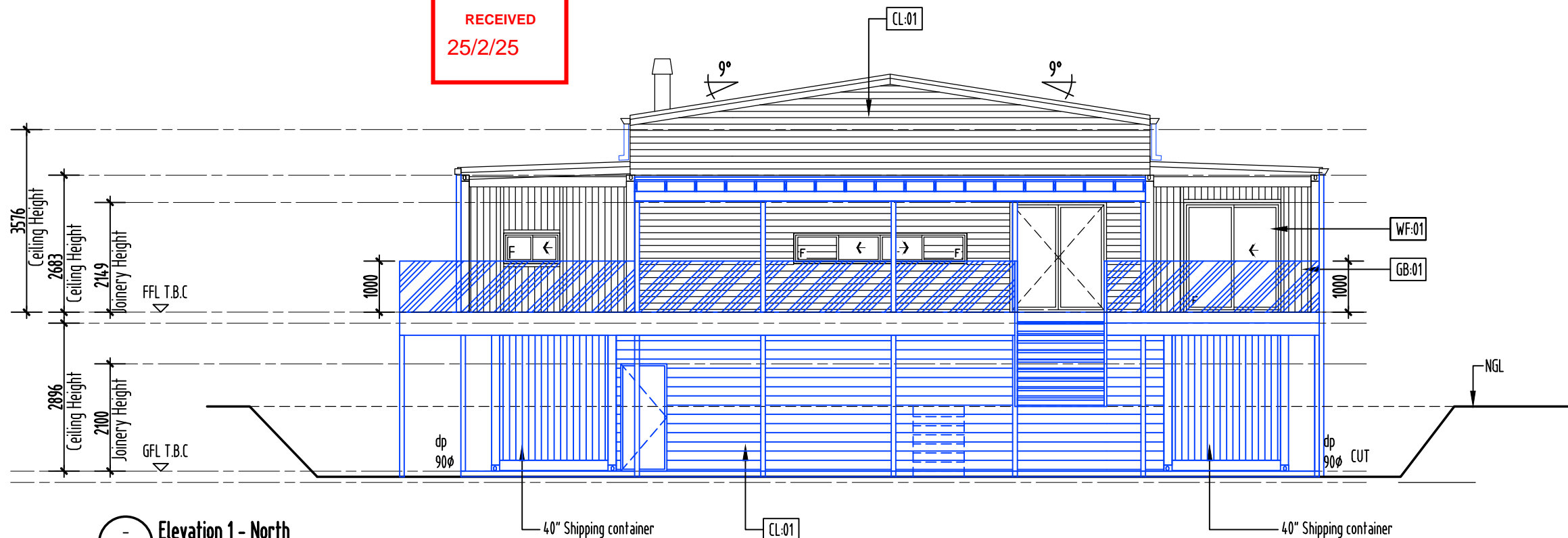
DRAWN BY: R.C.K

CHECKED BY: Nicholas Young

PROJECT NO. 24-012

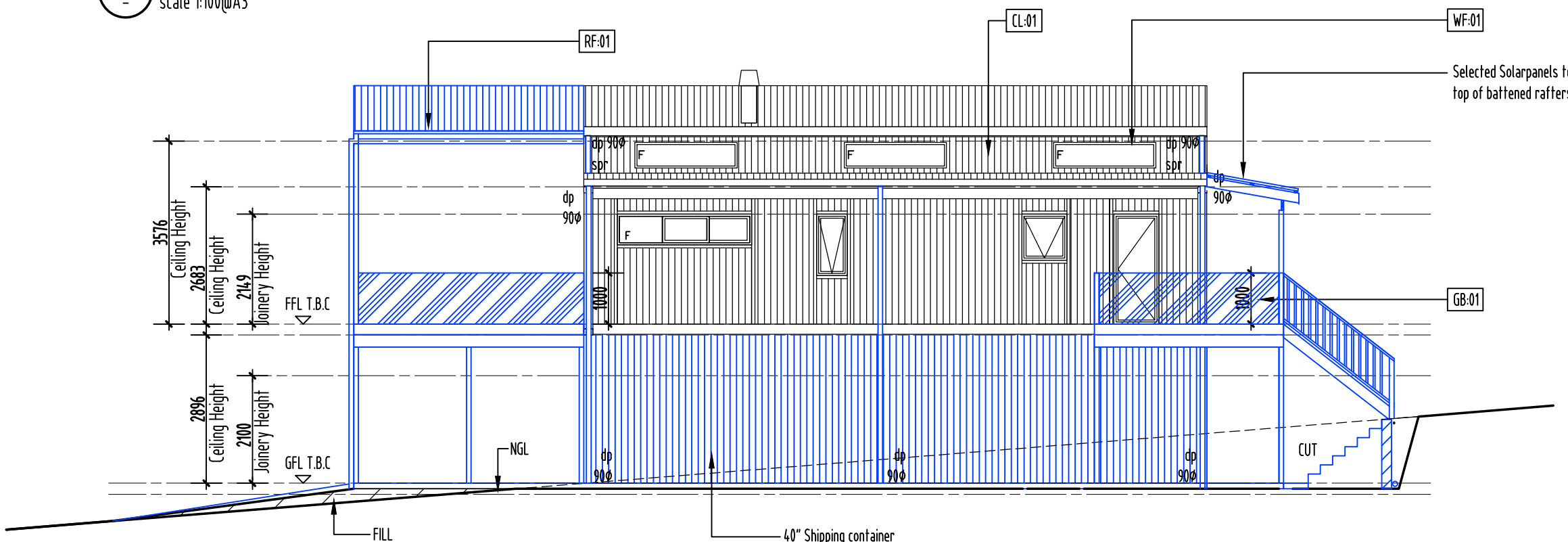
Plot Date: 22.02.2025

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25/2/25



## LEGEND & NOTES

- |       |  |      |                |
|-------|--|------|----------------|
| FFL   | First Floor level  | S.   | Sliding window |
| GFL   | Ground Floor level   | AWN. | Awning window  |
| CL.   | Ceiling level  | SLD. | Stacker door   |
| F.    | Fixed window   |      |                |
| DP.   | Downpipe 90Ø PVC   |      |                |
|       | Colour: to be confirmed  |      |                |
| CL-01 | James Hardie - Linea Weatherboard - LxW = 4200mmx180mm thickness = 16mm  |      |                |
|       | (Refer to James Hardie installation guide for fixing methods).   |      |                |
|       | Colour:  |      |                |
| CL-02 | Selected Cladding T.B.C.   |      |                |
|       | Colour: T.B.C  |      |                |
| RF-01 | Colorbond - Roofing Corrugated Iron Sheets .42bmt metal roofing 9° roof pitch. One and a half corrugated side lap (typical).   |      |                |
|       | Installed as per manufacturers specifications.   |      |                |
|       | Colour: T.B.C  |      |                |
| WF-01 | Powder coated aluminium window / door frames   |      |                |
|       | Colour: T.B.C.   |      |                |
| GB-01 | Glass balustrade, min. 1,000mm high to comply with NCC 2022 Barriers and handrails, ABCB Housing provision standard 2022 Part 11.3 Barriers and handrails 40dia. S/S handrail and verticals, supplied as a complete approved system. |      |                |



Elevation 2 - East  
scale 1:100@A3



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notes

Deck/ roof/ retaining/ garage

revision

A

stage

sketch design

preliminary design

contract documentation

DA

BA

construction drawings

PROJECT NAME:  
Proposed Dwelling

CLIENT:  
MICHAEL GERHARD SKROBLIN

SITE:  
129 Salmons Road  
Rhyndaston 7120

DRAWING TITLE:  
Elevations 1 & 2

REVISION NO. A

DRAWING NO. 11

SCALE: As noted on  
A3 paper size

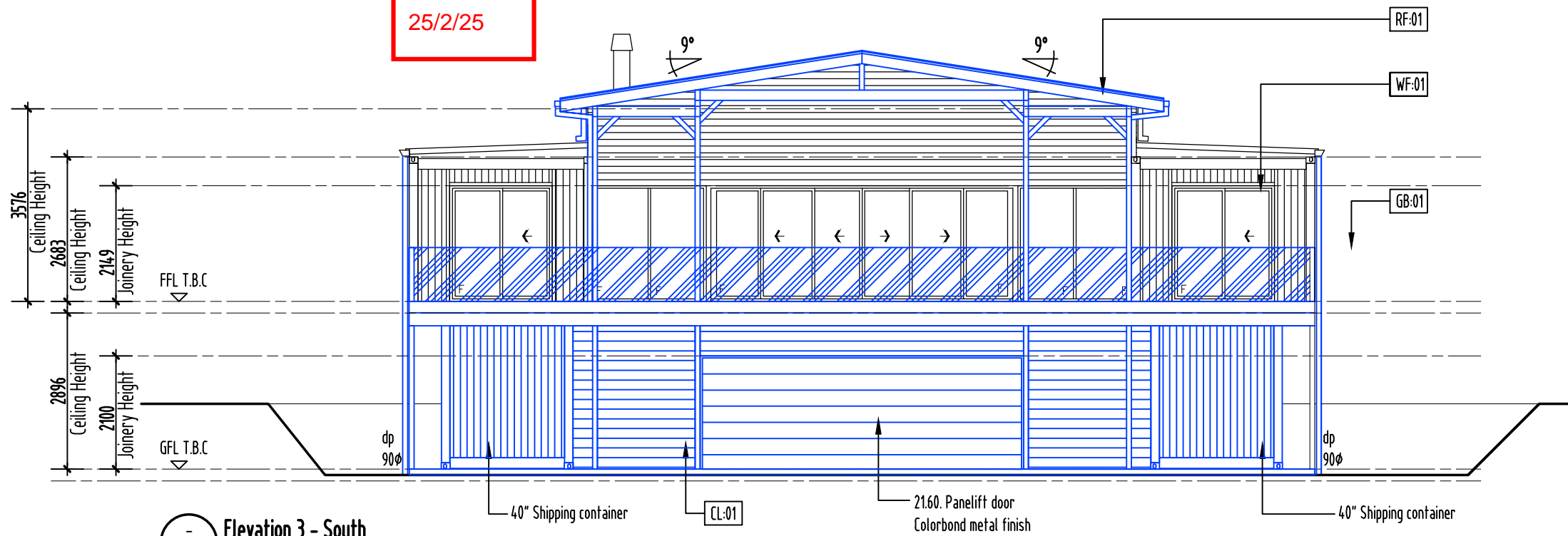
DRAWN BY: R.C.K

CHECKED BY: Nicholas Young

PROJECT NO. 24-012

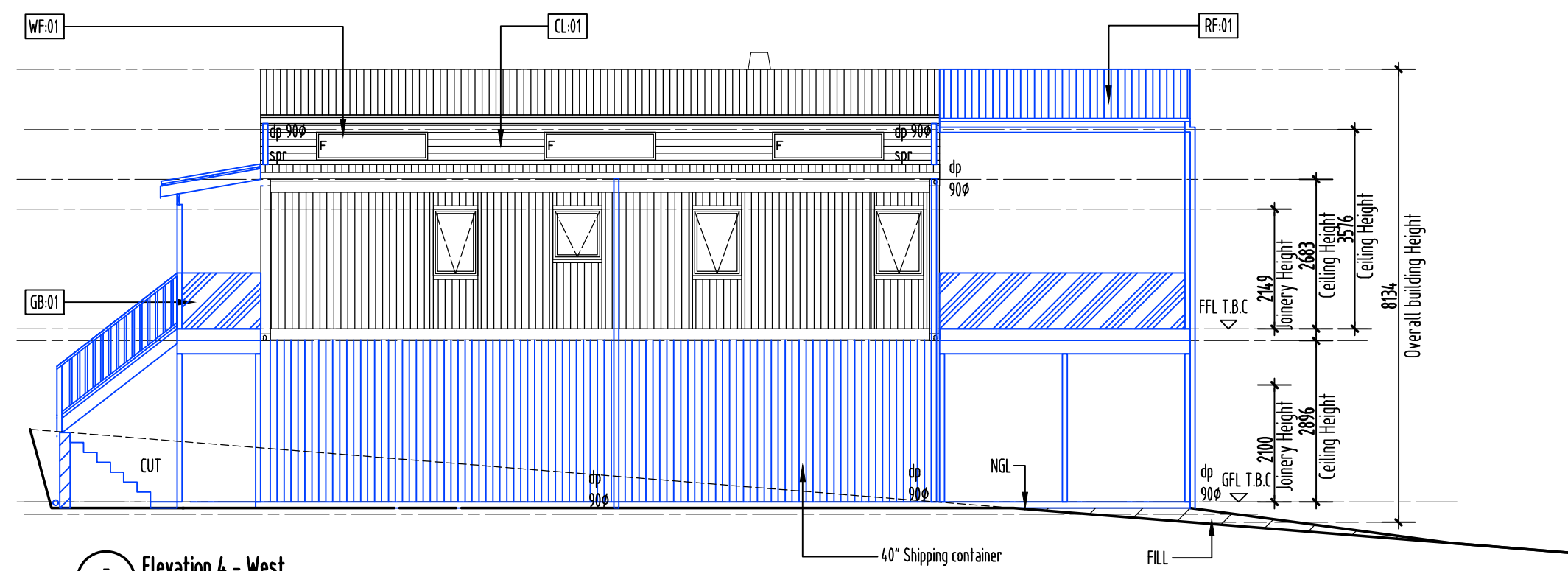
Plot Date: 22.02.2025

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Elevation 3 - South  
scale 1:100@A3

LEGEND & NOTES			
FFL.	First Floor level	S.	Sliding window
GFL.	Ground Floor level	AWN.	Awning window
CL.	Ceiling level	SLD.	Stacker door
F.	Fixed window		
DP.	Downpipe 90° PVC		
	Colour: to be confirmed		
CL-01	James Hardie - Linea Weatherboard - LxW = 4200mmx180mm thickness = 16mm (Refer to James Hardie installation guide for fixing methods). Colour:		
CL-02	Selected Cladding T.B.C. Colour: T.B.C.		
RF-01	Colorbond - Roofing Corrugated Iron Sheets .42bmt metal roofing 9° roof pitch. One and a half corrugated side lap (typical). Installed as per manufacturers specifications. Colour: T.B.C.		
WF-01	Powder coated aluminium window / door frames Colour: T.B.C.		
GB-01	Glass balustrade, min. 1,000mm high to comply with NCC 2022 Barriers and handrails, ABCB Housing provision standard 2022 Part 11.3 Barriers and handrails 40dia. S/S handrail and verticals, supplied as a complete approved system.		



Elevation 4 - West  
scale 1:100@A3

## SEARCH OF TORRENS TITLE

VOLUME 238947	FOLIO 1
EDITION 5	DATE OF ISSUE 23-Nov-2024

SEARCH DATE : 11-Dec-2024

SEARCH TIME : 09.01 AM

DESCRIPTION OF LAND

Parish of HARTINGTON, Land District of MONMOUTH  
Lot 1 on Plan 238947  
Derivation : Whole of Lot 6874 - Gtd. to J. Salmon.  
Prior CT 3625/66

SCHEDULE 1

N209789 TRANSFER to MICHAEL GERHARD SKROBLIN and SARAH  
SEoyeon SKROBLIN Registered 23-Nov-2024 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any  
E397331 MORTGAGE to National Australia Bank Limited  
Registered 23-Nov-2024 at 12.02 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

OS-D 435

ANNEXURE TO CERTIFICATE OF TITLE

VOL.

3688

FOL.

23

REGISTERED NUMBER

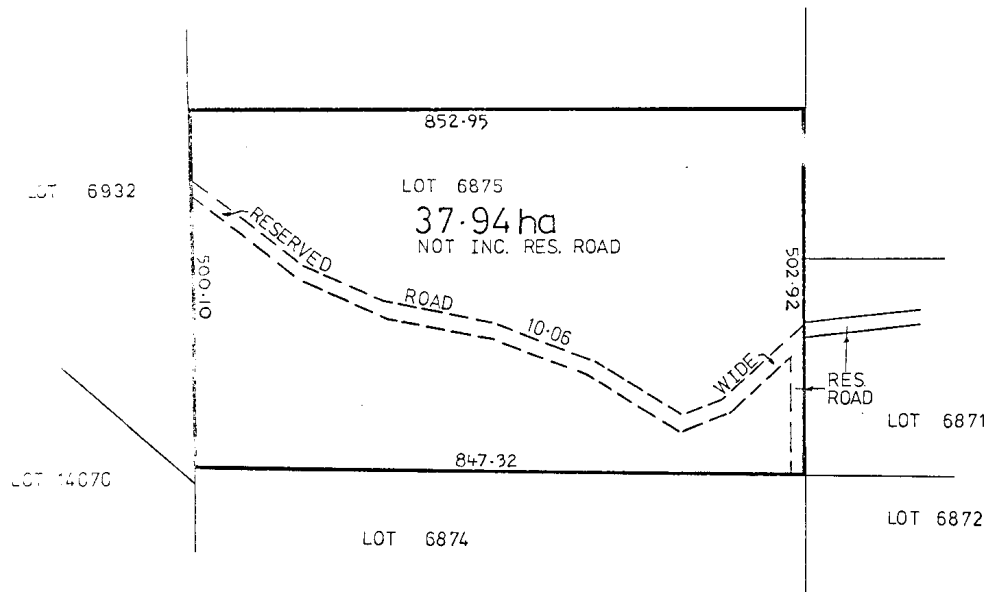
237964

Recorder of Titles



Lot 1 of this plan consists of all the land comprised in the above-mentioned cancelled folio of the Register.

PH. MEAS. IN HARTINGTON METRES



OS-D215

**ANNEXURE TO CERTIFICATE OF TITLE** VOL. 3625 FOL. 66

REGISTERED NUMBER

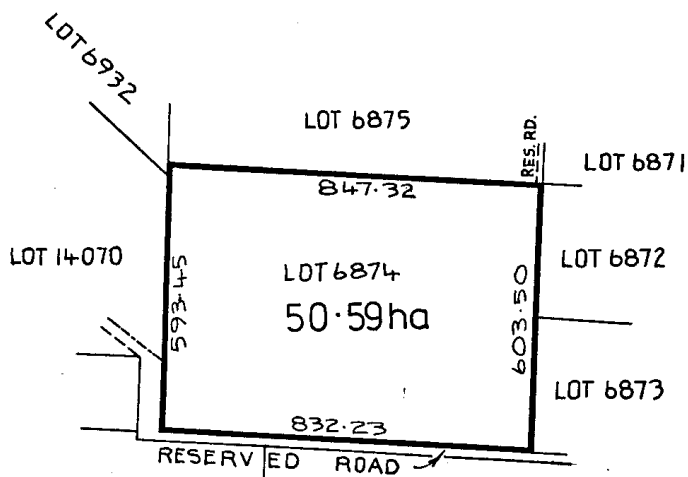
**238947**

*Recorder of Titles*



Lot 1 of this plan consists of all the  
land comprised in the above-mentioned  
cancelled folio of the Register

MEAS. IN METRES  
PH. HARTINGTON



## SEARCH OF TORRENS TITLE

VOLUME 237964	FOLIO 1
EDITION 4	DATE OF ISSUE 23-Nov-2024

SEARCH DATE : 24-Jul-2025

SEARCH TIME : 10.14 AM

DESCRIPTION OF LAND

Parish of HARTINGTON, Land District of MONMOUTH

Lot 1 on Plan [237964](#)

Derivation : Lot 6875 Gtd to J Salmon.

Prior CT [3688/23](#)SCHEDULE 1

[N209789](#) TRANSFER to MICHAEL GERHARD SKROBLIN and SARAH  
SEOEYON SKROBLIN Registered 23-Nov-2024 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any  
[C892464](#) PRIVATE TIMBER RESERVE pursuant to Section 15(1) of  
the Forest Practices Act 1985 Registered  
18-Jun-2009 at noon

[E397331](#) MORTGAGE to National Australia Bank Limited  
Registered 23-Nov-2024 at 12.02 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations